



LOCUS PLAN
SCALE: 1"=1000'±

PROPERTY:
15 COLEMAN ROAD
NEWBURY, MA 01922
ASSESSOR'S MAP R-02
LOTS 12 & 13 (NEWBURY PORTION)

OWNER OF RECORD:
ZENDKO, LLC
15 ESTES STREET
AMESBURY, MA 01913

SITE PLAN SET
FOR
FIELDSTONE LANE
AN
OPEN SPACE RESIDENTIAL DEVELOPMENT
DEFINITIVE PLAN
15 COLEMAN ROAD
NEWBURY, MASSACHUSETTS 01922

DATE	DATE REVISED	SHEET NUMBER	SHEET DESCRIPTION
01/08/2021	05/21/2021	1	COVER SHEET
01/08/2021	05/21/2021	2	LEGEND & NOTES
05/04/2020	01/25/2021	3.1	KEY MAP
05/04/2020	01/25/2021	3.2-3.5	EXISTING CONDITIONS SURVEY
01/08/2021	05/21/2021	4	YIELD PLAN
01/08/2021	05/21/2021	4.1	YIELD PLAN
01/08/2021	05/21/2021	5	SITE CONTEXT MAP
01/08/2021	05/21/2021	6	OVERALL LAYOUT & OPEN SPACE PLAN
01/08/2021	05/21/2021	7	DEMOLITION & EROSION CONTROL PLAN
01/08/2021	05/21/2021	8	LAYOUT PLAN
01/08/2021	05/21/2021	9	GRADING & DRAINAGE PLAN
01/08/2021	05/21/2021	10	UTILITY PLAN
01/08/2021	05/21/2021	11	PLAN & PROFILE
01/08/2021	05/21/2021	12	FIRE APPARATUS ACCESS PLAN
01/08/2021	05/21/2021	13	DEFINITIVE SUBDIVISION & EASEMENT PLAN
01/08/2021	05/21/2021	14-18	CONSTRUCTION DETAILS
01/08/2021	05/20/2021	L-1	LANDSCAPE PLAN & DETAILS
02/17/2021	-	I-2	SEPTIC DESIGN PLANS*

* BOUND SEPARATELY, TO BE PREPARED BY OTHERS



OVERALL LAYOUT PLAN
SCALE: 1"=80'

SURVEY:
LEVESQUE GEOMATICS INC.
43 GLENDALE ROAD
STURBRIDGE, MA 01518
508-868-0041
CONTACT: JOSEPH LEVESQUE, P.L.S

WETLAND SCIENTIST:
BASBANES WETLAND CONSULTING
39 HARDY STREET
DUNSTABLE, MA 01827
978-808-1101
CONTACT: LEAH BASBANES

CONSULTANTS:
LANDSCAPE ARCHITECT:
HUNTRESS SPORTS
17 TEWKSBURY STREET
ANDOVER, MA 01810
978-470-2228
CONTACT: CHRISTIAN HUNTRESS, RLA

SEPTIC DESIGNER:
SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
781-854-8644
CONTACT: JACK SULLIVAN, P.E.

PLANNING BOARD:

I, _____, CLERK OF THE TOWN OF NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD WAS RECEIVED ON _____ AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NET FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

PREPARED BY:
CIVIL DESIGN GROUP, LLC

21 HIGH STREET SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400
f: 978-965-3971

CONTACT: PHILIP HENRY, P.E.

PREPARED FOR/APPLICANT:

ZENDKO, LLC
15 ESTES STREET
AMESBURY, MA 01913

NOT FOR CONSTRUCTION

CDG PROJECT #:	19025
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SEAL:

Signature of Philip R. Henry
PHILIP R. HENRY, P.E.

SHEET:

COVER SHEET

1

DATE: _____ 01/08/2021

GENERAL NOTES

1. ZONING INFORMATION OBTAINED FROM THE LATEST EDITION OF THE MUNICIPAL ZONING MAP AND ZONING BYLAWS PER THE TOWN'S WEBSITE.
2. ROADWAY AND UTILITY INFRASTRUCTURE SHOWN HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MUNICIPAL SUBDIVISION REGULATIONS IN ADDITION TO THE INFORMATION PROVIDED ON THE PLANS AND DETAILS.
3. THE PROJECT SITE CONSISTS OF LOTS 12 & 13 (NEWBURY PORTION) ON THE TOWN OF NEWBURY ASSESSOR'S MAP R-02 AND LOT A ON THE TOWN OF ROWLEY ASSESSOR'S MAP 21, AND TOTALS 31.69+ ACRES.
4. THE PROJECT LIES WITHIN THE AGRICULTURAL RESIDENTIAL 'AR' ZONING DISTRICT.
5. ACCORDING TO THE FLOOD RATE INSURANCE MAP (FRM), COMMUNITY PANEL #2509C02560, WITH AN EFFECTIVE DATE OF JULY 16, 2014, THIS SITE LIES WITHIN ZONE X, WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% (500-YEAR) ANNUAL CHANCE FLOODPLAIN.
6. WETLANDS SHOWN HEREIN WERE DELINEATED BY BASBANES WETLAND CONSULTING AND THE PROJECT IS SUBJECT TO APPROVAL FROM THE CONSERVATION COMMISSION. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND ADHERE TO ALL CONSTRUCTION-RELATED REQUIREMENTS OF THIS APPROVAL.
7. THE PROJECT IS SUBJECT TO A DEFINITIVE SUBDIVISION APPROVAL AND A SPECIAL PERMIT (OPEN SPACE RESIDENTIAL DEVELOPMENT) ISSUED BY THE NEWBURY PLANNING BOARD. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND ADHERE TO ALL CONSTRUCTION-RELATED REQUIREMENTS OF THESE APPROVALS.
8. THE CONTRACTOR SHALL GIVE TWENTY-FOUR (24) HOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
9. A PRE-CONSTRUCTION MEETING SHALL OCCUR WITH THE APPLICANT, ENGINEER, CONSTRUCTION MANAGER AND THE CONSERVATION AGENT 72 HOURS PRIOR TO ANY WORK STARTING AT WHICH TIME THE CONSERVATION AGENT WILL RECEIVE THE NAME(S) AND TELEPHONE NUMBER(S) OF THE PERSON(S) RESPONSIBLE ON SITE FOR COMPLIANCE WITH THE ORDER OF CONDITIONS.
10. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
11. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
12. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.

SITE & DEMOLITION NOTES

1. THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON MEASUREMENTS TAKEN IN THE FIELD AND DISCOVERED RECORDS FROM VARIOUS UTILITY COMPANIES AND/OR FROM THE MUNICIPALITY. THIS INFORMATION SHALL NOT BE CONSIDERED EXACT AND THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY "DIG SAFE" (811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXISTING UTILITY MARK OUT LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING UTILITY LOCATIONS CONFLICT WITH THE PROPOSED DEVELOPMENT PROGRAM SO THAT A REMEDIAL ACTION CAN TAKE PLACE PRIOR TO ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL EXISTING UTILITIES AS A RESULT OF THE PROPOSED DEVELOPMENT.
2. EXISTING BASE INFORMATION INCLUDING PROPERTY LINE, STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS SURVEY," PREPARED BY LEVESQUE GEOMATICS INC., LAST UPDATED MAY 4, 2020, CONSISTING OF 4 SHEETS.
3. ELEVATIONS SHOWN ARE BASED ON THE DATUM REFERENCED ON THE EXISTING CONDITIONS PLAN.
4. EXISTING STRUCTURES MAY BE UNDER A DEMO DELAY, THEREFORE, THESE STRUCTURES SHALL NOT BE RAZED ON OR BEFORE THE END OF THE DEMO DELAY DATE.
5. ALL WORK MUST BE INSPECTED PER TOWN REQUIREMENTS. CONTRACTOR SHALL CONTACT THE TOWN BUILDING DEPARTMENT PRIOR TO THE START OF WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
7. THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, EROSION CONTROL BARRIER LINES, AND/OR LIMIT OF WORK LINES AND SHALL BE MARKED IN THE FIELD PRIOR TO CONSTRUCTION. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO REMAIN UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
8. THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
9. ALL DISTURBED OFF-SITE AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION.
10. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER THE DETAIL WHEREVER CONSTRUCTION ACCESS EXISTS. PAVED AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
11. PEDESTRIAN AND VEHICULAR ACCESS WITHIN THE PUBLIC RIGHT-OF-WAY AND SHARED ACCESS DRIVE SHALL BE KEPT IN GOOD CONDITION THROUGHOUT CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND UTILITY CONNECTION/DISCONNECTION FEES RELATED TO THE PROJECT. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL UTILITY WORK WITH THE APPLICABLE UTILITY COMPANIES AND/OR LOCAL DEPARTMENTS. ALL PERMITS SHALL BE KEPT WITHIN THE TRAILER AND CLEARLY VISIBLE.
13. THE OFFSITE DISPOSAL OF ALL DEMOLISHED MATERIALS SHALL COMPLY WITH THE APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES.
14. FILL MATERIAL(S) SHALL NOT CONTAIN HAZARDOUS MATERIALS.
15. CONSTRUCTION DUMPSTERS SHALL BE LOCATED ON A STABLE SURFACE, PROPERLY MAINTAINED, AND EMPTIED ON A REGULAR BASIS.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL UPKEEP OF THE SITE DURING THE CONSTRUCTION PROCESS.
17. ALL WALLS GREATER THAN 4 FEET EXPOSED HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
18. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM AMOUNT OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
19. REFUELING AND ANY WORK ASSOCIATED WITH THE MAINTENANCE OF CONSTRUCTION EQUIPMENT TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE REGULATIONS.
20. THE AREAS OF CONSTRUCTION SHALL REMAIN IN A STABLE CONDITION AT THE CLOSE OF EACH CONSTRUCTION DAY. EROSION CONTROLS SHALL BE CHECKED AT THIS TIME AND MAINTAINED OR REINFORCED IF NECESSARY.
21. CONTRACTOR SHALL COORDINATE THE LOCATION OF STAGING AREAS AND JOB TRAILER WITH THE ENGINEER AND OWNER PRIOR TO MOBILIZATION OF ANY EQUIPMENT ON THE SITE.
22. CONTRACTOR SHALL NOT STOCKPILE OR LOCATE DUMPSTERS WITHIN WETLAND RESOURCE AREA BUFFER ZONES IF PRESENT ON SITE.
23. CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, DEBRIS, AND EQUIPMENT AND RESTORE OR REPAIR ANY DAMAGE THAT OCCURS TO THE SITE RESULTING FROM CONSTRUCTION ACTIVITY.
24. DISPOSE OF ANY AND ALL DEMOLISHED BUILDING MATERIALS, STORAGE TANKS, PAVEMENT, BITUMINOUS CURBING, CONCRETE, VEGETATION, SURPLUS MATERIAL, AND SITE RUBBLE OFF-SITE IN ACCORDANCE WITH LOCAL ORDINANCES, THE MASSACHUSETTS WETLAND PROTECTION ACT, CHAPTER 131 SECTION 40, G.L., AND ALL APPLICABLE STATE AND FEDERAL ENVIRONMENTAL REGULATIONS.
25. CONTRACTOR SHALL ADHERE TO APPLICABLE PRE-BLASTING & BLASTING PROTOCOLS, INCLUDING DOT REGULATIONS IF ROCK IS ENCOUNTERED DURING CONSTRUCTION.

SITE LAYOUT NOTES

1. ALL STATION LABELS PERTAIN TO CENTERLINE OF ROAD GEOMETRY.
2. NO BUILDINGS, BUILDING PROJECTIONS, OR APPURTENANT STRUCTURES SUCH AS DECKS AND STAIRS SHALL BE CONSTRUCTED IN THE REQUIRED BUILDING SETBACKS.
3. CURB WITHIN THE SITE LIMITS SHALL BE SLOPED GRANITE CURB (SGC).
4. PAVEMENT MARKINGS AND STRIPING SHALL PAINTED WITH 2 COATS OF WHITE PAINT PER FEDERAL SPECIFICATION T1-P-115 TYPE 1: ALKYD.
5. STOP LINE SHALL MEET THE REQUIREMENTS OF SECTION 3B.16 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AS PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION (LATEST EDITION).
6. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND EXTERIOR FEATURES.
7. ALL LIMITS OF PAVEMENT SHALL BE CURBED, UNLESS OTHERWISE NOTED.
8. STOP BARS SHALL BE 8" WIDE AND SOLID WHITE LINES SHALL BE 4" IN WIDTH (SEE SITE PLAN FOR LENGTH).
9. DIRECTIONAL AND ACCESSIBLE SIGNAGE SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR COLOR AND SIZE.
10. ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS.
11. EACH UNIT INCLUDES A MINIMUM OF 2 PARKING SPACES (GARAGE/DRIVEWAY).

GRADING & DRAINAGE NOTES

1. THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE DATUM REFERENCE USED ON THE EXISTING CONDITIONS SURVEY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND ELEVATION BENCHMARKS THROUGHOUT CONSTRUCTION.
3. EXTERIOR ELEVATIONS ALONG EACH BUILDING SIDE MAY VARY IN ORDER TO ACHIEVE GRADE IN CERTAIN AREAS. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING.
4. CONTRACTOR SHALL NOTIFY ENGINEER IF THE ILLUSTRATED GRADES CANNOT BE ACHIEVED WITHIN ACCESSIBLE AREAS, INCLUDING PARKING SPACES.
5. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
6. PROPOSED BOTTOM OF CURB/EDGE OF PAVEMENT ELEVATIONS ALONG EXISTING STREETS ARE BASED ON EXISTING CONDITIONS INFORMATION AND SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL MATCH EXISTING EDGE OF PAVEMENT GRADE.
7. EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
8. ALL DISTURBED AREAS OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED IN KIND.
9. PROPOSED CATCH BASINS SHALL INCLUDE ELIMINATOR HOODS AS SPECIFIED IN THE DETAILS.
10. UNLESS OTHERWISE SPECIFIED, ALL NEW DRAINAGE PIPE SHALL BE HDPE PIPE, RATED FOR H-20 LOADING, MINIMUM 12" COVER (UNLESS GREATER COVER IS REQUIRED BY THE MANUFACTURER), AND LAID AT A MINIMUM SLOPE OF 0.005/1'.
- 10.1. DRAINAGE PIPES CONNECTING CATCH BASINS TO MANHOLES AND MANHOLES TO MANHOLES: SIZE VARIES, REFER TO GRADING AND PROFILE SHEETS FOR SIZES.
- 10.2. ROOF DRAIN PIPES: 6"
- 10.3. FOUNDATION DRAIN PIPES: 6"
11. ROOF DRAINS:
 - 11.1. ALL BUILDING ROOFTOPS SHALL BE GUTTERED. GUTTER DOWNSPOUTS SHALL TIE INTO A ROOF DRAIN PIPE AS SHOWN OR DAYLIGHT AS APPROPRIATE. THE FRONT HALF OF EACH STRUCTURE SHALL DAYLIGHT TO THE FRONT YARD AND THE REAR HALF OF EACH STRUCTURE SHALL DAYLIGHT TO THE REAR YARD.
 - 11.2. EACH BUILDING SHALL HAVE A MINIMUM OF ONE GUTTER DOWNSPOUT OVERFLOW ON EACH INDEPENDENT PIPE NETWORK. THE OVERFLOW SHALL BE INSTALLED ON THE DOWNSPOUT LOCATED AT THE LOWEST GROUND ELEVATION ALONG THE BUILDING WITHIN EACH PIPE NETWORK.
12. FOUNDATION DRAINS:
 - 12.1. PROPOSED FOUNDATION DRAIN PIPES SHALL HAVE CLEANOUTS INSTALLED AT INTERSECTIONS AND ANGULAR BENDS. NOT REQUIRED AT RADIAL BENDS.
13. SEE DETAIL SHEETS AND PROFILES FOR WATER QUALITY UNITS MANUFACTURER AND MODELS.
14. TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON GRADING & DRAINAGE PLANS REPRESENT THE EXPOSED PORTION OF THE WALL. ALL WALLS GREATER THAN 4 FEET EXPOSED HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
15. ELEVATION OF LANDSCAPED AREAS ARE GIVEN AT PLANTED GRADE.
16. CURB SHALL TRANSITION FROM FLUSH TO FULL DEPTH REVEAL WITHIN 6 FEET.
17. PROVIDE A SMOOTH, FLUSH TRANSITION BETWEEN ALL NEW AND EXISTING PAVEMENTS.
18. ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS.
19. EXISTING TREES OUTSIDE OF THE LIMIT OF WORK SHALL BE PROTECTED DURING CONSTRUCTION.
20. REFER TO MANUFACTURER RECOMMENDATIONS AND GUIDELINES FOR PROPER INSTALLATION AND MANAGEMENT OF STORMWATER BMPs DURING CONSTRUCTION.
21. ANY DISTURBED AREAS THAT WILL NOT BE STABILIZED BY PAVEMENT OR BUILDING BASE COURSES SHALL BE SOODED OR SEEDED & MULCHED. MULCHING SHALL BE USED TO STABILIZE DISTURBED AREAS.
22. ALL BACK FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. BACK FILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIALS, OR OTHER OBJECTIONABLE MATERIAL. BACK FILL MATERIALS SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER TAMPING BLOWS OR PROOF ROLLING. ALL BACK FILL MATERIAL SHALL BE PLACED IN LOOSE 6-IN. LIFTS AND COMPACTED BY MECHANICAL MEANS, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
23. ALL BUILDINGS, SIDEWALK, AND PAVEMENT SUB-GRADES SHALL BE COMPACTED TO 98% OF ASTM D698 TO A DEPTH OF 12-IN. AND TO 95% OF ASTM D698 BELOW 12-IN DEPTHS. ALL OTHER NON-STRUCTURAL AREAS SHALL BE COMPACTED TO 90% OF ASTM D698.

UTILITY NOTES












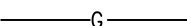

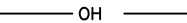









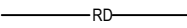

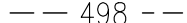



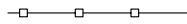


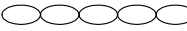
























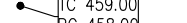
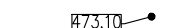



1. ALL UTILITIES ARE TO BE LOCATED UNDERGROUND UNLESS OTHERWISE NOTED.
2. ALL UTILITIES, PIPE MATERIALS, STRUCTURES, INSTALLATION METHODS, AND TESTING SHALL CONFORM TO MUNICIPALITY STANDARDS AND REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE INSPECTIONS BY THE MUNICIPALITY WHEN REQUIRED.
3. WATER WILL BE SUPPLIED TO THE PROJECT VIA AN EXISTING WATER MAIN IN COLEMAN ROAD.
4. ON-SITE WATER MAIN SHALL BE 8" CLASS 52 CLDI WITH A MINIMUM OF 5' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
5. WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM 5' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
6. NO WATER SERVICE PIPES SHALL BE LAID IN THE SAME TRENCH WITH GAS PIPES, SEWER PIPE OR ANY OTHER FACILITY OF A PUBLIC SERVICE COMPANY, OR WITHIN THREE FEET OF ANY OPEN EXCAVATION OR VAULT.
7. WASTEWATER FROM THE PROJECT WILL BE DIRECTED VIA GRAVITY SEWER PIPES TO AN ON-SITE COMMON SEWAGE DISPOSAL SYSTEM. THE SEWAGE DISPOSAL SYSTEM WILL BE FINALIZED UNDER SEPARATE COVER.
 8. SEWER PIPE SIZES AND MATERIALS SHALL BE AS FOLLOWS:
 - 8.1. PVC GRAVITY SEWER PIPES SHALL BE SDR-35 PVC.
 - 8.2. PVC FORCE MAIN SHALL BE SCHEDULE 40 PVC.
 - 8.3. SEWER MAIN: 8" PVC LAID AT A MINIMUM SLOPE OF 0.004/1'.
 - 8.4. DOMESTIC SEWER SERVICE BETWEEN BUILDING MAIN: 6" PVC LAID AT A MINIMUM SLOPE OF 0.02/1'.
 9. SEWER SHALL NOT BE PLACED WITHIN 10' (HORIZONTALLY) OF A WATER LINE AND THE SEWER MUST BE 18" BELOW THE WATER LINE AT NECESSARY CROSSINGS.
10. THE ONSITE COMMON SEPTIC SYSTEM IS DESIGNED BY OTHERS UNDER SEPARATE COVER. CONTRACTOR SHALL REFER TO THE SEPTIC DESIGN PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
11. THE CONTRACTOR, ON BEHALF OF THE DEVELOPER, SHALL SUBMIT UTILITY AS-BUILT PLANS IN PAPER AND PDF FORMAT INCLUDING SWING TIES FOR SEWER AND WATER TO THE TOWN ENGINEERING DEPARTMENT.
12. THE CONTRACTOR SHALL COORDINATE ALL PROPOSED GAS, ELECTRIC, TELEPHONE, AND CABLE UTILITY WORK WITH THE RESPECTIVE UTILITY COMPANIES. THE PROPOSED CONNECTION LOCATIONS AND DETAILS PROVIDED HEREIN ARE FOR REPRESENTATION PURPOSES ONLY. FINAL CONNECTION POINTS AND DETAILS SHALL BE AS DETERMINED AND REQUIRED BY THE UTILITY COMPANIES.
13. TRANSFORMERS AND ASSOCIATED PROTECTIVE BOLLARDS SHALL BE PAINTED DARK GREEN IN COLOR, UNLESS OTHERWISE SPECIFIED BY THE OWNER OR UTILITY COMPANY.
14. DUE TO THE SCALE OF THE SITE WORK DRAWINGS, THE EXACT LOCATION OF UTILITY SERVICES TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING DRAWINGS.
15. SUITABLE, TEMPORARY PLUGS SHALL BE INSTALLED IN THE OPEN ENDS OF UTILITY SERVICES TO THE BUILDING PRIOR TO BACKFILLING. STUB LOCATIONS SHALL BE MARKED IN THE FIELD SO THAT THEY MAY BE EASILY LOCATED.
16. EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
17. GUY WIRES SHALL BE INSTALLED AS REQUIRED/DESIGNED BY THE UTILITY COMPANY.
18. ALL SITE DRAINAGE, WATER, AND SEWER WORK OUTSIDE THE BUILDING FOOTPRINT SHALL BE PERFORMED BY A LICENSED DRAIN LAYER.
19. CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING UTILITIES ALONG THE PATH OF THE PROPOSED UTILITY CONNECTIONS AND NOTIFY ENGINEER IMMEDIATELY IF A CONFLICT EXISTS.
20. EXCAVATION, CONDUIT INSTALLATION AND BACKFILLING FOR ELECTRICAL AND TELEPHONE SERVICES TO BE PERFORMED BY SITE CONTRACTOR.

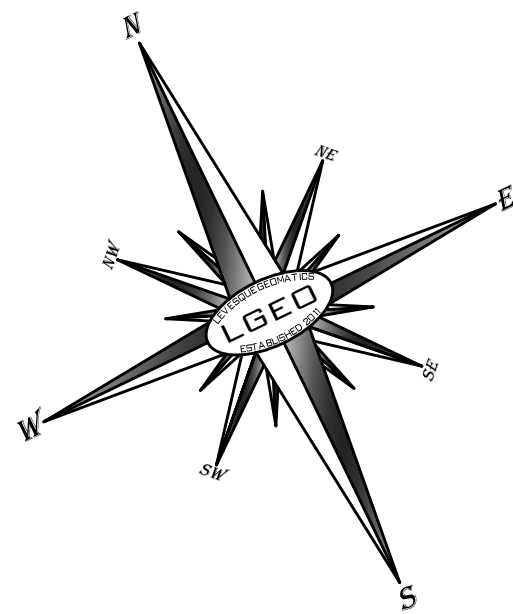
SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. THIS SITE IS SUBJECT TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. SITE OPERATORS SHALL CONFORM TO MEET THE CRITERIA FOR A NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. ADAPTATION TO ACTUAL FIELD CONDITIONS MAY WARRANT VARIATIONS FROM WHAT IS SHOWN ON THESE PLANS FOR EROSION CONTROLS IN ORDER TO MAXIMIZE THE EFFECTIVENESS OF THE CONTROLS.
3. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS. THE SEQUENCING PLANS INCLUDED HEREIN ARE PROVIDED AS A GUIDANCE DOCUMENT TO ASSIST IN THE IMPLEMENTATION OF EROSION/SEDIMENTATION CONTROLS AND STABILIZATION OF THE SITE. ADAPTATION TO ACTUAL FIELD CONDITIONS MAY WARRANT VARIATIONS FROM WHAT IS SHOWN ON THESE PLANS TO MAXIMIZE THE EFFECTIVENESS OF THE CONTROLS.
4. THE CONTRACTOR SHALL ADHERE TO PROCEDURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH THE EPA NPDES CONSTRUCTION GENERAL PERMIT REQUIREMENTS.
5. IN ACCORDANCE WITH THE NPDES CONSTRUCTION GENERAL PERMIT AND ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN (SWPPP), EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST EVERY 14 DAYS AND WITHIN 24 HOURS OF A 0.25" STORM. REPORTS DOCUMENTING THE RESULTS OF EACH INSPECTION AND ANY CORRECTIVE ACTIONS SHALL BE KEPT ON-FILE WITH THE SWPPP.
6. PROPOSED EROSION AND SEDIMENTATION CONTROL MEASURES WILL INCLUDE WATTLES, CRUSHED STONE, RIPRAP, LOAM/SEED, HYDROSEEDING, MULCHING, EROSION CONTROL MATTING, DIVERSION BERMS, AND SEDIMENTATION BASINS AS FURTHER DESCRIBED HEREIN.
7. WATTLES WILL BE USED FOR THE PERIMETER EROSION CONTROL BARRIER AS SHOWN ON THIS PLAN AND ELSEWHERE AS CONDITIONS WARRANT. SILT SACKS WILL BE USED TO PROTECT OFFLINE CATCH BASINS (PRIOR TO BINDER) AND ELSEWHERE AS CONDITIONS WARRANT. THE CONTRACTOR WILL BE REQUIRED TO KEEP A REASONABLE STOCK OF WATTLES ON SITE TO BE ABLE TO SUPPLEMENT OR MAKE REPAIRS AS NECESSARY.
8. LOAMING AND SEEDING OR HYDROSEEDING WILL BE USED AS A PERMANENT STABILIZATION MEASURE FOR ALL REVEGETATED AREAS OF THE SITE.
9. ALL PROPOSED SLOPES 3:1 AND STEEPER SHALL BE STABILIZED WITH AN EROSION CONTROL MATTING AND SHALL BE HYDROSEEDED.
10. MULCHING MAY BE USED TO REINFORCE SEEDED AREAS WHERE EROSION CONTROL MATTING IS NOT REQUIRED OR WARRANTED, BUT WHERE SOME PROTECTION IS WARRANTED. MULCHING MAY ALSO BE USED TO STABILIZE AREAS WHERE CONSTRUCTION ACTIVITIES WILL TEMPORARILY CEASE FOR MORE THAN 14 DAYS.
11. SEDIMENTATION BASINS SHALL BE USED THROUGHOUT THE SITE TO TREAT RUNOFF. DIVERSION BERMS SHALL BE UTILIZED TO DIVERT UNTREATED STORMWATER TO THE SEDIMENTATION BASINS. SEDIMENTATION BASINS AND DIVERSION BERMS SHALL BE ADDED, REMOVED, AND ADJUSTED AS THE SITE EVOLVES THROUGHOUT THE CONSTRUCTION PROCESS.
12. UPON CONVERTING ANY TEMPORARY SEDIMENTATION BASINS TO PERMANENT DETENTION/INFILTRATION BASINS, THE BASINS SHALL BE CLEANED OF ALL ACCUMULATED SEDIMENT TO ENSURE THAT THE VOLUMETRIC AND INFILTRATION DESIGN CAPACITIES ARE MAINTAINED.
13. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, IN ACCORDANCE WITH THE NPDES CONSTRUCTION GENERAL PERMIT. STABILIZATION MEASURES SHALL BE IMPLEMENTED NOT MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS IN WHICH CASE STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
14. EROSION AND SEDIMENTATION CONTROLS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT TO ENSURE THAT THEY FUNCTION AS INTENDED. DEFICIENCIES WILL BE CORRECTED BY REPAIRING, OR REPLACING THE AFFECTED CONTROL(S) OR PORTION(S) THEREOF TO REESTABLISH PROPER FUNCTIONING AS QUICKLY AS POSSIBLE. SEDIMENTATION CONTROLS WILL BE REQUIRED TO BE CLEANED OR REPLACED WHEN THE ACCUMULATED SEDIMENT EXCEEDS 50 PERCENT OF THE DESIGN CAPACITY OF THE CONTROL. ANY OFF-SITE ACCUMULATIONS OF SEDIMENT WILL BE REQUIRED TO BE REMOVED AS QUICKLY AS POSSIBLE IN A MANNER THAT MINIMIZES ADDITIONAL DISTURBANCE.
15. EROSION CONTROL BARRIER (WHERE SHOWN) REPRESENTS THE LIMIT OF WORK. WHERE NO EROSION CONTROL BARRIER IS REQUIRED (SUCH AS UPSLOPE AREAS), A LIMIT OF WORK LINE HAS BEEN SHOWN. WHERE NO EROSION CONTROL BARRIER IS REQUIRED, THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD BY A VISUAL BARRIER SUCH AS TEMPORARY CONSTRUCTION FENCING IN ORDER TO KEEP CONSTRUCTION ACTIVITIES OUT OF THOSE AREAS.
16. THE PROPOSED ONSITE DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS PRACTICABLE. ALL EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED WITH A SILT SACK (SEE DETAIL).
17. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT BASIN OR OTHER SETTLING AREA TO ALLOW FOR SUFFICIENT SETTLING PRIOR TO DISCHARGE.
18. DUST SHALL BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO LOCAL, STATE AND FEDERAL STANDARDS.
19. ABUTTING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS FROM THIS PROJECT AT ALL TIMES. WORK ON ABUTTING PROPERTY SHALL REQUIRE WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO ANY LAND DISTURBANCE.
20. THE EROSION CONTROL MEASURES ILLUSTRATED IN THIS PLAN SET SHALL BE THE MINIMUM REQUIRED CONTROLS IMPLEMENTED.
21. STOCKPILING LOCATIONS SHALL BE FIELD DETERMINED AND SHALL NOT LIE WITHIN THE 100-FOOT WETLAND BUFFER. DIVERSION BERMS AND EROSION CONTROL BARRIERS SHALL BE INSTALLED DOWNGRADIENT OF STOCKPILES IN ACCORDANCE WITH THE PLAN AND DETAILS.
22. ESTIMATED STABILIZED AREA AS SHOWN ON THE SEQUENCING PLANS PROVIDED HEREIN REPRESENTS THE APPROXIMATE AREA THAT WILL BE STABILIZED (EITHER TEMPORARILY OR PERMANENTLY) BY THE END OF THE CONSTRUCTION SEQUENCE.
23. CRUSHED STONE AND/OR RIPRAP SHALL BE USED TO CONSTRUCT THE TRACKING PAD, CUT SLOPE TREATMENT AREAS, CHECK DAMS, SEDIMENTATION BASIN OUTLET PROTECTION, AND ELSEWHERE AS CONDITIONS WARRANT. THE CONTRACTOR WILL BE REQUIRED TO KEEP A REASONABLE STOCK OF CRUSHED STONE AND RIPRAP ON SITE TO BE ABLE TO SUPPLEMENT OR MAKE REPAIRS AS NECESSARY.
24. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT BASIN TO ALLOW FOR SUFFICIENT SETTLING PRIOR TO DISCHARGE.
25. PROVIDE AND STORE AUXILIARY DEWATERING EQUIPMENT ON THE SITE IN THE EVENT OF BREAKDOWN. PROVIDE NON-WOVEN FILTER FABRIC SHALL BE SPECIFICALLY DESIGNED FOR SUBSURFACE DRAINAGE APPLICATIONS.
26. WATER FROM THE TRENCHES AND EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS TO AVOID PUBLIC NUISANCE, INJURY TO PUBLIC HEALTH OR THE ENVIRONMENT, OR DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS. DO NOT DISCHARGE WATER INTO ANY SANITARY SEWER SYSTEM. SILTATION BARRIERS SHALL BE UTILIZED IF NECESSARY.
27. WATER FROM TRENCHES AND EXCAVATIONS SHALL NOT BE DISCHARGED DIRECTLY TO STORM DRAIN SYSTEMS. PROPER TREATMENT TO A SEDIMENTATION AREA IS TO TAKE PLACE PRIOR TO DISCHARGE TO ANY DRAINAGE SYSTEMS.
28. THE CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM THE FAILURE OF THE DEWATERING OPERATIONS OR FROM FAILURE TO MAINTAIN ALL AREAS OF WORK IN SUITABLE DRY CONDITION.
29. DO NOT EXCAVATE UNTIL THE DEWATERING SYSTEM IS OPERATIONAL AND THE EXCAVATION MAY PROCEED WITHOUT DISTURBANCE TO THE FINAL SUBGRADE.
30. UNLESS OTHERWISE SPECIFIED, CONTINUE DEWATERING UNINTERRUPTED UNTIL THE STRUCTURES, PIPES, AND APPURTENANCES TO BE BUILT HAVE BEEN PROPERLY INSTALLED. WHERE SUBGRADE MATERIALS ARE UNABLE TO MEET SUBGRADE DENSITY REQUIREMENTS DUE TO IMPROPER DEWATERING TECHNIQUES, REMOVE AND REPLACE THE MATERIALS AS DIRECTED BY THE ENGINEER.
31. THE PROPOSED ONSITE DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS PRACTICABLE. ALL EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED WITH A SILT SACK (SEE DETAIL).
32. BMPs TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE BOARD. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
33. ABUTTING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS FROM THIS PROJECT AT ALL TIMES. WORK ON ABUTTING PROPERTY SHALL REQUIRE WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO ANY LAND DISTURBANCE.
34. THE EROSION CONTROL MEASURES ILLUSTRATED IN THIS PLAN SET SHALL BE THE MINIMUM REQUIRED CONTROLS IMPLEMENTED. THE CONTRACTOR SHALL KEEP ADDITIONAL EROSION CONTROL MEASURES SUCH AS WATTLES ONSITE AT ALL TIMES TO RELOCATE OR ADD SUCH MEASURES AS THE PROJECT EVOLVES OR AN UNFORESEEN CONDITION OCCURS.
35. STOCKPILES SHALL BE LOCATED ONSITE OUTSIDE OF ALL WETLAND RESOURCE AREA BUFFER ZONES IF PRESENT ON SITE. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE FOOT OF THE STOCKPILE AND AND SHALL BE COVERED TO PREVENT WASHOUT.
36. NO EARTH IS ANTICIPATED TO BE REMOVED OFFSITE IN CONJUNCTION WITH CONSTRUCTION.

WAIVER REQUESTS

- THE APPLICANT REQUESTS A WAIVER FROM THE FOLLOWING SUBDIVISION DESIGN STANDARD REGULATIONS.
1. REDUCE AREA AND FRONTAGE FROM THE REQUIRED AGRICULTURAL RESIDENTIAL ZONING DIMENSIONAL REGULATIONS OF 40,000 SQUARE FEET AND 125 LINEAL FOOT, RESPECTIVELY.
 2. SECTION 117-18.B.13 - TREES OVER 6" IN DIAMETER - HUNDREDS OF TREES OVER 6" ONSITE, WAIVER REQUESTED
 3. SECTION 117-18.C.1-2 - ENVIRONMENTAL ANALYSIS - DUE TO THE SMALL SCALE OF THE PROJECT, WAIVER REQUESTED
 4. SECTION 117-23 - GENERAL LAYOUT AND DIMENSIONS - SEEKING REDUCTION OF THE FOLLOWING TO REDUCE DISTURBED AREA
 - 4.1. R.O.W WIDTH - 53 FEET REQUIRED, 40 FEET PROPOSED
 - 4.2. CUL-DE-SAC - 165 FEET R.O.W. DIAMETER & 140 FEET OUTSIDE PAVEMENT DIAMETER, 126 FEET AND 120 FEET PROVIDED, RESPECTIVELY
 5. SECTION 117-34.A.1 - UTILITIES - PROPOSING HDPE PIPING INSTEAD OF REINFORCED CONCRETE PIPE
 6. SECTION 117-35 - SIDEWALKS/BIKEWAYS - LACK OF SIDEWALKS ON ADJACENT STREETS, ONSITE TRAILS PRESERVED, WAIVER REQUESTED

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
	 	CATCH BASIN
		DRAIN MANHOLE
		SEWER MANHOLE
		DRAIN PIPE
		GAS LINE
		OVERHEAD WIRES
		UNDERGROUND WIRES
		SEWER LINE
		WATER LINE
		FORCE MAIN
		FOUNDATION DRAIN
		ROOF DRAIN
		MINOR CONTOUR
		INDEX CONTOUR
		FENCE
		CONSTRUCTION FENCE
		GUIDERAIL
		STONE WALL
		ECON: WATTLES + SILT FENCE
		ECON: WATTLES ONLY
		TREELINE
		BUILDING
		CRUSHED STONE
		RIPRAP
		CONSTRUCTION ENTRANCE
		MILL & OVERLAY
		HYDRANT
		SIGN
		SITE/STREET LIGHT
		BOLLARD LIGHT
		UTILITY POLE
		OUTLET CONTROL STRUCTURE
		FLARED END SECTION
		TEST PIT LOCATION
		TOP/BOTTOM CURB ELEVATION
300.5x		SPOT ELEVATION
		NUMBER OF PARKING SPACES
		CURB RADIUS
		ACCESSIBLE MARKINGS



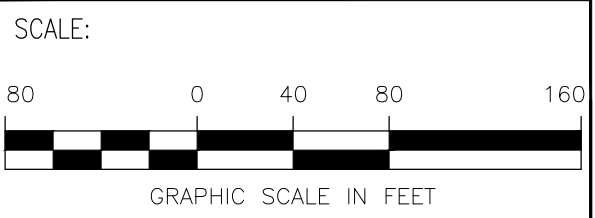
SHEET 3.3

SHEET 3.4

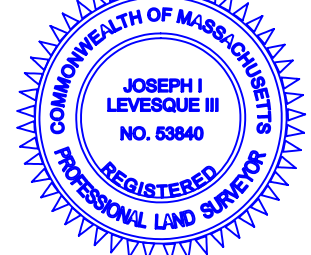
SHEET 3.5

SHEET 3.2

REV	DATE	COMMENT
1	3/24/2021	ADDED ADDITIONAL TEST PITS



SEAL:
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JOSEPH I. LEVESQUE III, PLS
MASS. PROFESSIONAL LAND SURVEYOR #53840

PREPARED FOR:

ZENDKO, LLC
4 HIGH STREET
NORTH ANDOVER, MA 01845

PROJECT:

**OPEN SPACE
RESIDENTIAL
DEVELOPMENT**
15 COLEMAN ROAD
NEWBURY,
MASSACHUSETTS 01922

CIVIL ENGINEER:

**CIVIL DESIGN
GROUP, LLC**
21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400 f: 978-965-3971

SURVEYED BY:

**LEVESQUE
GEOMATICS INC**
43 GLENDALE ROAD
STURBRIDGE, MA 01518
www.l-geo.net
p: 508-868-0041

DATE: 1/25/2021
PROJECT NO: 19025

PLANNING BOARD:

I, _____, CLERK OF THE TOWN OF NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD WAS RECEIVED ON _____ AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NET FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

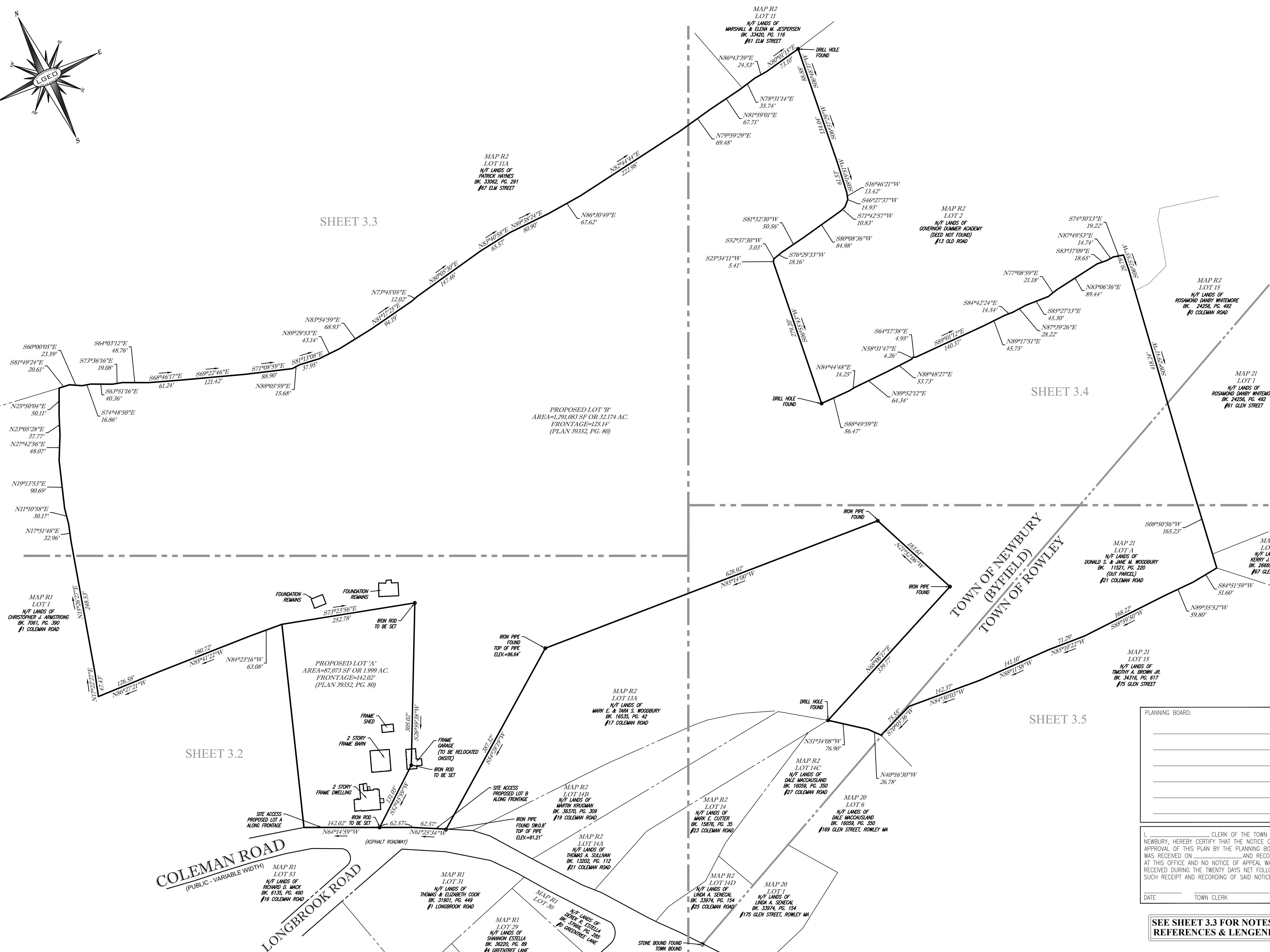
DATE: _____ TOWN CLERK

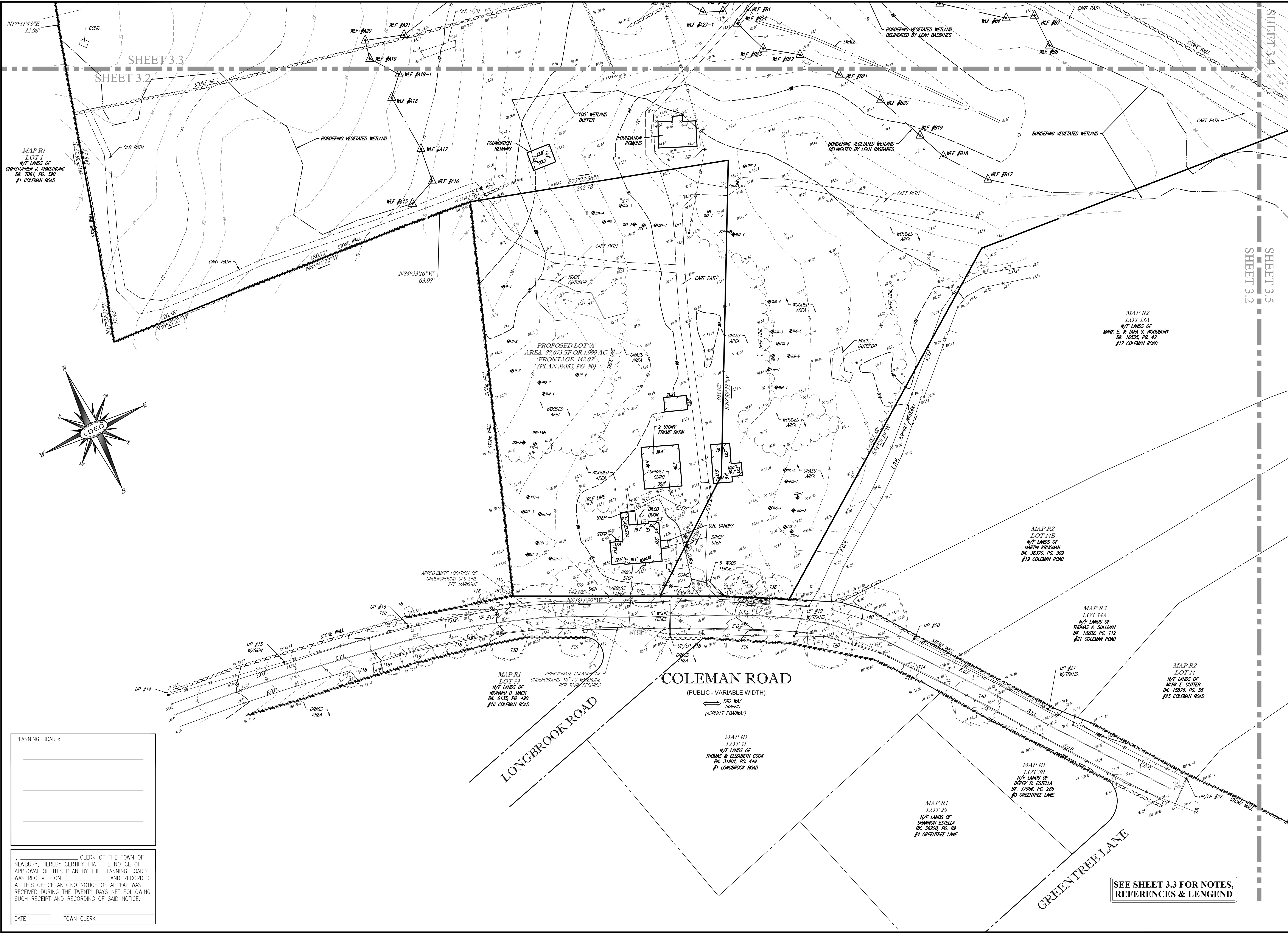
**SEE SHEET 3.3 FOR NOTES,
REFERENCES & LENGEND**

COLEMAN ROAD
(PUBLIC - VARIABLE WIDTH)

Longbrook Road

**TOWN OF NEWBURY
(BYFIELD)
TOWN OF ROWLEY**





REV	DATE	COMMENT
1	3/24/2021	ADDED ADDITIONAL TEST PITS

SCALE:
40 0 20 40 80
GRAPHIC SCALE IN FEET

SEAL:
THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

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NORTH ANDOVER, MA 01845

PROJECT:

**OPEN SPACE
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SHEET:

**EXISTING
CONDITIONS
SURVEY**

3.2

DATE: 1/25/2021
PROJECT NO: 19025

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DATE _____ TOWN CLERK

SEE SHEET 3.3 FOR NOTES,
REFERENCES & LENGEND

NOTES:

- PROPERTY KNOWN AS MAP R2, LOTS 12 & 13 IN THE TOWN OF NEWBURY AND MAP 21, LOT A IN THE TOWN OF ROWLEY AS SHOWN ON THE GIS MAPS OF THE TOWN OF SAID TOWNS, ESSEX COUNTY, COMMONWEALTH OF MASSACHUSETTS.
- AREA = 1,488,597 SF OR 34.173 AC.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. LEVESQUE GEOMATICS INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THE BEARING BASIS OF THIS SURVEY IS BASED ON THE NORTH AMERICAN DATUM OF 1983 MASSACHUSETTS MAINLAND STATE PLANE COORDINATE SYSTEM.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY LEVESQUE GEOMATICS INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- THE WETLAND DELINEATION LINE WAS PLACED IN THE FIELD BY LEAH BASBANES MARCH 2020 AND FIELD LOCATED BY LEVESQUE GEOMATICS INC. APRIL 2020.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON RTK GPS OBSERVATIONS ON THE KEYSTONE REAL TIME NETWORK AND ARE SUBJECT TO LOCAL BENCHMARK ADJUSTMENT.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP 25090C0256G WITH AN EFFECTIVE DATE OF 7/16/2014.
- THE BENCHMARKS SHOWN ON SHEET 3.1 ARE TO BE VERIFIED BY THIS SURVEYOR PRIOR TO ANY CONSTRUCTION OR PLANNED ACTIVITIES.

PLAN REFERENCES:

PLAN BOOK	PLAN #
117	42
167	46
178	21
199	41
217	62
234	94
296	1
345	70
448	1969
59352	80

OWNER INFO:

ZENDKO, LLC
4 HIGH STREET
NORTH ANDOVER, MASS. 01845
BK. 38735, PAGE 125

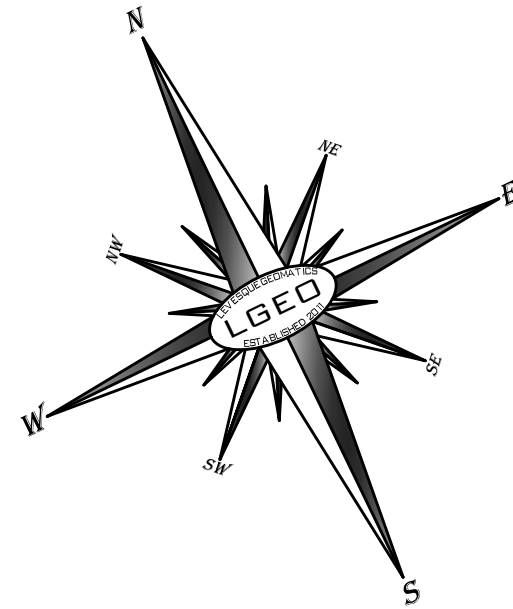
LEGEND

---	124	---	EXISTING CONTOUR
---	125	---	EXISTING SPOT ELEVATION
x	12145		AERIAL SURVEY SPOT ELEVATION
x	10	123.45	EXISTING TOP OF CURB ELEVATION
x	G	122.95	EXISTING GUTTER ELEVATION
x	1W	123.45	EXISTING TOP OF WALL ELEVATION
x	BW	122.95	EXISTING BOTTOM OF WALL ELEVATION
x	FF	123.45	EXISTING FINISHED FLOOR ELEVATION
x	DS	123.45	EXISTING DOOR SILL ELEVATION
○			HYDRANT
W			WATER VALVE
V			GAS VALVE
EM			ELECTRIC METER
G			APPROX. LOC. UNDERGROUND GAS LINE
OH			OVERHEAD WIRES
W			APPROX. LOC. UNDERGROUND WATER LINE
UP			UTILITY POLE
GW			GUY WIRE
UPLP			UTILITY POLE/LIGHT POLE
○			SIGN
□			MAIL BOX
LSM			LANDSCAPED AREA
EOP			EDGE OF PAVEMENT
CB			CATCH BASIN OR INLET
SMH			SANITARY/SEWER MANHOLE
△			DELINEATION FLAG
T			DECIDUOUS TREE & TRUNK SIZE

PLANNING BOARD:

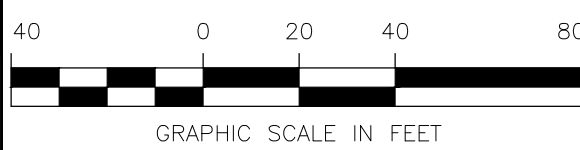
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DATE _____ TOWN CLERK



SHEET 3.3

SCALE:



SEAL:

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PREPARED FOR:

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NORTH ANDOVER, MA 01845

PROJECT:

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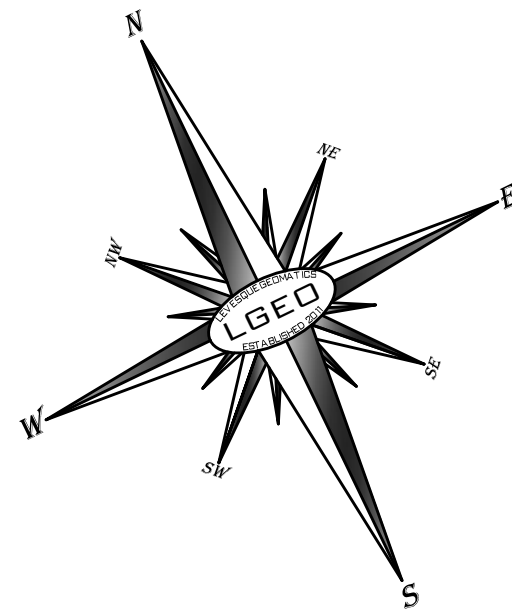
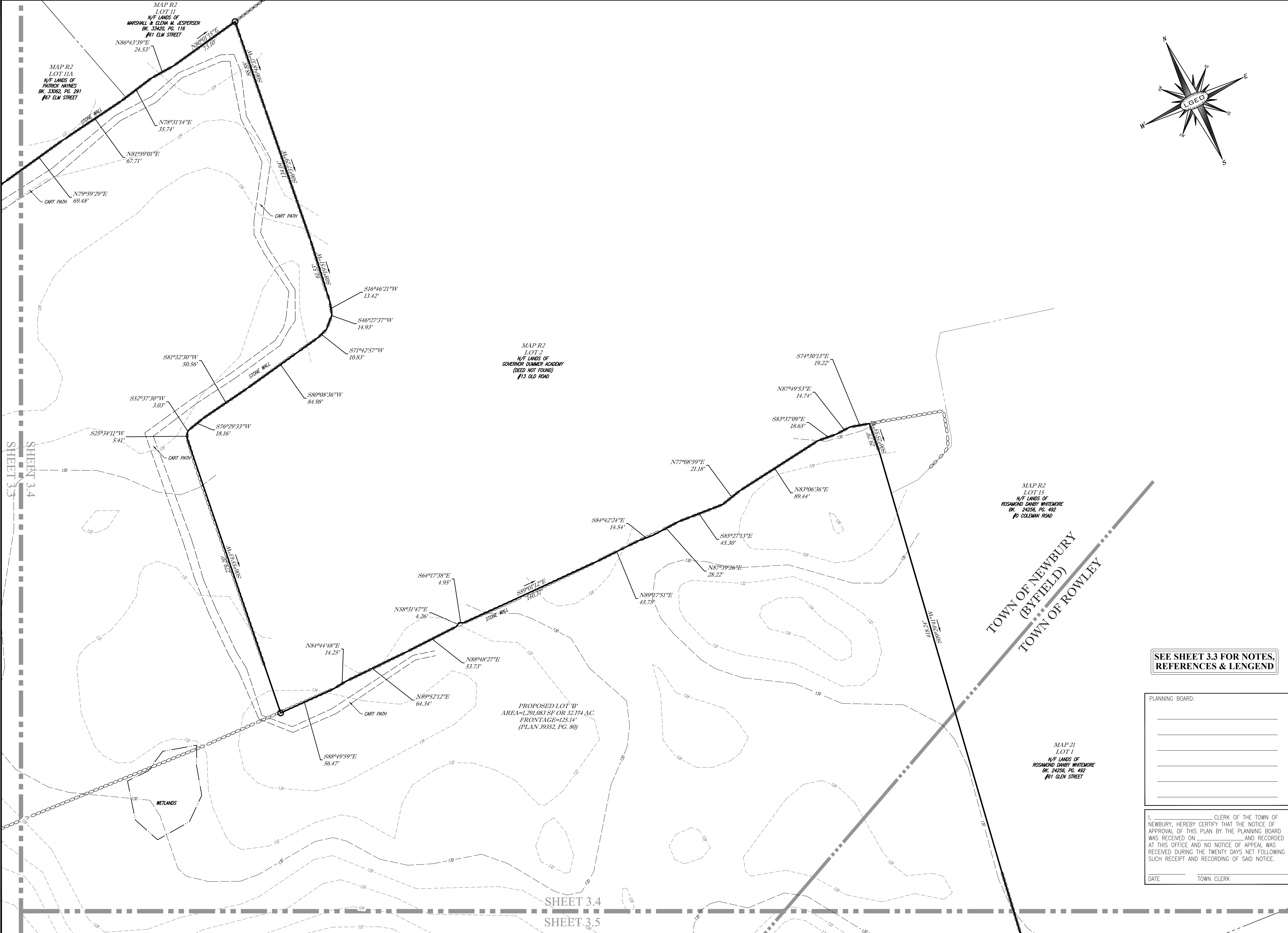
SHEET:

EXISTING
CONDITIONS
SURVEY

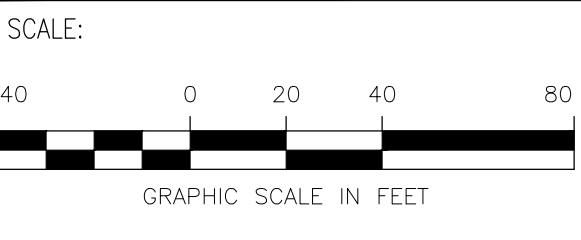
3.3

DATE: 1/25/2021
PROJECT NO: 19025

SHEET 3.3
SHEET 3.2



REV	DATE	COMMENT
1	3/24/2021	ADDED ADDITIONAL TEST PITS



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SHEET:

**EXISTING
CONDITIONS
SURVEY**

3.4

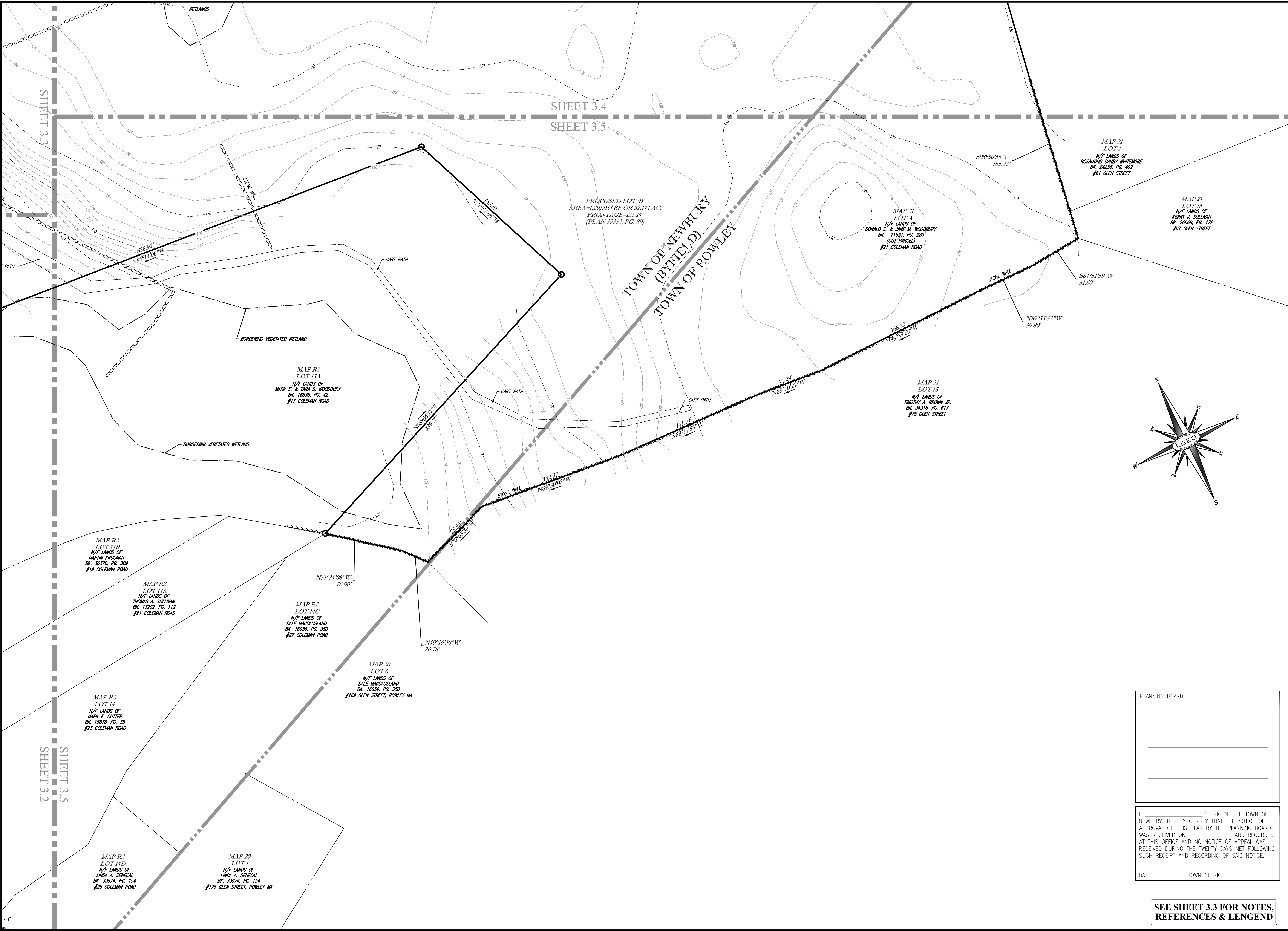
DATE: 1/25/2021
PROJECT NO: 19025

SEE SHEET 3.3 FOR NOTES,
REFERENCES & LENGEND

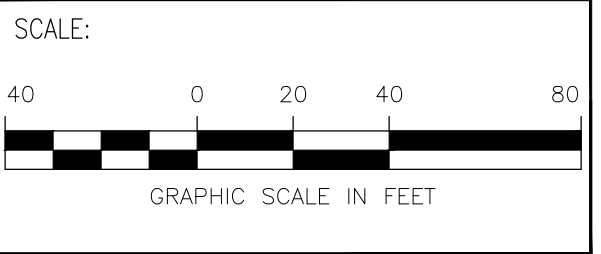
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MASS. PROFESSIONAL LAND SURVEYOR #53840

PREPARED FOR:

ZENDKO, LLC
4 HIGH STREET
NORTH ANDOVER, MA 01845

PROJECT:

**OPEN SPACE
RESIDENTIAL
DEVELOPMENT**
15 COLEMAN ROAD
NEWBURY,
MASSACHUSETTS 01922

PREPARED BY:

**CIVIL DESIGN
GROUP, LLC**

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdengineering.com
p: 978-794-5400 f: 978-965-3971

SURVEYED BY:

**LEVESQUE
GEOMATICS INC**

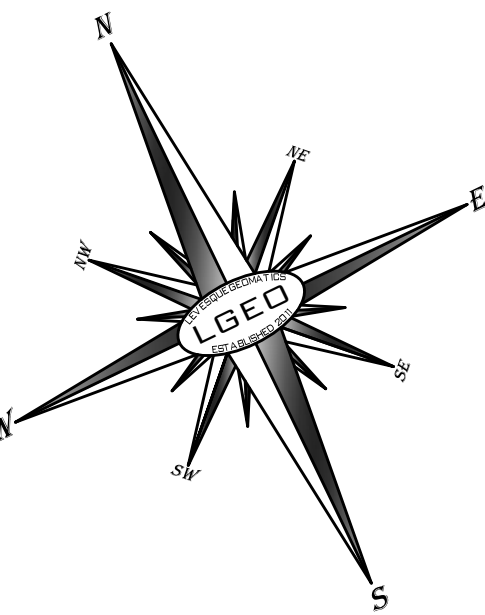
43 GLENDALE ROAD
STURBRIDGE, MA 01518
www.l-geo.net
p: 508-868-0041

SHEET:

**EXISTING
CONDITIONS
SURVEY**

3.5

DATE: 1/25/2021
PROJECT NO: 19025

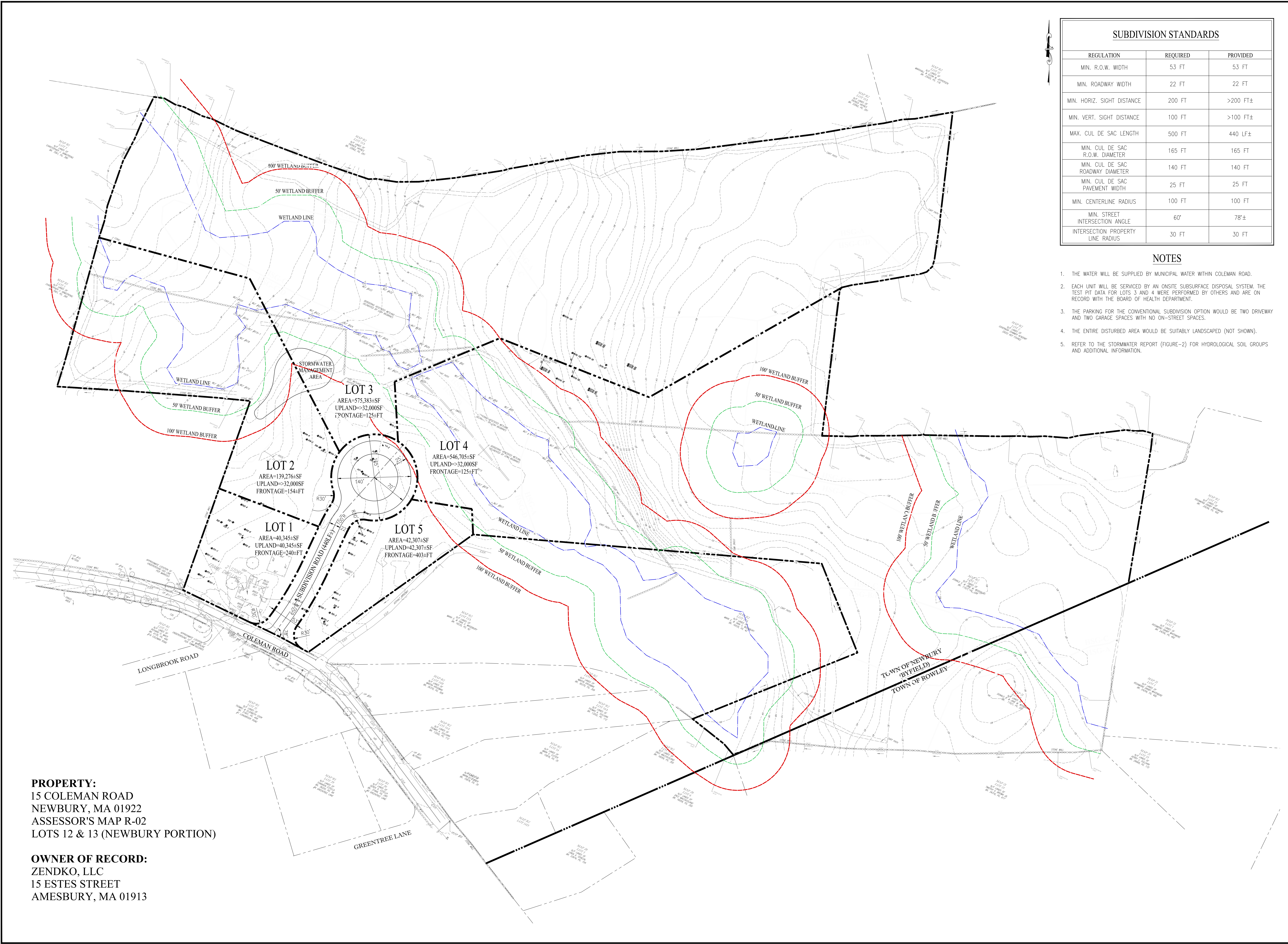


PLANNING BOARD:

I, _____ CLERK OF THE TOWN OF NEWBURY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD WAS RECEIVED ON _____ AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NET FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

SEE SHEET 3.3 FOR NOTES, REFERENCES & LENGEND



PROPERTY:
15 COLEMAN ROAD
NEWBURY, MA 01922
ASSESSOR'S MAP R-02
LOTS 12 & 13 (NEWBURY PORTION)

OWNER OF RECORD:
ZENDKO, LLC
15 ESTES STREET
AMESBURY, MA 01913

SUBDIVISION STANDARDS		
REGULATION	REQUIRED	PROVIDED
MIN. R.O.W. WIDTH	53 FT	53 FT
MIN. ROADWAY WIDTH	22 FT	22 FT
MIN. HORIZ. SIGHT DISTANCE	200 FT	>200 FT±
MIN. VERT. SIGHT DISTANCE	100 FT	>100 FT±
MAX. CUL DE SAC LENGTH	500 FT	440 LF±
MIN. CUL DE SAC R.O.W. DIAMETER	165 FT	165 FT
MIN. CUL DE SAC ROADWAY DIAMETER	140 FT	140 FT
MIN. CUL DE SAC PAVEMENT WIDTH	25 FT	25 FT
MIN. CENTERLINE RADIUS	100 FT	100 FT
MIN. STREET INTERSECTION ANGLE	60°	78°±
INTERSECTION PROPERTY LINE RADIUS	30 FT	30 FT

NOTES

- THE WATER WILL BE SUPPLIED BY MUNICIPAL WATER WITHIN COLEMAN ROAD.
- EACH UNIT WILL BE SERVICED BY AN ONSITE SUBSURFACE DISPOSAL SYSTEM. THE TEST PIT DATA FOR LOTS 3 AND 4 WERE PERFORMED BY OTHERS AND ARE ON RECORD WITH THE BOARD OF HEALTH DEPARTMENT.
- THE PARKING FOR THE CONVENTIONAL SUBDIVISION OPTION WOULD BE TWO DRIVEWAY AND TWO GARAGE SPACES WITH NO ON-STREET SPACES.
- THE ENTIRE DISTURBED AREA WOULD BE SUITABLY LANDSCAPED (NOT SHOWN).
- REFER TO THE STORMWATER REPORT (FIGURE-2) FOR HYDROLOGICAL SOIL GROUPS AND ADDITIONAL INFORMATION.

NOT FOR CONSTRUCTION

CDG PROJECT #: 19025

REVISIONS:

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DATE _____ TOWN CLERK

SEAL:

COMMONWEALTH OF MASSACHUSETTS

PHILIP R. HENRY

CIVIL

No. 48547

REGISTERED

PROFESSIONAL ENGINEER

PSK

PHILIP R. HENRY, P.E.

PREPARED BY:

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PREPARED FOR:

ZENDKO, LLC

15 ESTES STREET
AMESBURY, MA 01913

PROJECT:

OPEN SPACE RESIDENTIAL DEVELOPMENT

15 COLEMAN ROAD
NEWBURY, MASSACHUSETTS 01922

SCALE:

80 0 40 80 160

GRAPHIC SCALE IN FEET

SHEET:

YIELD PLAN

4

DATE: 01/08/2021



NOT FOR CONSTRUCTION

CDG PROJECT #:19025

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DATE	TOWN CLERK
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SEAL:

SEAL OF THE COMMONWEALTH OF MASSACHUSETTS
PHILIP R. HENRY
CIVIL
No. 48547
REGISTERED PROFESSIONAL ENGINEER

PHILIP R. HENRY, P.E.

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OPEN SPACE RESIDENTIAL DEVELOPMENT

15 COLEMAN ROAD
NEWBURY, MASSACHUSETTS 01922

SCALE:

200	0	100	200	400
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GRAPHIC SCALE IN FEET

SHEET:

SITE CONTEXT MAP

5

DATE:01/08/2021



SIGHT DISTANCE NOTE:
THE REQUIRED SIGHT DISTANCE FOR A 25 MPH ROADWAY (COLEMAN ROAD) IS 155 FEET. THE PROPOSED DRIVEWAY LOCATION PROVIDES APPROXIMATELY 290 FEET LOOKING WEST AND 390 FEET LOOKING EAST, WHICH WOULD SATISFY ROADWAY SPEEDS UP TO 35 MPH. THE MEASURED SIGHT DISTANCE ALSO CONSIDERS THE VERTICAL ROADWAY CHANGES.

LAND COVERAGE CALCULATIONS				
TOTAL AREA: 31.69± ACRES				
COVER	EXISTING	%	PROPOSED	%
BUILDING	0.10± AC	>1%	0.46± AC	1%
PAVEMENT/CONCRETE	0.07± AC	>1%	0.53± AC	2%
NON-DESIGNATED/DEVELOPED UPLAND OPEN SPACE	25.01± AC	79%	3.52± AC	11%
DESIGNATED UPLAND OPEN SPACE	0.00 AC	0%	20.67± AC*	65%
WETLAND	6.51± AC	21%	6.51± AC*	21%
TOTAL	31.69± AC	100%	31.69± AC	100%

* COMPRISES OPEN SPACE LOT 8 OF 27.18± ACRES
THERE IS CURRENTLY A TOTAL OF 25.18± ACRES OF UPLAND ON THE TRACT OF LAND, WHEREBY 50%, OR 12.6± ACRES, OF WHICH IS REQUIRED TO BE DESIGNATED OPEN SPACE. OPEN SPACE LOT 8 INCLUDES 20.67± ACRES OF UPLAND OR 65% OF THE PROJECT TRACT, THEREBY SATISFYING THE OPEN SPACE REQUIREMENT.

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15 COLEMAN ROAD
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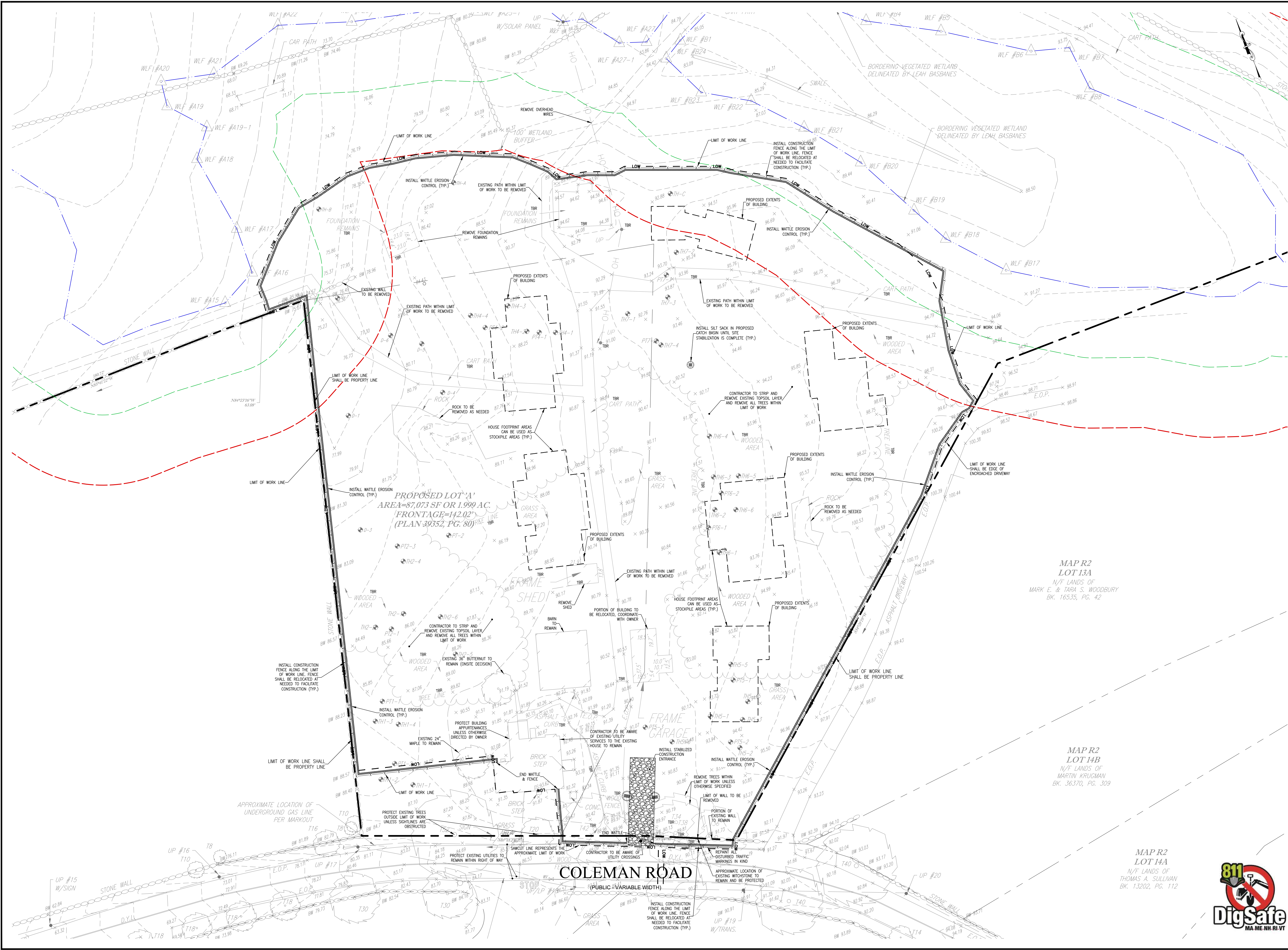
SCALE:

80 0 40 80 160
GRAPHIC SCALE IN FEET

SHEET:

OVERALL LAYOUT & OPEN SPACE PLAN
6

DATE:01/08/2021



NOT FOR CONSTRUCTION

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15 COLEMAN ROAD
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SCALE:

GRAPHIC SCALE IN FEET

SHEET:

DEMOLITION & EROSION CONTROL PLAN

7

DATE: 01/08/2021

MAP R2
LOT 13A
N/F LANDS OF
MARK E. & TARA S. WOODBURY
BK. 16535, PG. 42

MAP R2
LOT 14B
N/F LANDS OF
MARTIN KRUGMAN
BK. 36370, PG. 309

MAP R2
LOT 14A
N/F LANDS OF
THOMAS A. SULLIVAN
BK. 13202, PG. 112



ZONING INFORMATION			
ZONING DISTRICT : AGRICULTURAL RESIDENTIAL (AR) DISTRICT OVERLAY : OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD)			
REGULATION	REQUIRED (AR)	REQUIRED (OSRD)	PROPOSED
MIN. LOT AREA	40,000 SF (80% UPLAND)	REDUCED AREA PERMITTED ⁽¹⁾	SEE PLANS
MIN. LOT FRONTAGE	125 LF	50 LF	SEE PLANS
MIN. FY SETBACK	20'	20'	SEE PLANS
MIN. SY SETBACK	10'	10'	SEE PLANS
MIN. RY SETBACK	10'	10'	SEE PLANS
MAX. BUILDING HEIGHT	35 FT	35 FT	<35 FT
MIN. OPEN SPACE	NOT SPECIFIED	50% OF UPLAND OF ENTIRE TRACT	65%± 20.7 ACRES

(1) SECTION 97-5.0.10 OF THE TOWN OF NEWBURY ZONING REGULATIONS

SUBDIVISION STANDARDS		
REGULATION	REQUIRED	PROVIDED
MIN. R.O.W. WIDTH	53 FT	40 FT*
MIN. ROADWAY WIDTH	22 FT	22 FT
MIN. HORIZ. SIGHT DISTANCE	200 FT	>200 FT±
MIN. VERT. SIGHT DISTANCE	100 FT	>100 FT±
MAX. CUL DE SAC LENGTH	500 FT	420 LF±
MIN. CUL DE SAC R.O.W. DIAMETER	165 FT	126 FT*
MIN. CUL DE SAC ROADWAY DIAMETER	140 FT	120 FT*
MIN. CUL DE SAC PAVEMENT WIDTH	25 FT	30 FT
MIN. CENTERLINE RADIUS	100 FT	135 FT
MIN. STREET INTERSECTION ANGLE	60°	90°±
INTERSECTION PROPERTY LINE RADIUS	30 FT	30 FT

* WALKER REQUESTED



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SCALE:

GRAPHIC SCALE IN FEET

SHEET:

LAYOUT PLAN

8

DATE: 01/08/2021



CATCH BASIN SCHEDULE			
NAME	DIA.	GRATE	INV. (OUT)
CB-1	60"	89.70"	86.70 (12", DMH-1)
CB-2	60"	89.71"	86.70 (12", DMH-1)
CB-3	48"	91.58"	86.00 (12", DMH-3(HSS))

DRAIN MANHOLE SCHEDULE			
NAME	DIA.	RIM	INV. (N)
DMH-1	48"	90.21	86.60 (12", CB-1)
DMH-2	48"	93.68	85.80 (12", DMH-1)
DMH-3(HSS)	48"	93.50	84.65 (12", CB-3)
DMH-4	48"	93.25	84.20 (12", DMH-3(HSS))

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COMMONWEALTH OF MASSACHUSETTS
PHILIP R. HENRY
CIVIL
No. 48547
REGISTERED
PROFESSIONAL ENGINEER

PHILIP R. HENRY

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SCALE:

30 0 15 30 60
GRAPHIC SCALE IN FEET

SHEET:

GRADING & DRAINAGE PLAN
9

DATE: 01/08/2021



SEWER MANHOLE SCHEDULE				
NAME	RIM	INV. (IN)	INV. (OUT)	
SMH-1	93.50'	83.90 (8", SMH-2) 83.90 (8", UNIT#7)	83.80 (8", SEPTIC TANK)	
SMH-2	92.65'	87.30 (6", UNIT#3) 87.30 (6", UNIT#4) 87.30 (6", UNIT#5)	87.20 (8", SMH-1)	

CATCH BASIN SCHEDULE			
NAME	DIA.	GRATE	INV. (OUT)
CB-1	60"	89.70"	86.70 (12", DMH-1)
CB-2	60"	89.71"	86.70 (12", DMH-1)
CB-3	48"	91.58"	86.00 (12", DMH-3(HSS))

DRAIN MANHOLE SCHEDULE				
NAME	DIA.	RIM	INV. (IN)	INV. (OUT)
DMH-1	48"	90.21	86.60 (12", CB-1) 86.60 (12", CB-2)	86.50 (12", DMH-2)
DMH-2	48"	93.68	85.80 (12", DMH-1)	85.70 (12", DMH-3(HSS))
DMH-3(HSS)	48"	93.50	84.65 (12", CB-3) 84.65 (12", DMH-2)	84.40 (12", DMH-4)
DMH-4	48"	93.25	84.20 (12", DMH-3(HSS))	84.10 (12", SIS#1)

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SCALE:

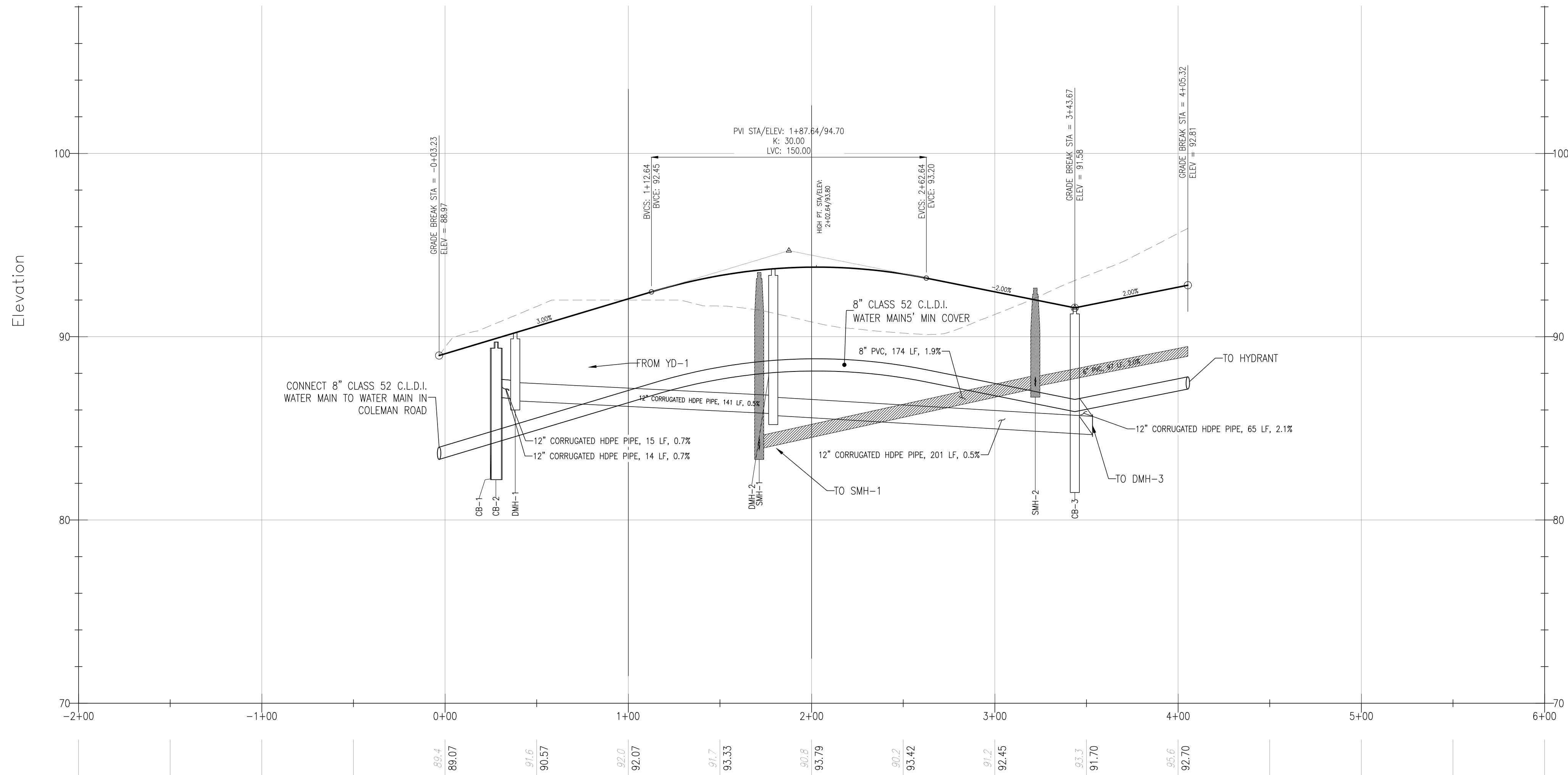
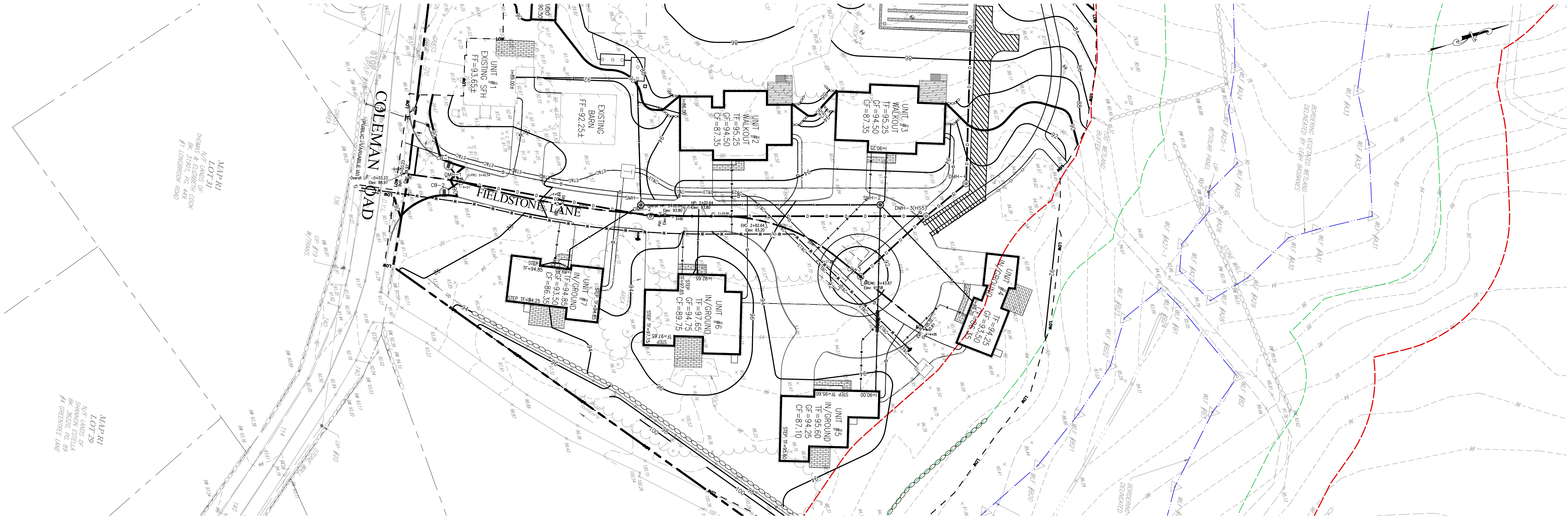
GRAPHIC SCALE IN FEET

SHEET:

UTILITY PLAN

10

DATE: 01/08/2021



DRAIN MANHOLE SCHEDULE					
NAME	STA.	OFFSET	RIM	INV. (N)	INV. (OUT)
DMH-1	0+38.29	0.07'L	90.21	86.60 (12", CB-1) 86.60 (12", CB-2)	86.50 (12", DMH-2)
DMH-2	1+79.09	1.27'R	93.68	85.80 (12", DMH-1)	85.70 (12", DMH-3(HSS))

CATCH BASIN SCHEDULE					
NAME	STA.	OFFSET	GRATE	INV. (OUT)	
CB-1	0+28.19	10.47'L	89.70	86.70 (12", DMH-1)	
CB-2	0+27.72	9.39'R	89.71	86.70 (12", DMH-1)	
CB-3	3+43.68	0.01'R	91.58	86.00 (12", DMH-3(HSS))	

SEWER MANHOLE SCHEDULE					
NAME	STA.	OFFSET	RIM	INV. (N)	INV. (OUT)
SMH-1	1+71.44	6.42'L	93.50	83.90 (8", SMH-2) 83.90 (6", UNIT#7)	83.80 (8", SEPTIC TANK)
SMH-2	3+22.10	49.57'L	92.65	87.30 (6", UNIT#3) 87.30 (6", UNIT#4) 87.30 (6", UNIT#5)	87.20 (8", SMH-1)

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SCALE:

40 0 20 40 80
GRAPHIC SCALE IN FEET

SHEET:

PLAN & PROFILE
11

DATE: 01/08/2021

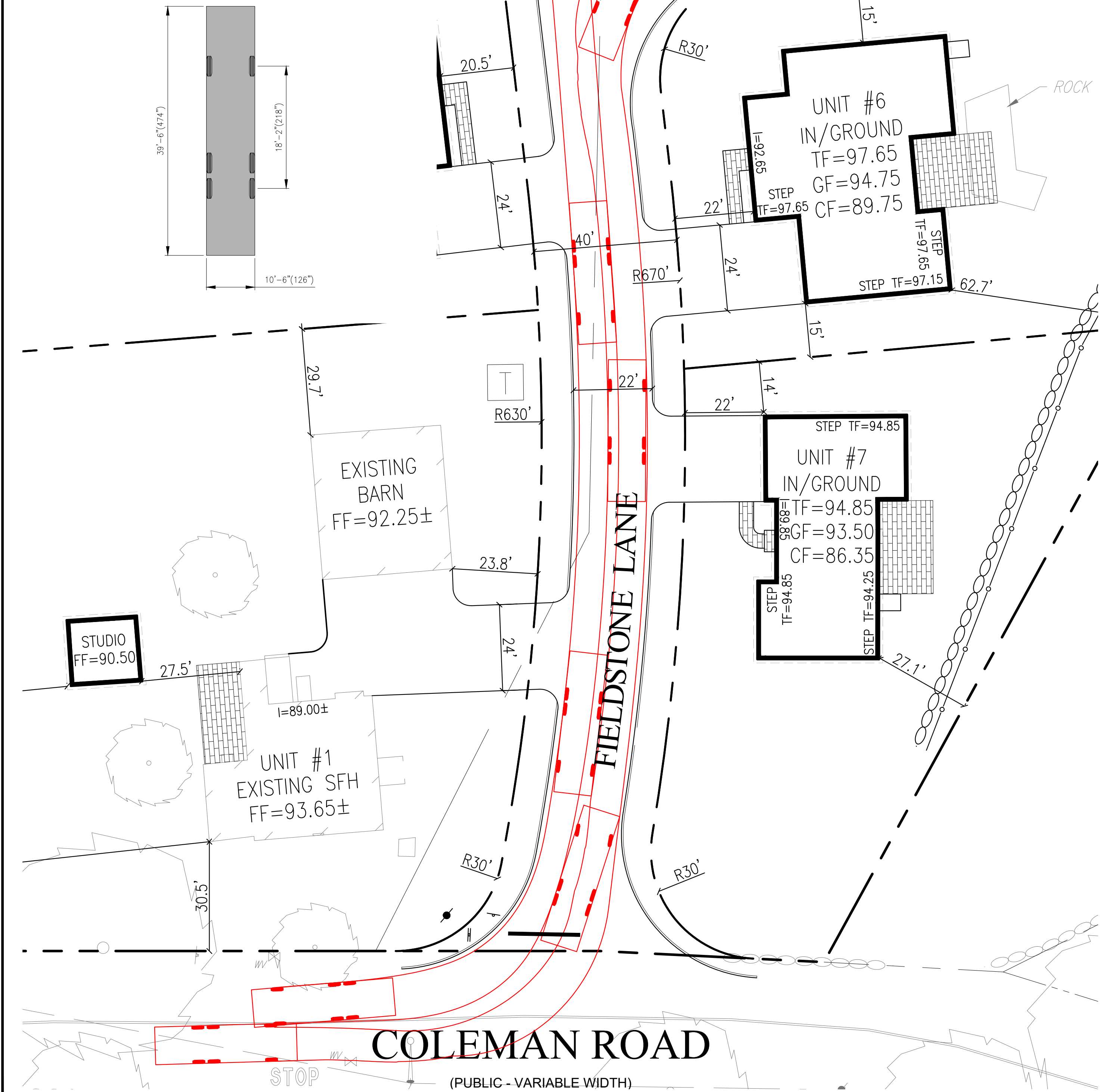
PROFILE FIELDSTONE LANE : STA 0+00 THROUGH 4+05.32

HORIZONTAL SCALE: 1" = 40', VERTICAL SCALE: 1" = 4'

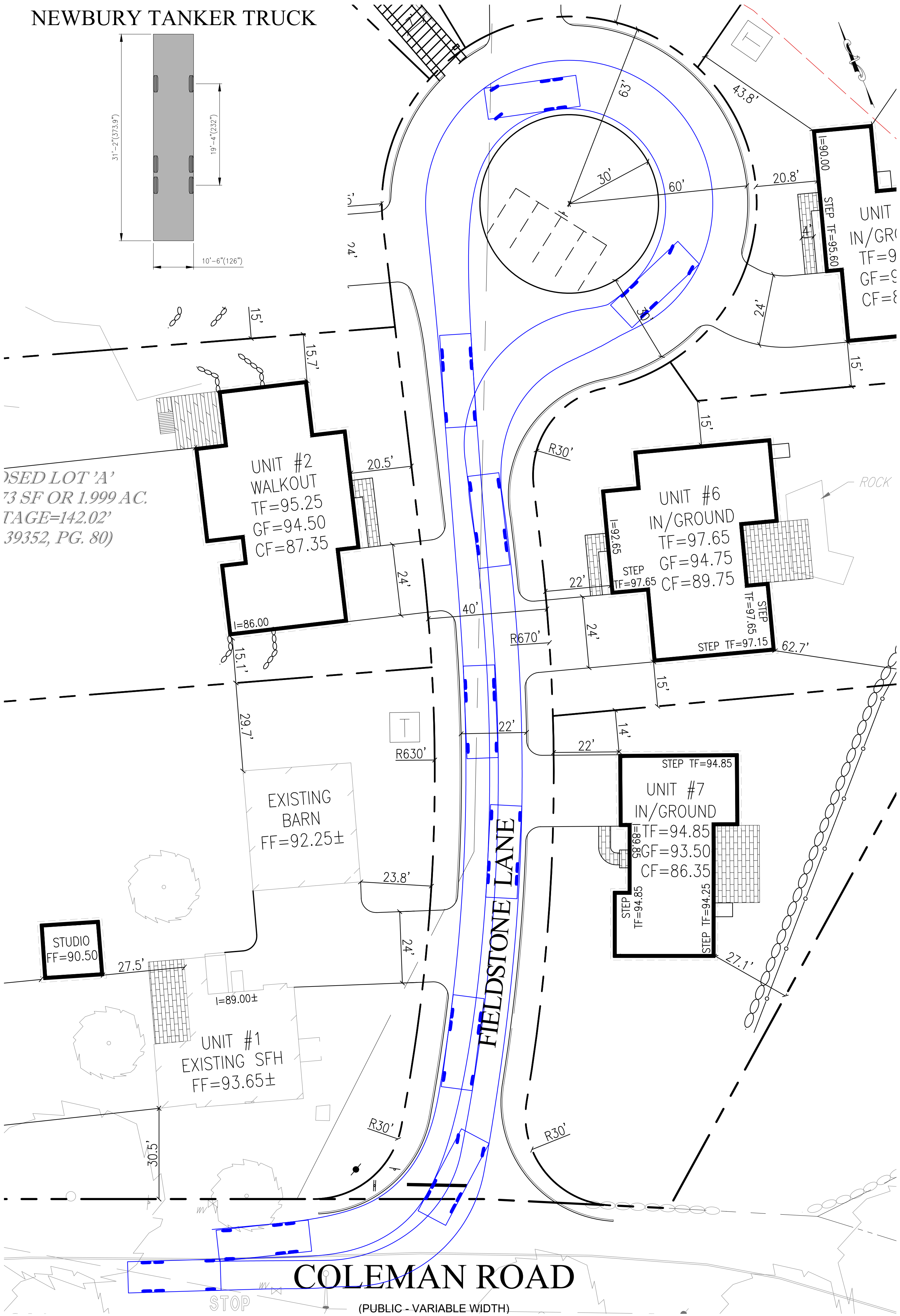
BOARD OF FIRE PREVENTION REGULATION COMPLIANCE

1. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.1.1.4, FIRE APPARATUS MANEUVERS / VEHICLE SWEEP PATHS HAVE BEEN PROVIDED.
2. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.1.1.5, THIS PLAN BEARS THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER.
3. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.2.1.1, ACCESS ROADS EXTEND TO WITHIN 150' OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE.
4. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.2.2.1, ANY PORTION OF THE EXTERIOR WALL OF THE FIRST STORY OF EACH BUILDING IS WITHIN 250' OF AN ACCESS ROAD.
5. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.1.1, ACCESS ROADS HAVE BEEN PROVIDED WITH UNOBSTRUCTED WIDTHS OF NOT LESS THAN 20'.
6. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.1.2, ACCESS ROADS HAVE BEEN PROVIDED WITH UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'-6".
7. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.3.1, INSIDE TURNING RADII OF AT LEAST 25' HAVE BEEN PROVIDED.
8. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.2, ACCESS ROADS HAVE BEEN DESIGNED TO SUPPORT FIRE APPARATUS AND ARE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE.
9. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.4, TURNAROUND PROVISIONS HAVE BEEN MADE FOR DEAD-END ACCESS ROADS.
10. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.6.1, ACCESS ROAD GRADES DO NOT EXCEED 10%.
11. IN ACCORDANCE WITH NFPA 1 SECTION 18.5.1.6, FIRE HYDRANTS ARE LOCATED NO MORE THAN 12' FROM THE ACCESS ROAD.
12. IN ACCORDANCE WITH NFPA 1 SECTION 18.5.3.1, THE MAXIMUM DISTANCE OF A FIRE HYDRANT TO THE NEAREST POINT ON A BUILDING DOES NOT EXCEED 500'.
13. IN ACCORDANCE WITH NFPA 1 SECTION 18.5.3.2, THE MAXIMUM DISTANCE BETWEEN FIRE HYDRANTS DOES NOT EXCEED 500'.

NEWBURY LADDER TRUCK



NEWBURY TANKER TRUCK



NOT FOR CONSTRUCTION


CDG PROJECT #:			19025
REVISIONS:			
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DATE _____ TOWN CLERK

SEAL:



PHILIP R. HENRY, P.E.

PREPARED BY:

CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400 f: 978-965-3971

PREPARED FOR:

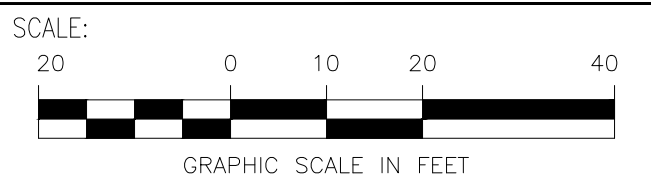
ZENDKO, LLC

15 ESTES STREET
AMESBURY, MA 01913

PROJECT:

OPEN SPACE RESIDENTIAL DEVELOPMENT

15 COLEMAN ROAD
NEWBURY, MASSACHUSETTS 01922



SHEET:

FIRE APPARATUS ACCESS PLAN

12

DATE: 01/08/2021

NOTE:
THE FINAL DEFINITIVE SUBDIVISION PLAN WILL BE PREPARED BY A LICENSED
SURVEYOR. THE INFORMATION SHOWN ON THIS PLAN WITH RESPECT TO LOTTING,
EASEMENTS AND MONUMENTATION SHALL BE CONSIDERED DRAFT.



OPEN SPACE LOT 8
86% OF ENTIRE TRACT OF LAND
AREA=1,183,989± SF (27.18± ACRES)
WETLAND AREA = 283,576±SF (6.51± ACRES)
UPLAND AREA = 900,413±SF (20.67± ACRES)

NOT FOR CONSTRUCTION

CDG PROJECT #: 19025


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PHILIP R. HENRY

PHILIP R. HENRY, P.E.

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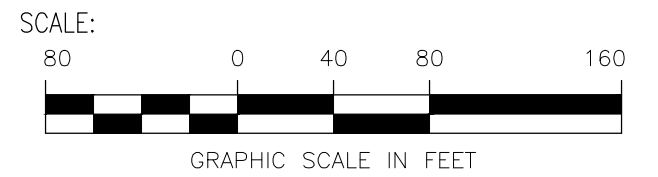
ZENDKO, LLC

15 ESTES STREET
AMESBURY, MA 01913

PROJECT:

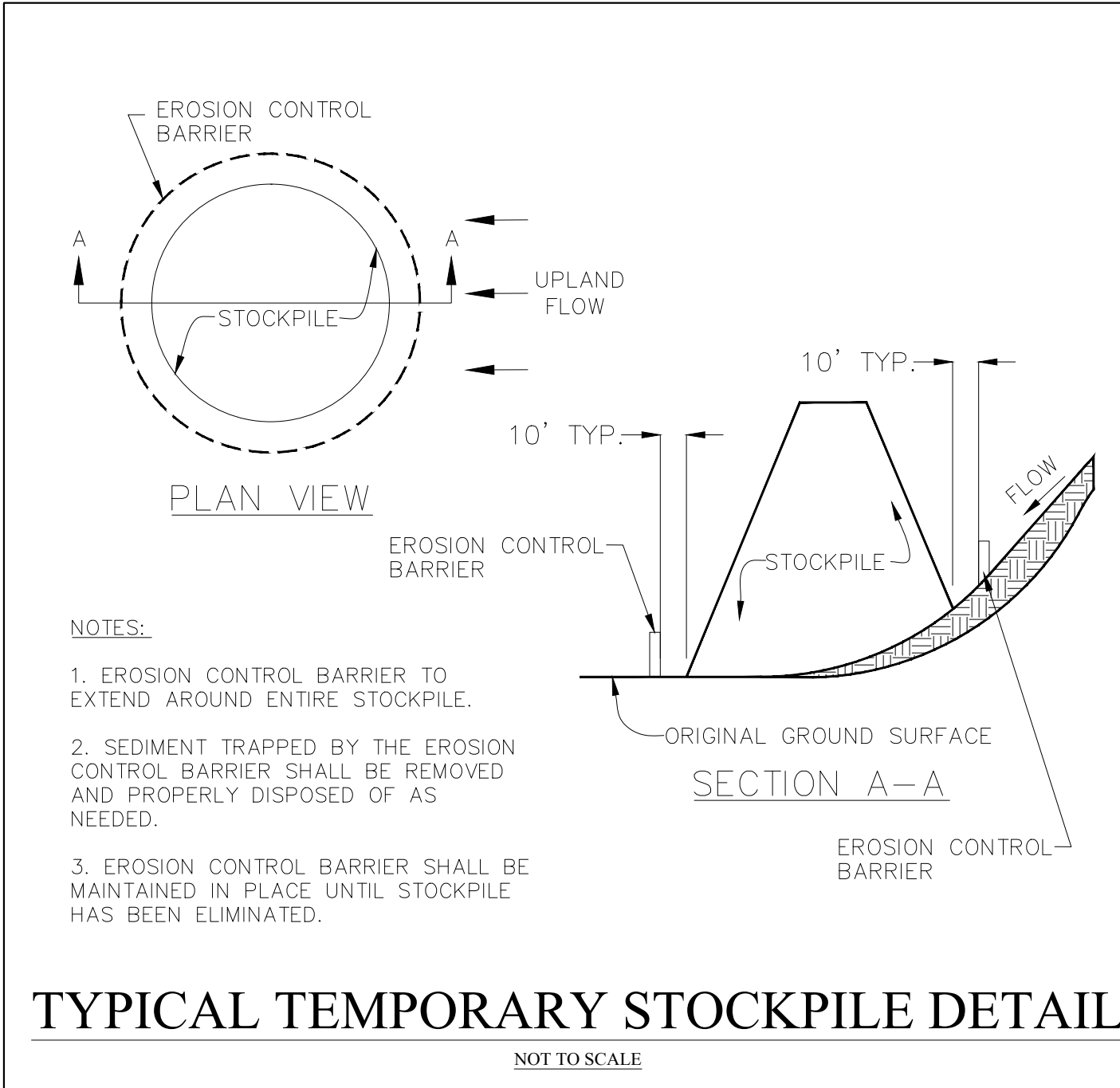
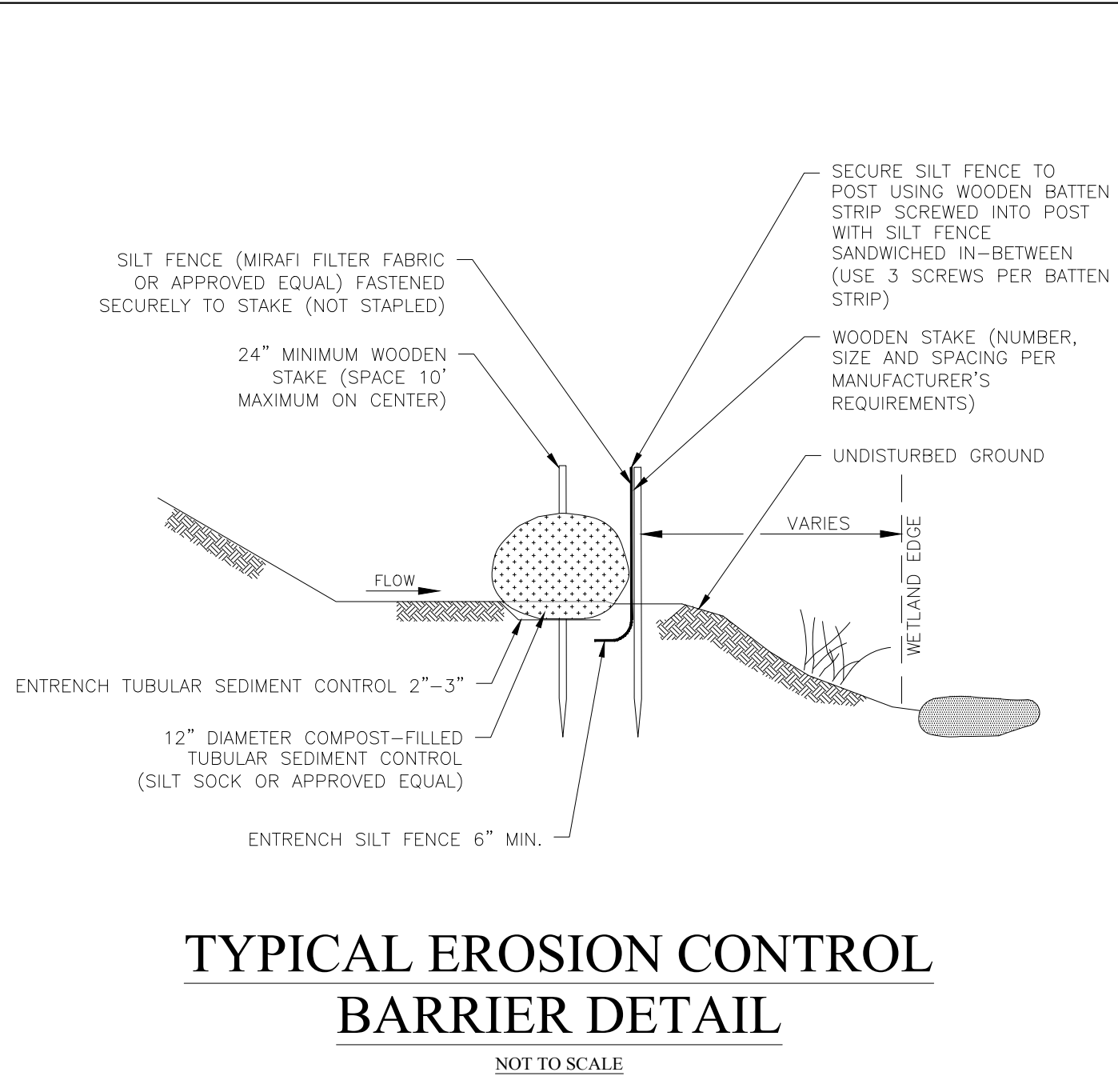
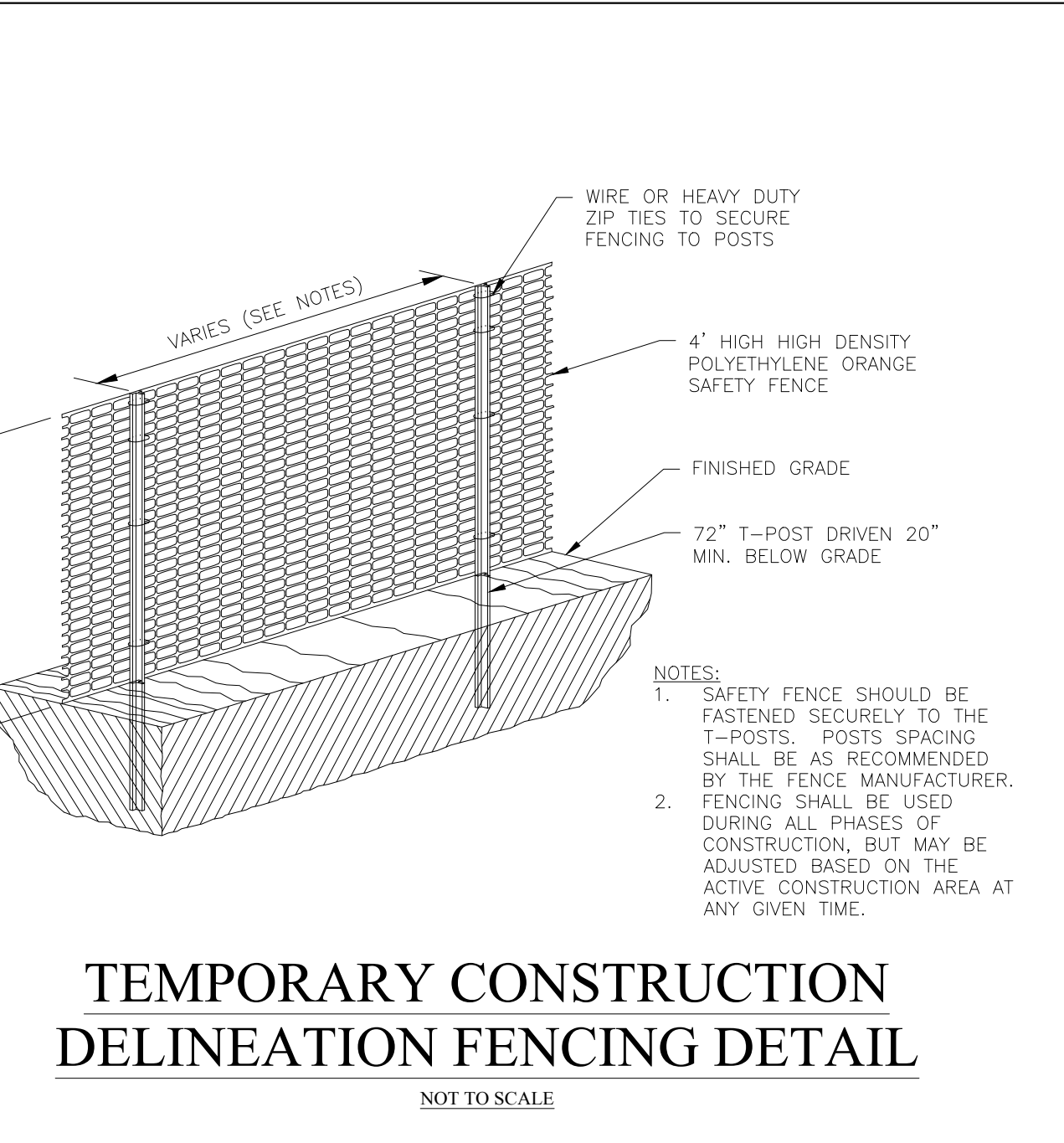
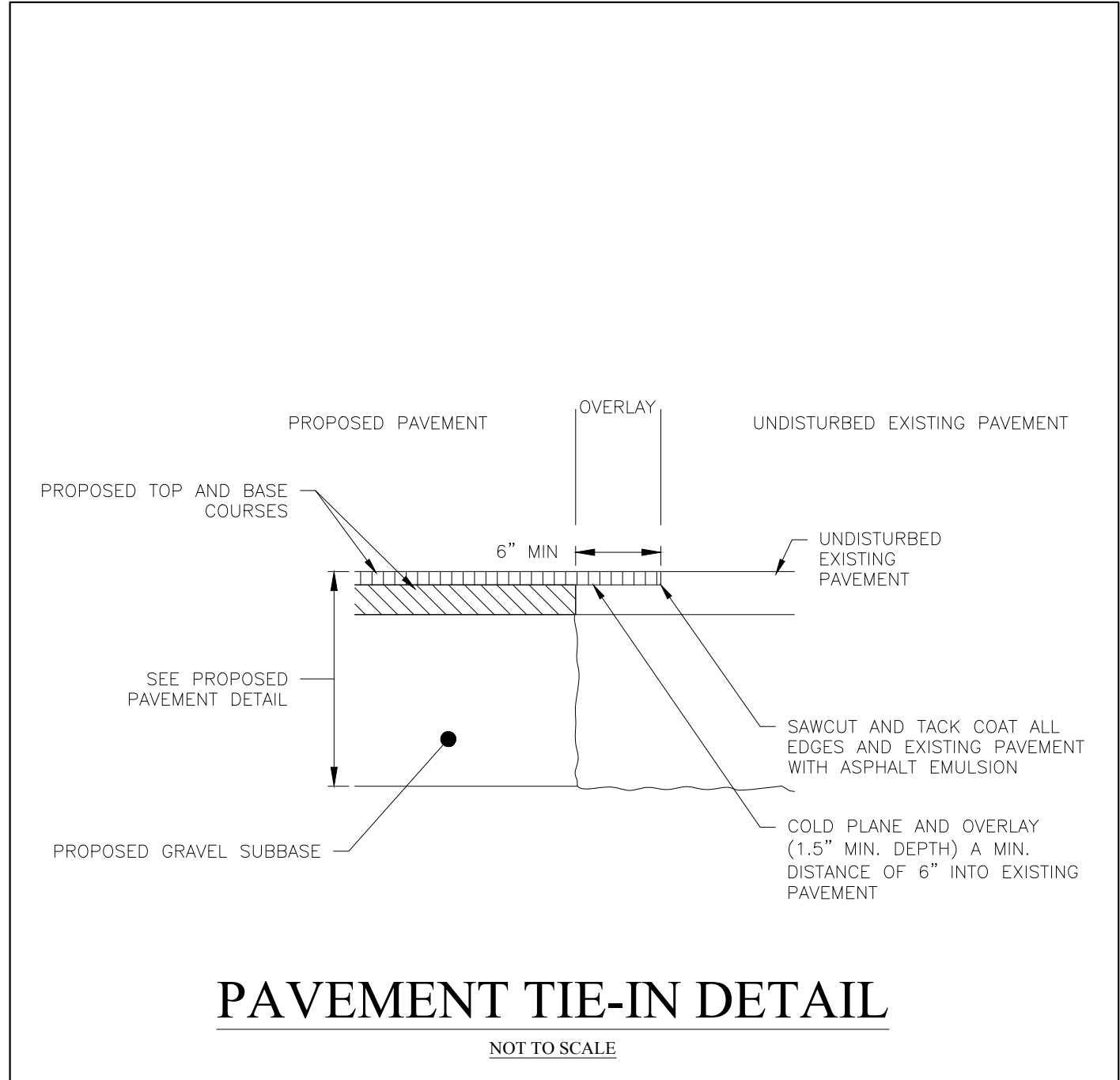
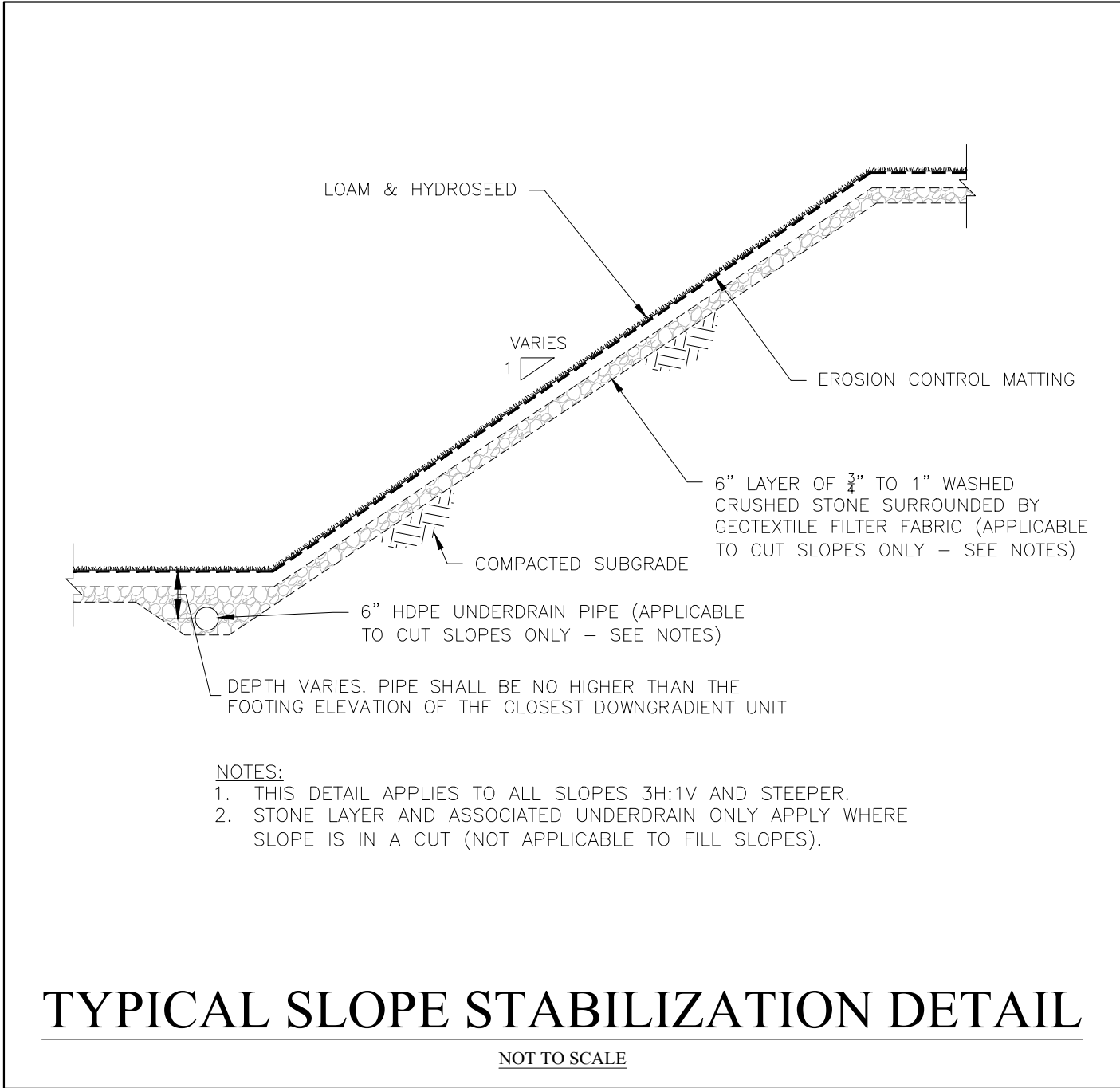
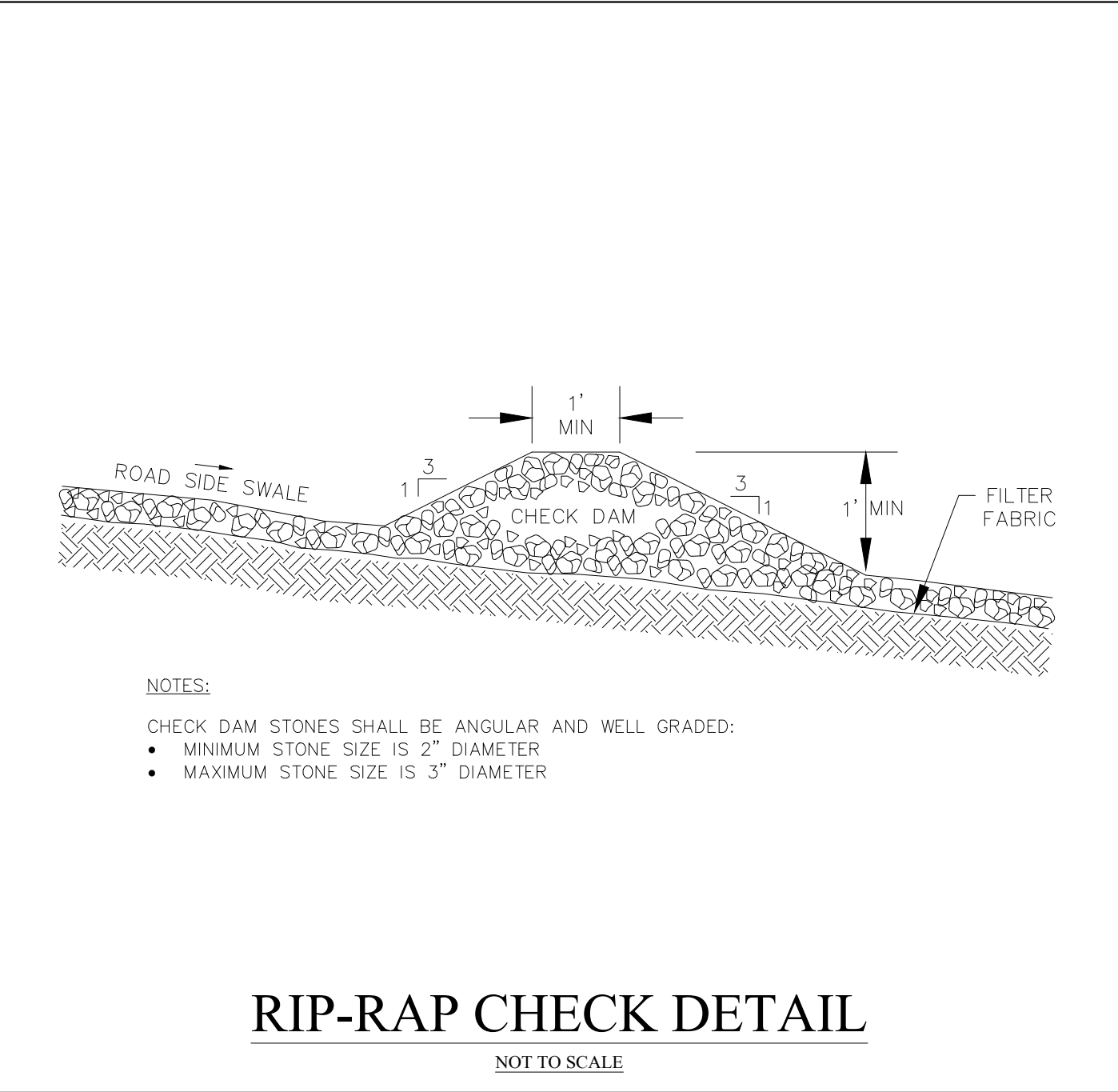
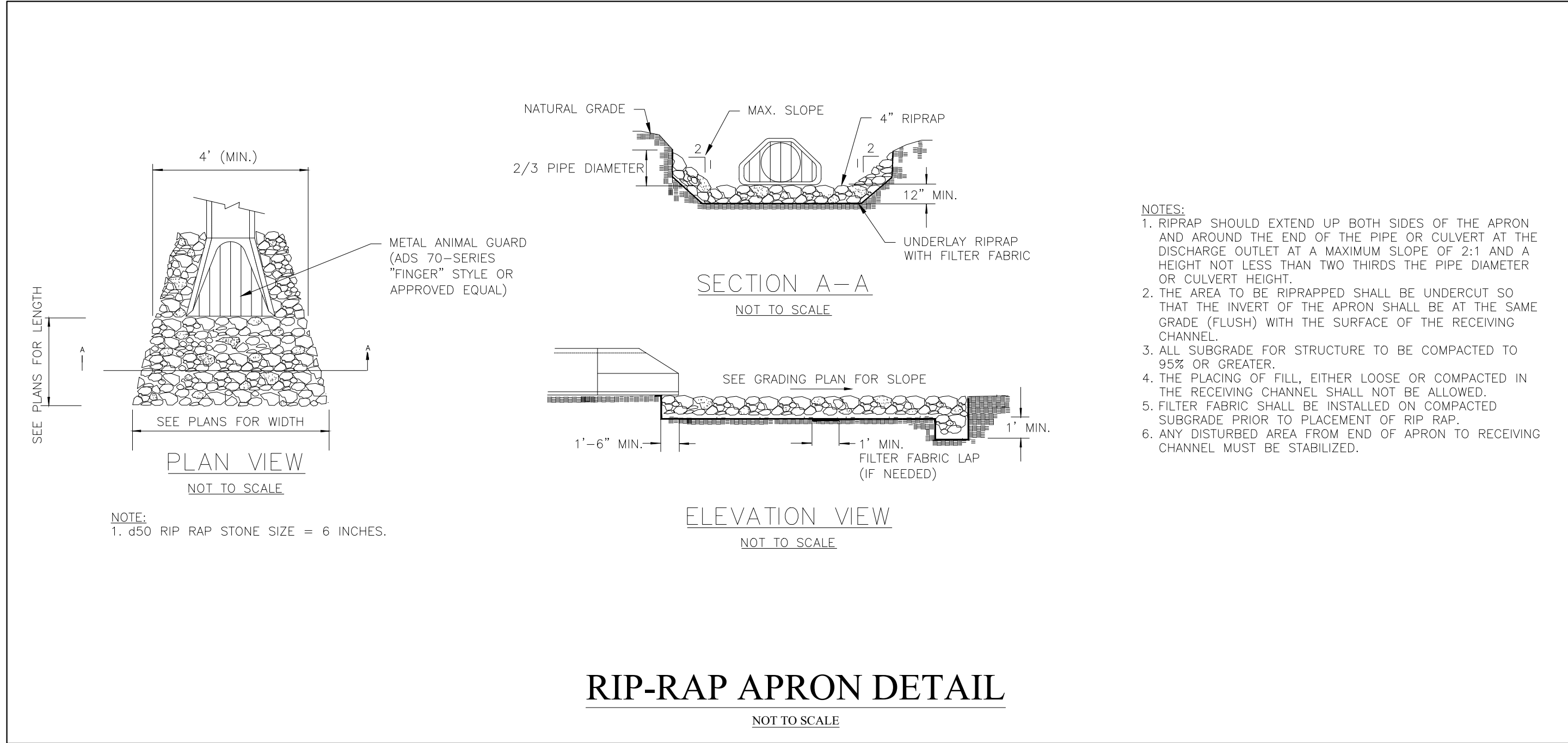
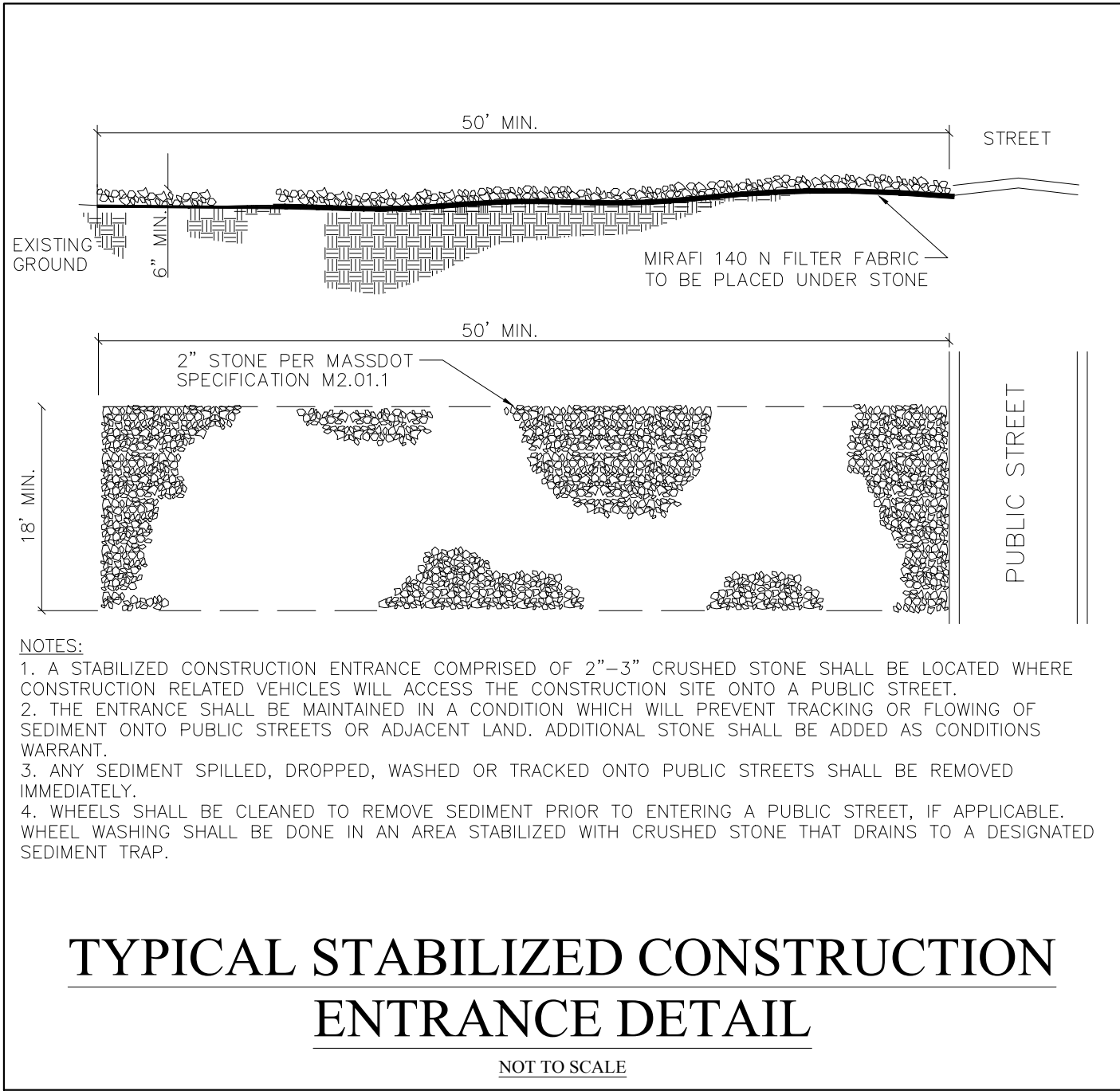
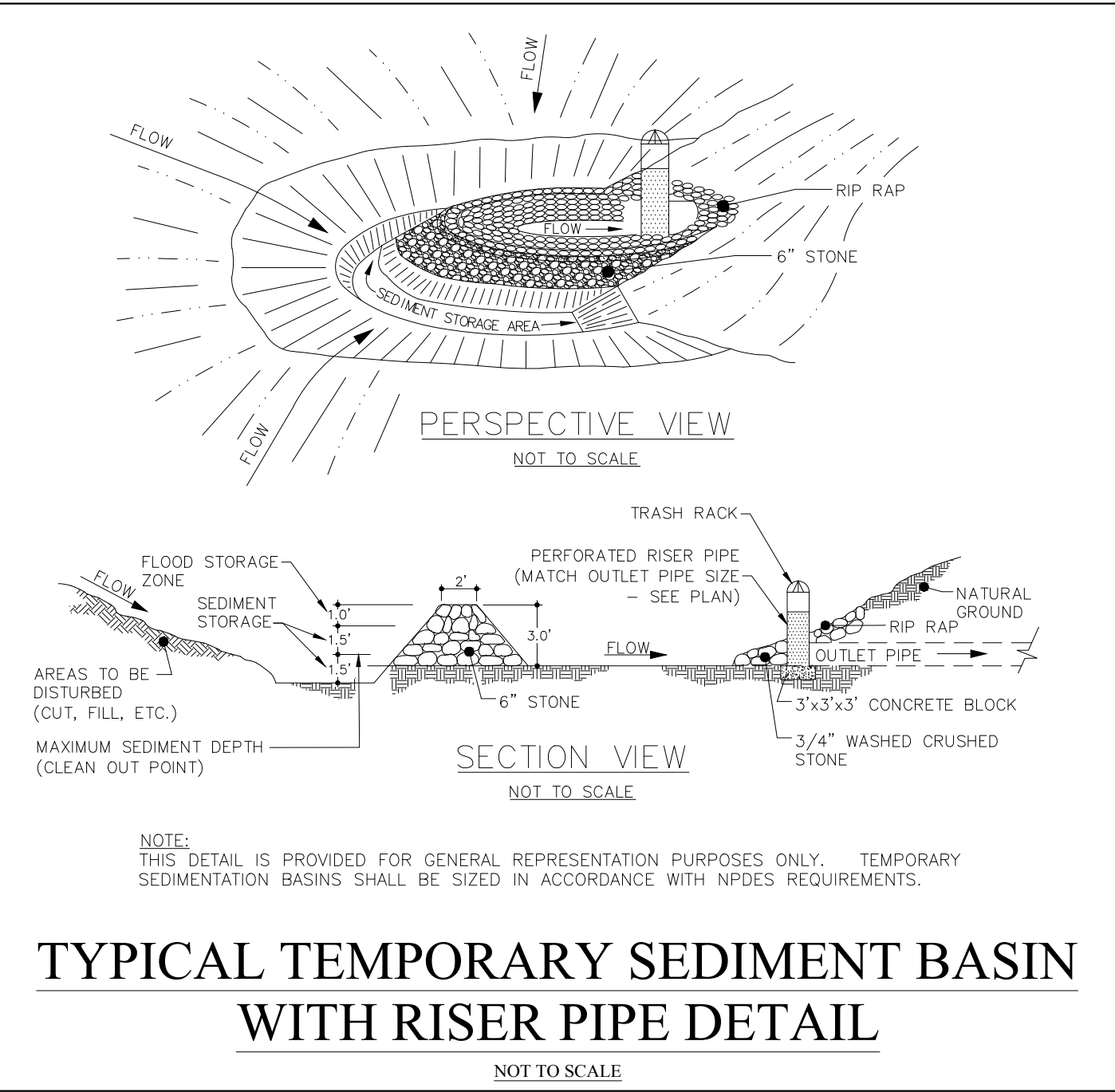
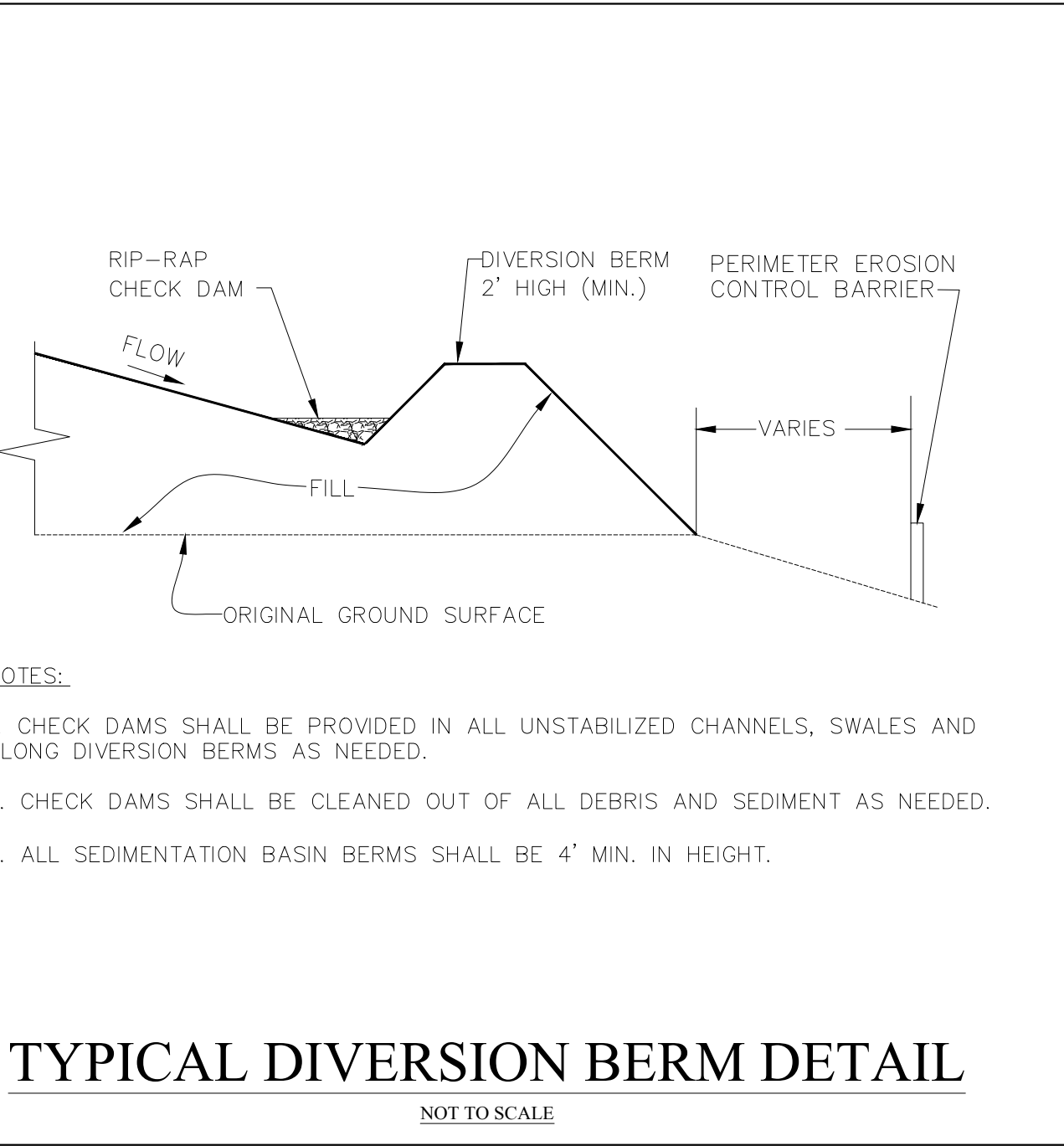
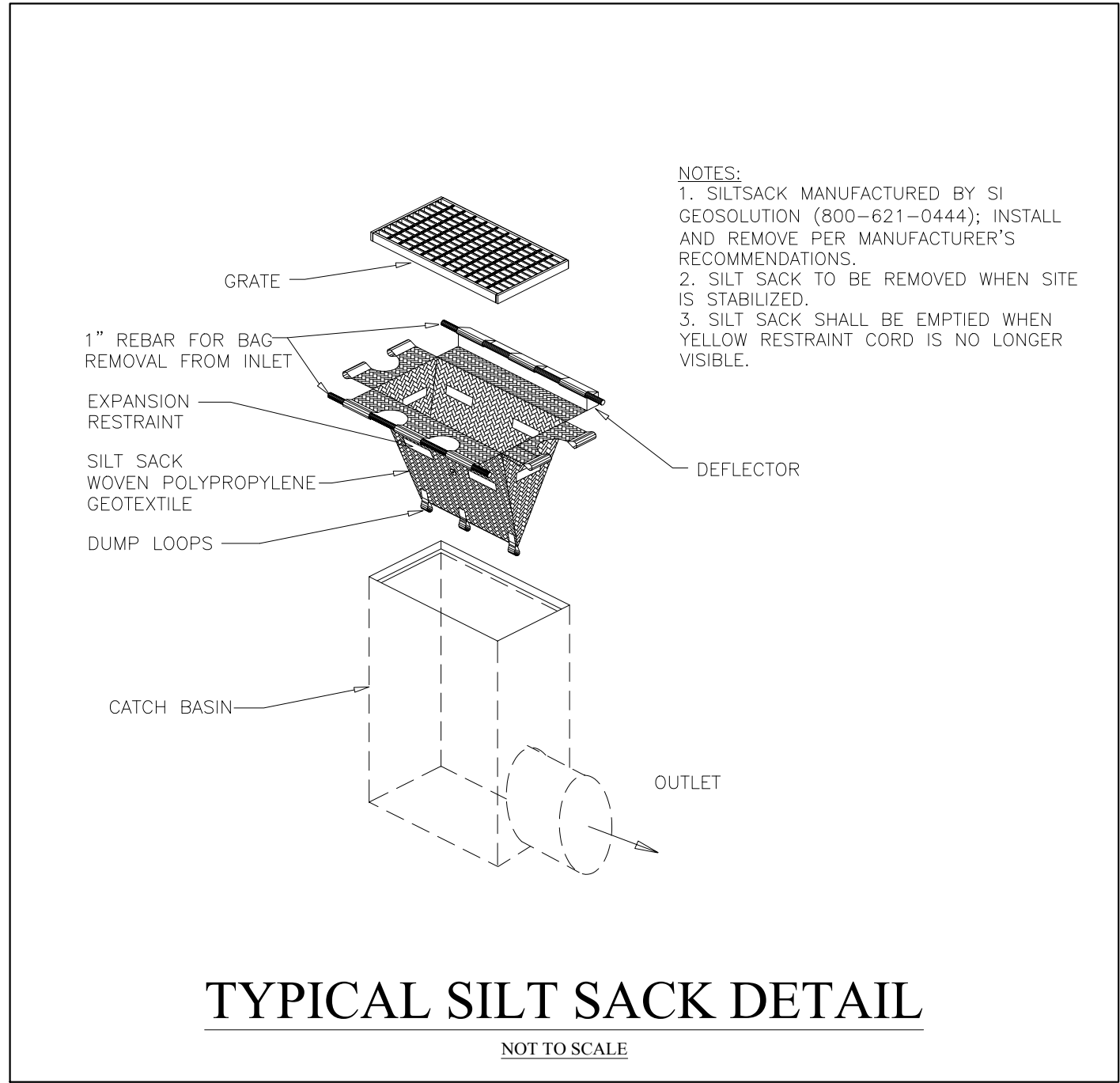
OPEN SPACE RESIDENTIAL DEVELOPMENT

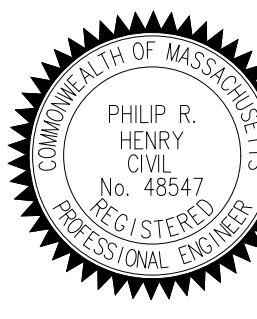
**15 COLEMAN ROAD
NEWBURY, MASSACHUSETTS 01922**

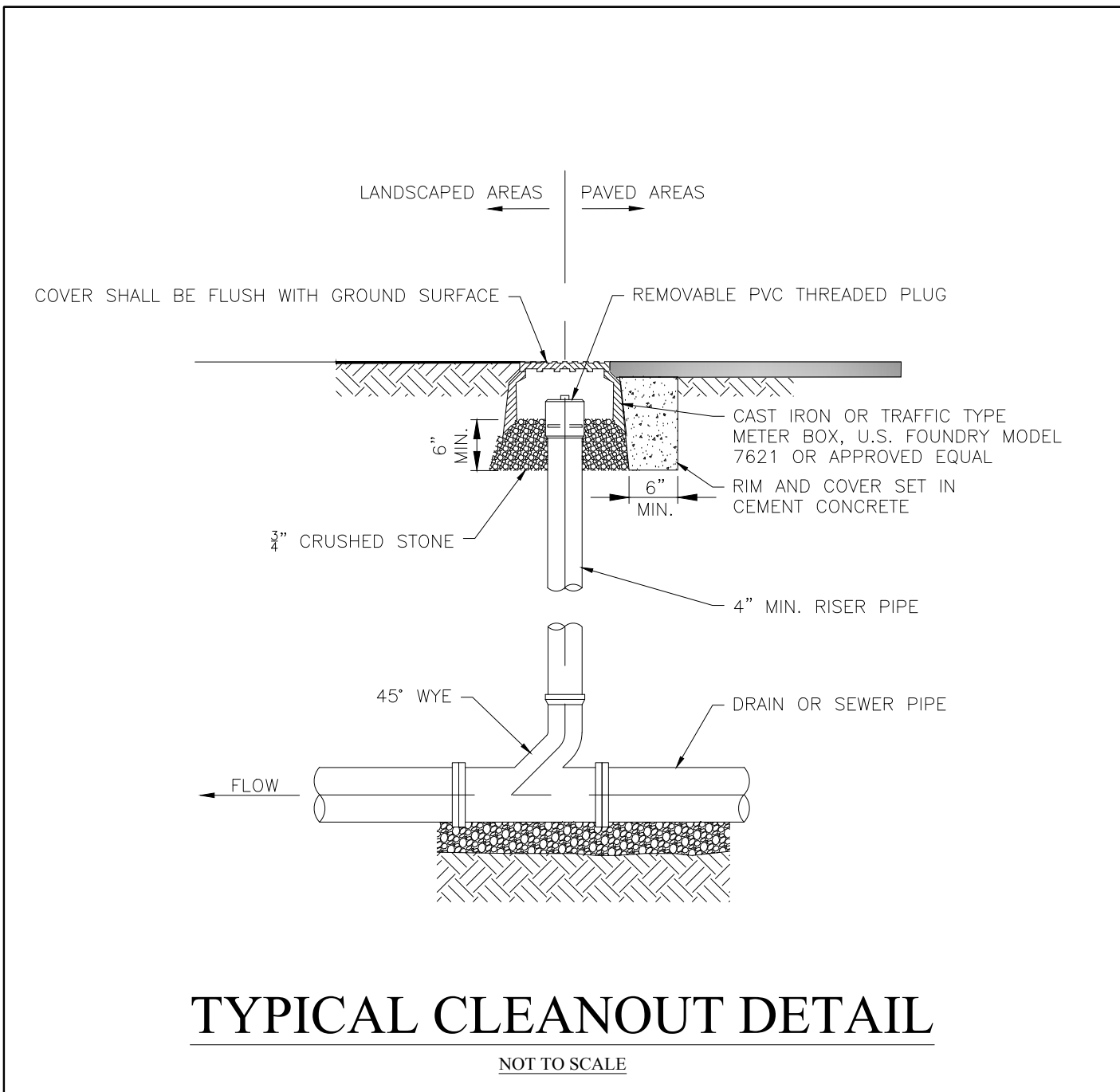
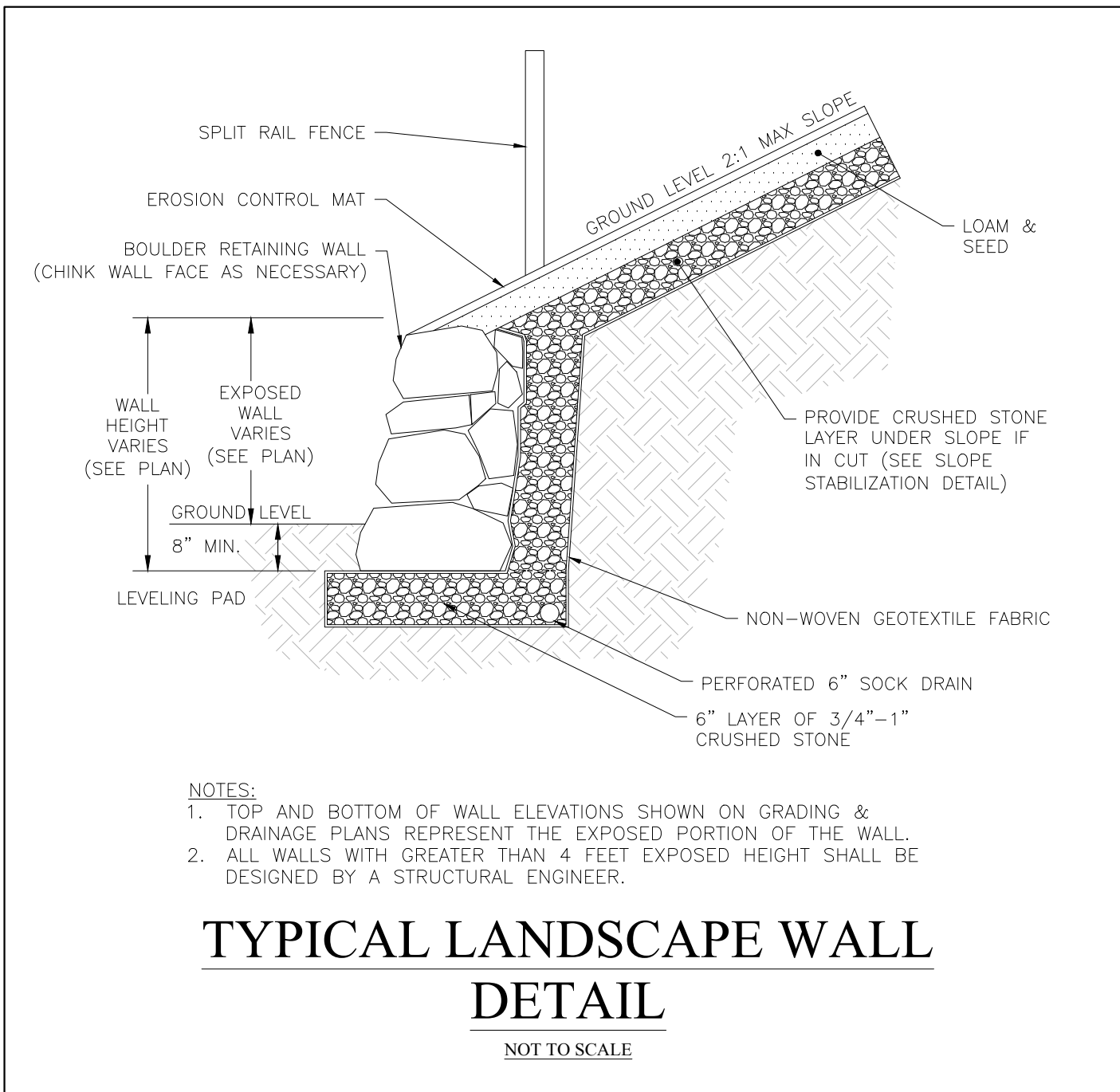
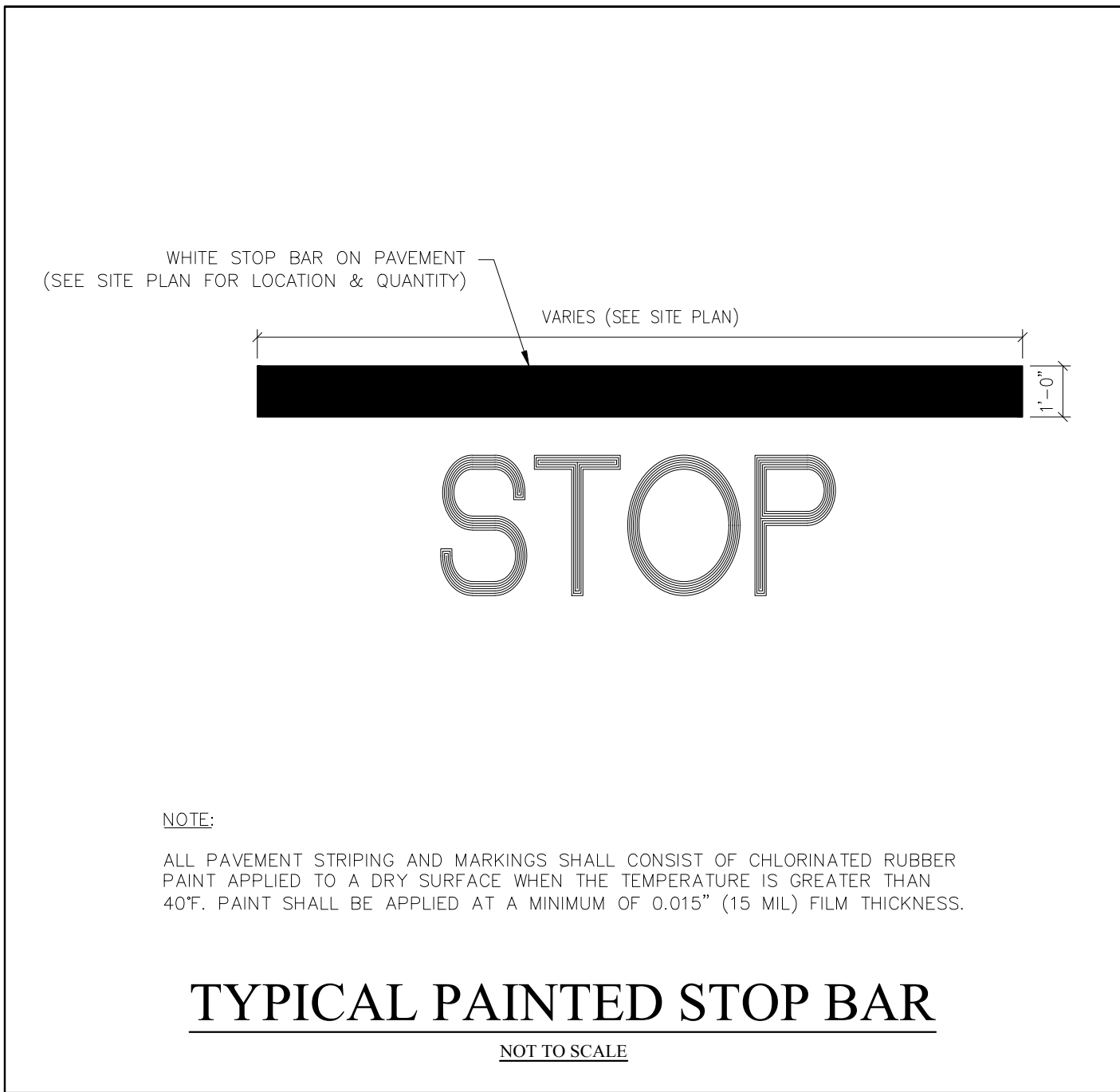
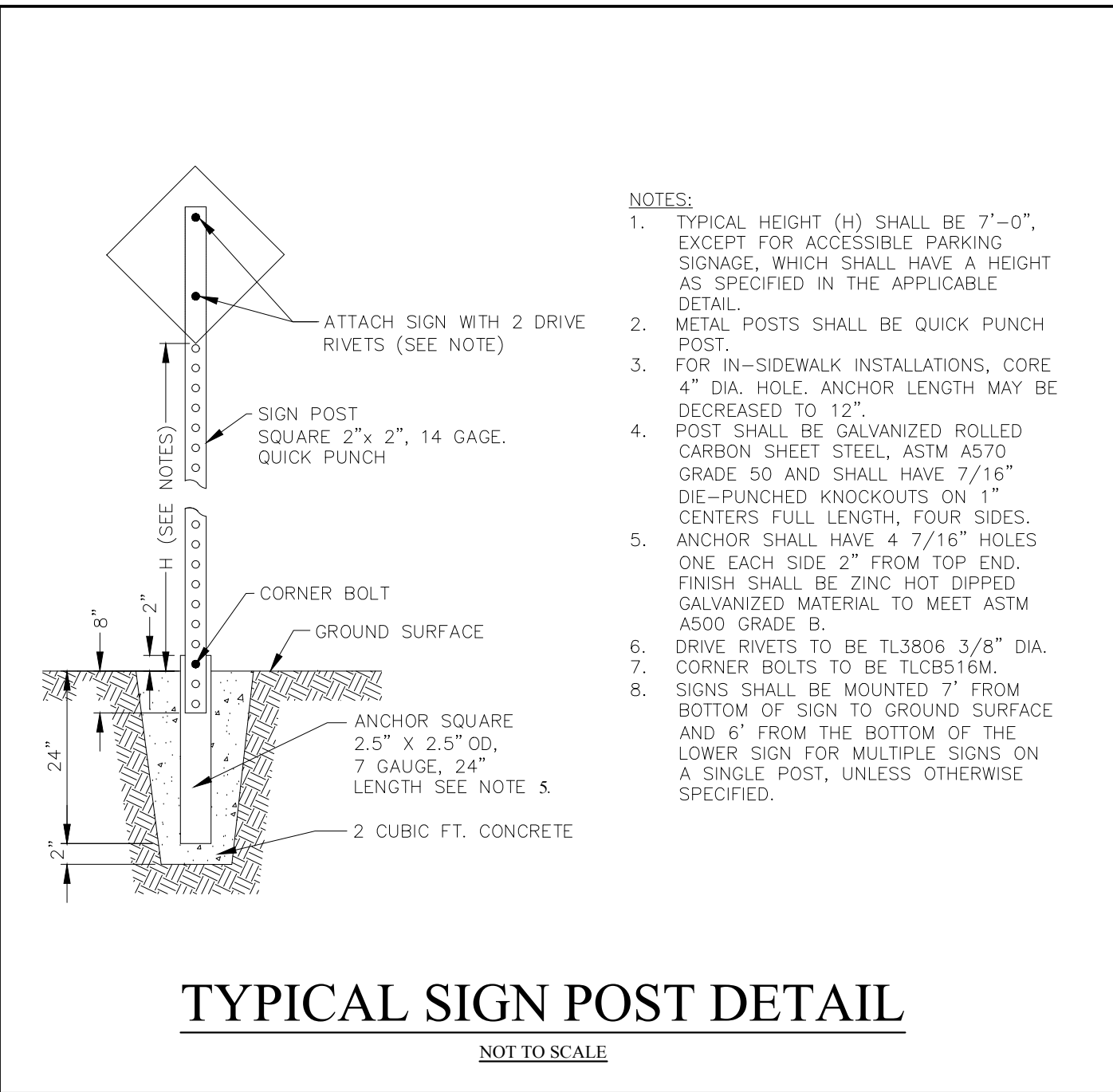
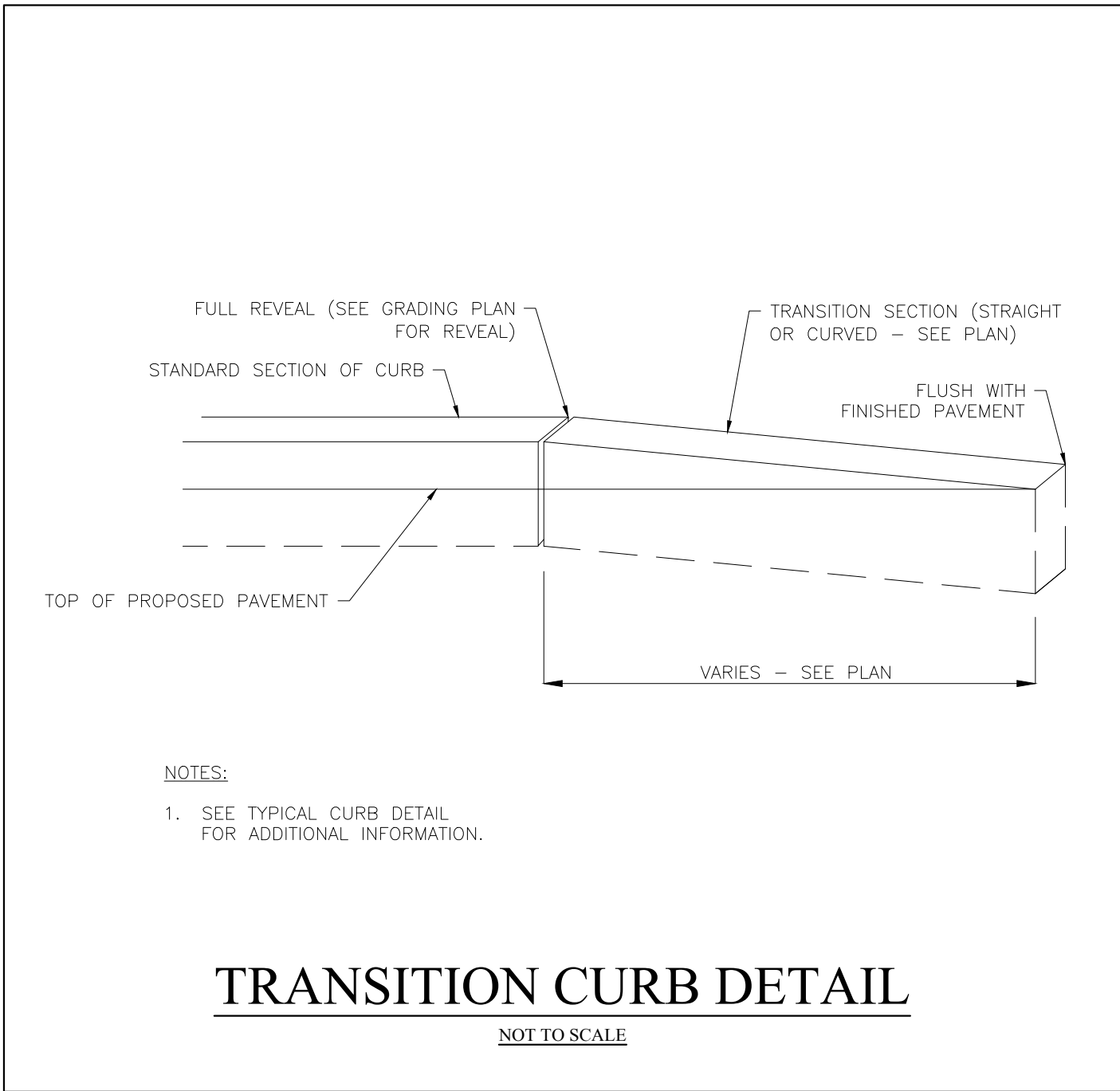
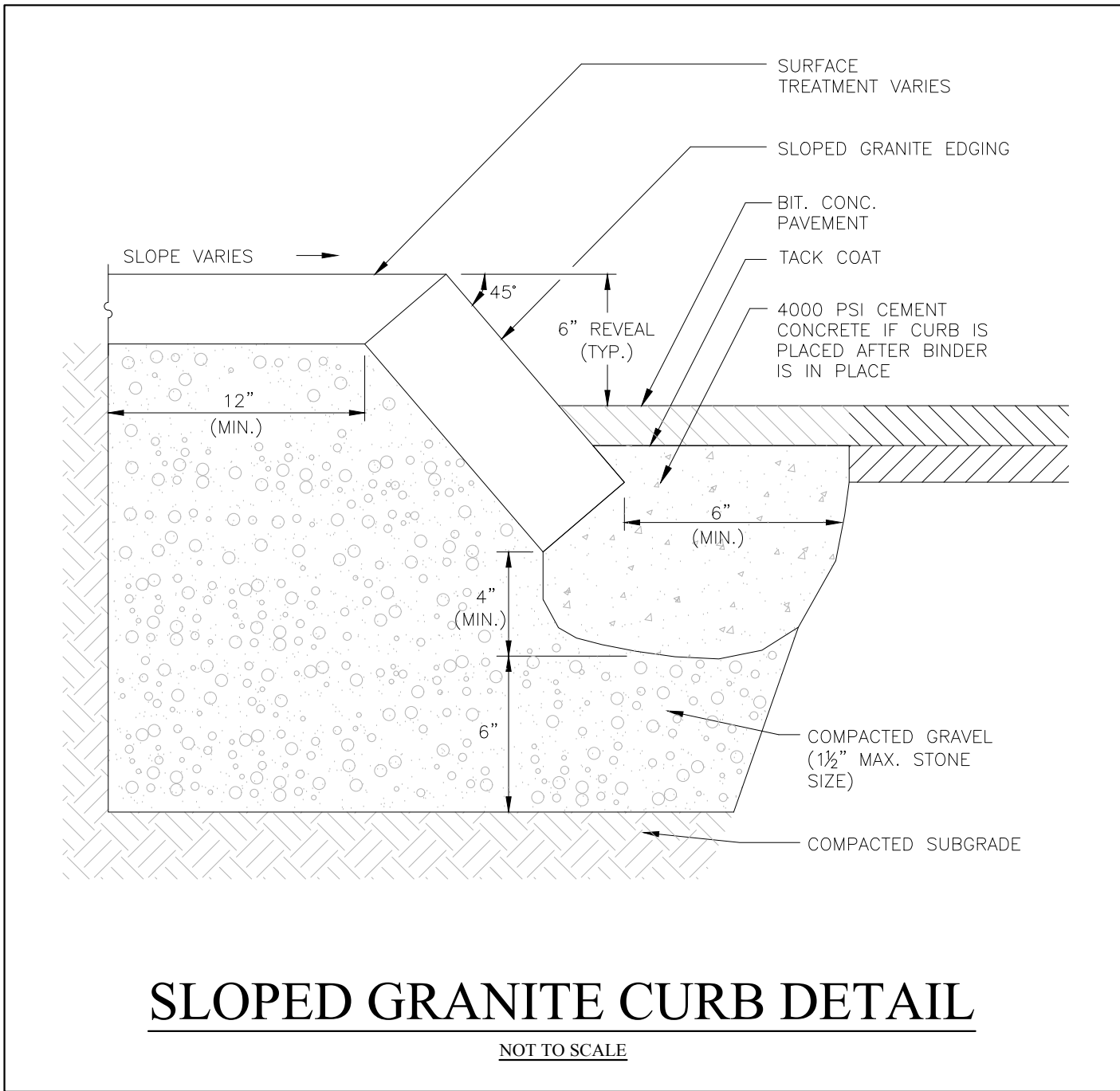
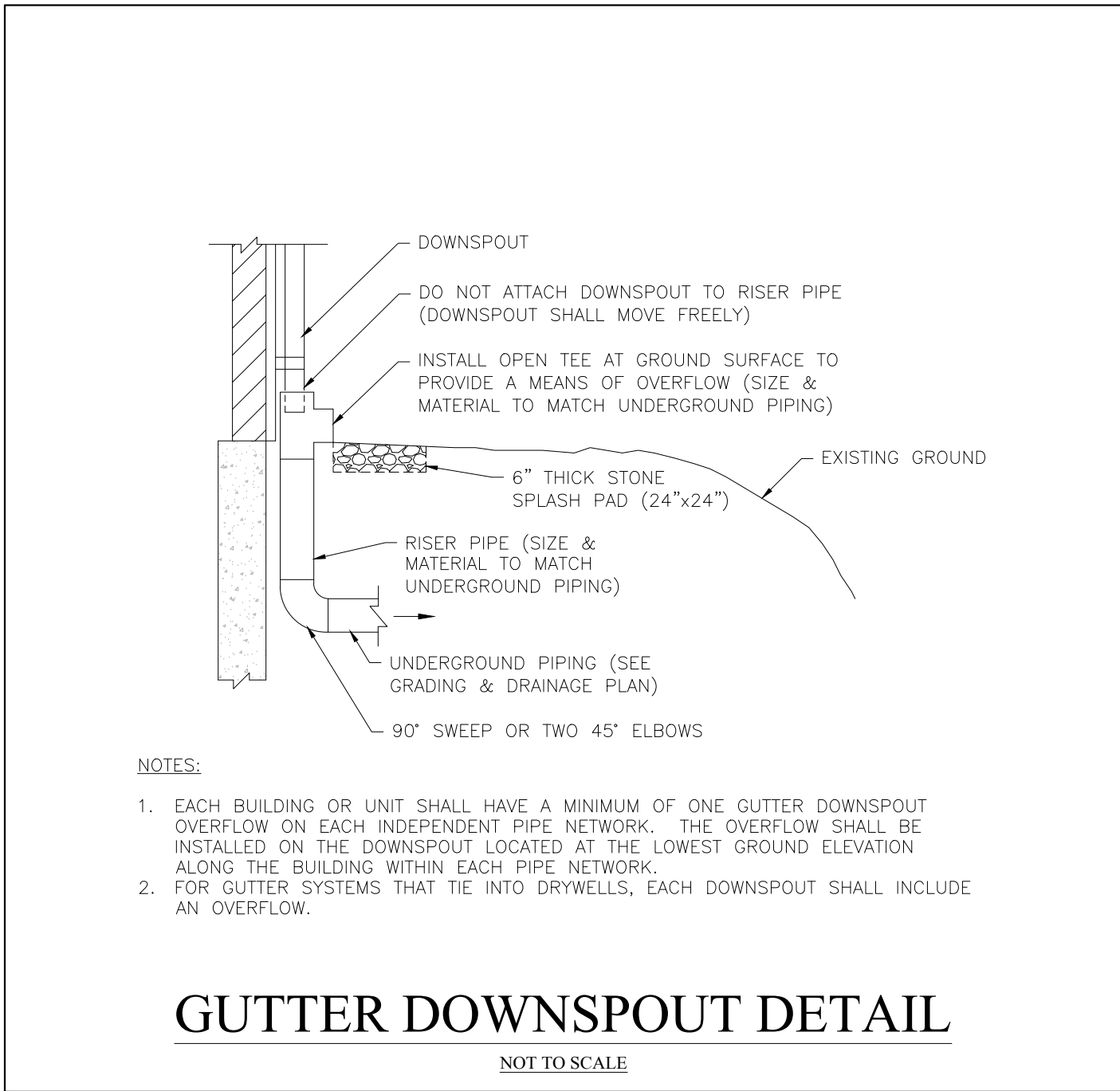
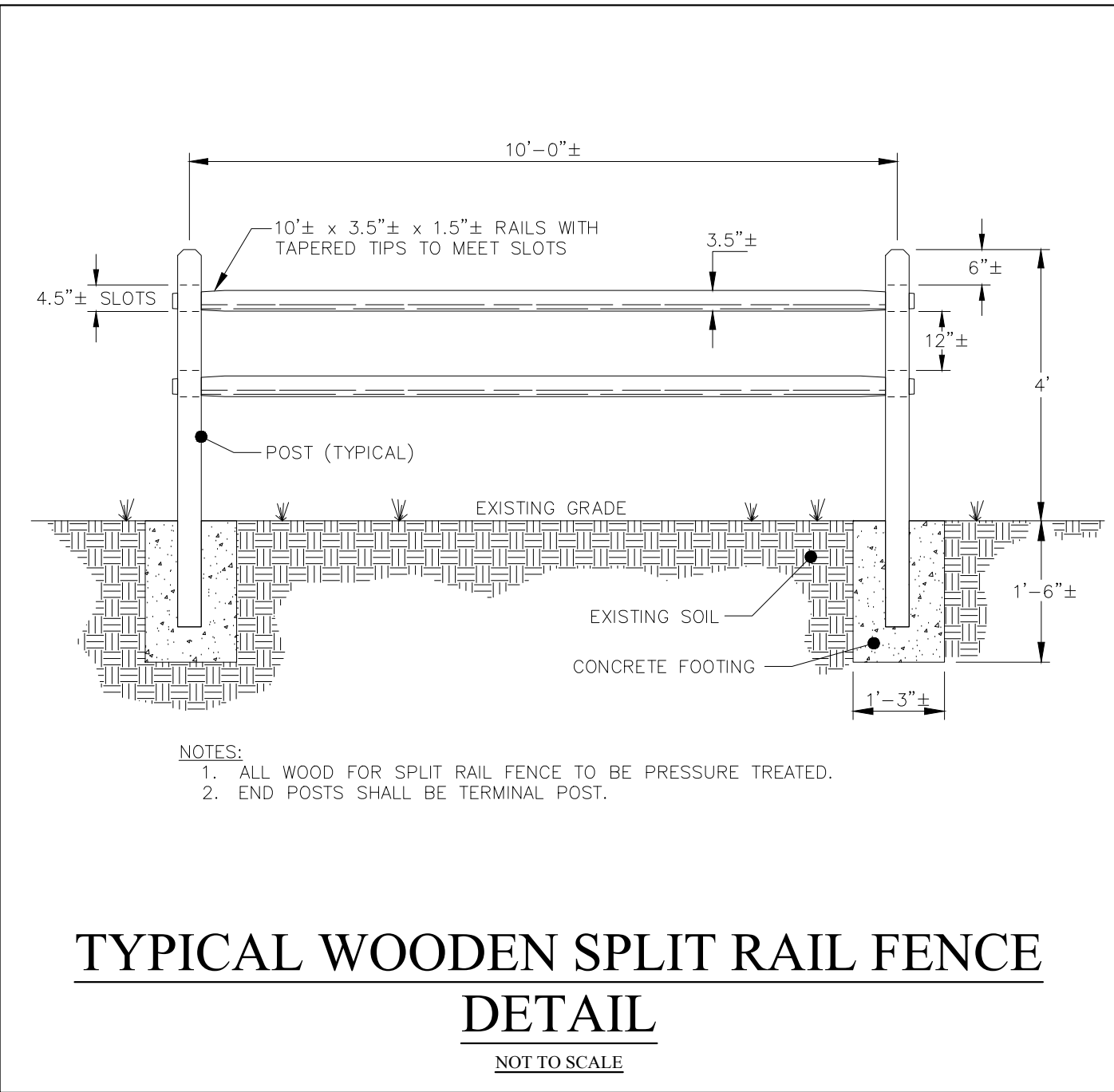
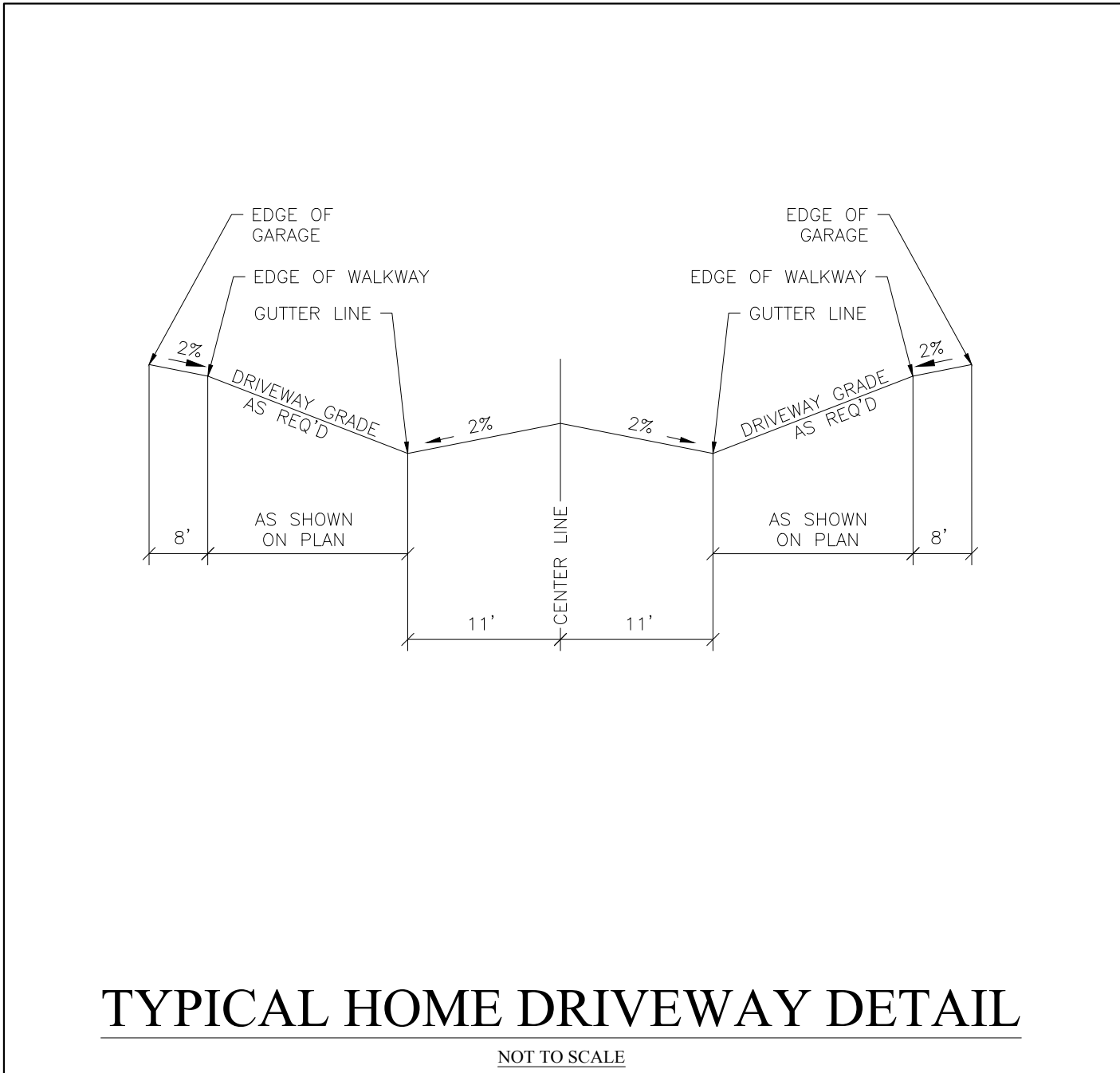
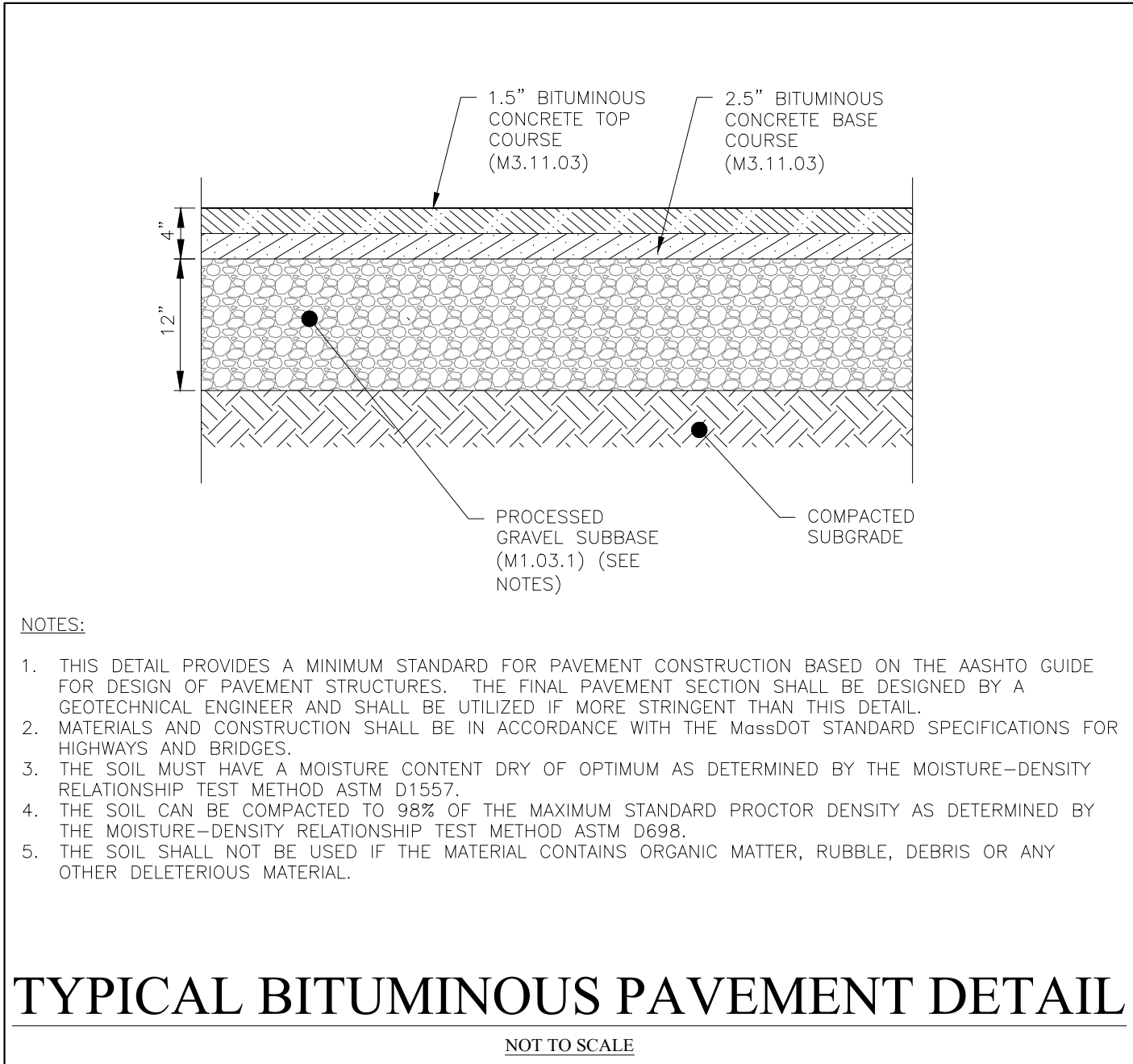
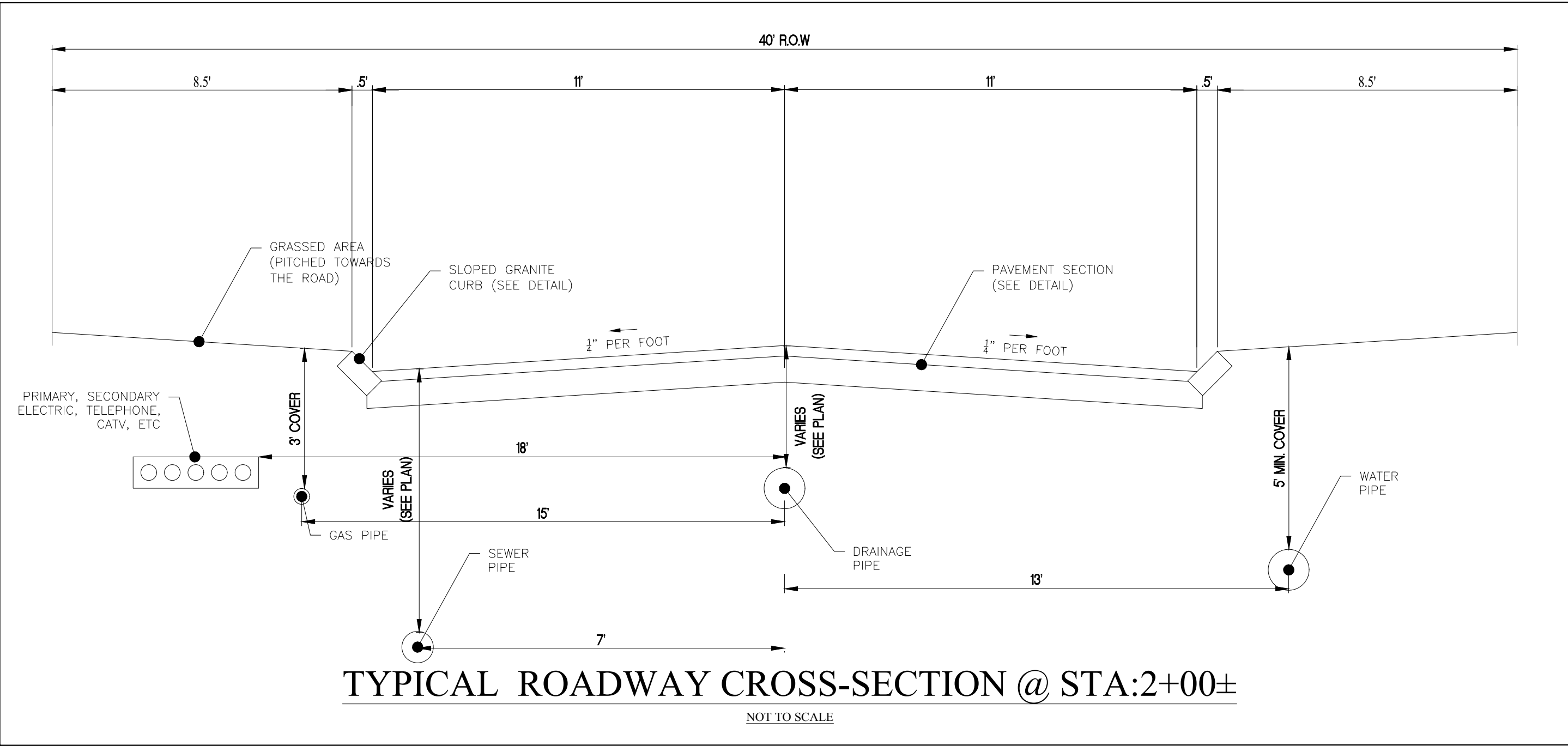


SHEET:

**DEFINITIVE SUBDIVISION
& EASEMENT PLAN**



NOT FOR CONSTRUCTION		
CDG PROJECT #:		19025
REVISIONS:		
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<div></div> <div></div> <div></div> <div></div> <div></div> <div></div>		
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DATE _____		TOWN CLERK _____
SEAL:		
<div> <i>PHR</i> _____ PHILIP R. HENRY, P.E.</div>		
PREPARED BY:		
<div>CIVIL DESIGN GROUP, LLC</div> <div>21 HIGH STREET, SUITE 207 NORTH ANDOVER, MA 01845 www.cdgenengineering.com p: 978-794-5400 f: 978-965-3971</div>		
PREPARED FOR:		
<div>ZENDKO, LLC</div> <div>15 ESTES STREET AMESBURY, MA 01913</div>		
PROJECT:		
OPEN SPACE RESIDENTIAL DEVELOPMENT		
15 COLEMAN ROAD NEWBURY, MASSACHUSETTS 01922		
SCALE:		
AS-NOTED		
SHEET:		
CONSTRUCTION DETAILS		
14		
DATE:		01/08/2021



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AMESBURY, MA 01913

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OPEN SPACE RESIDENTIAL DEVELOPMENT

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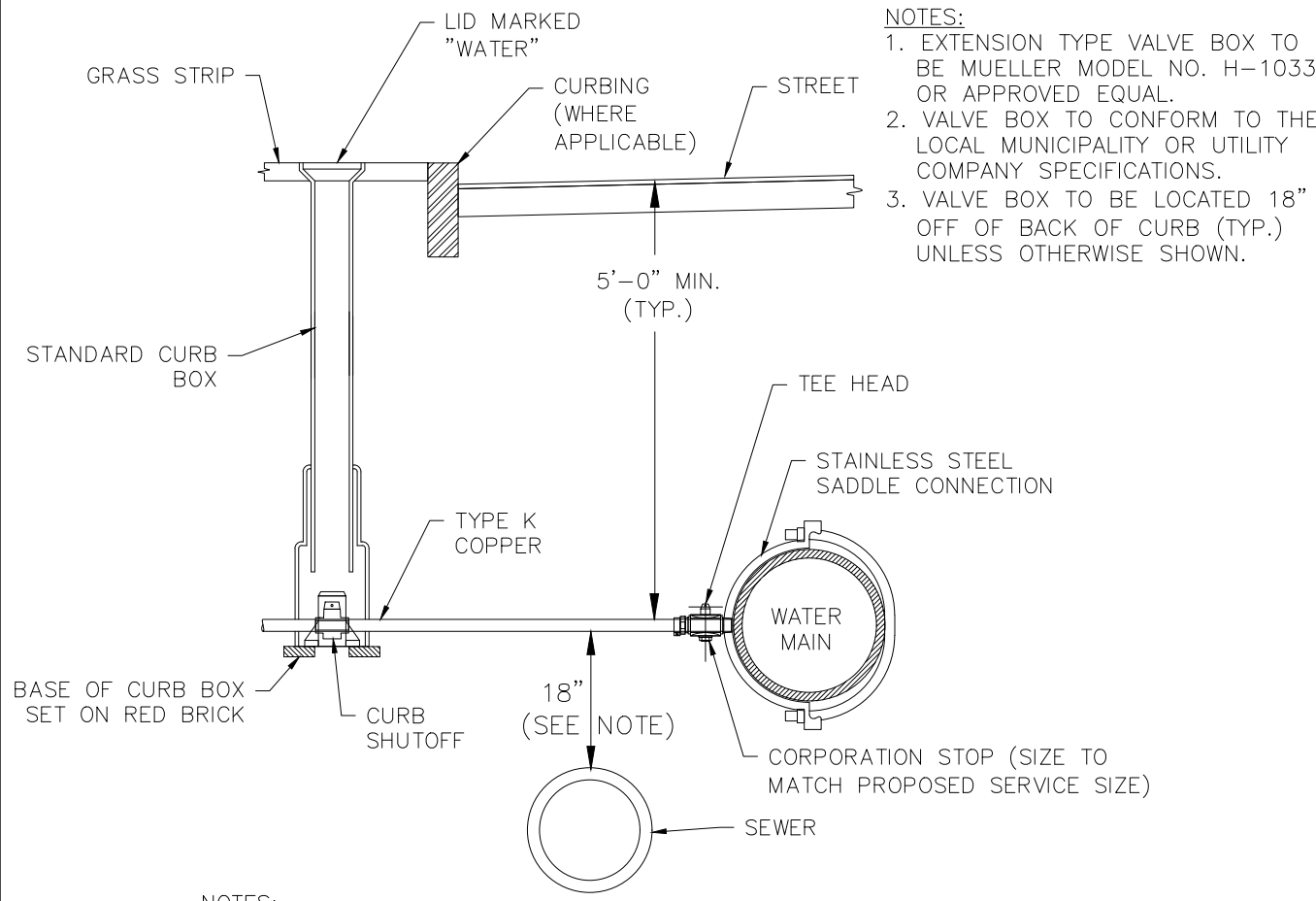
AS-NOTED

SHEET:

CONSTRUCTION DETAILS

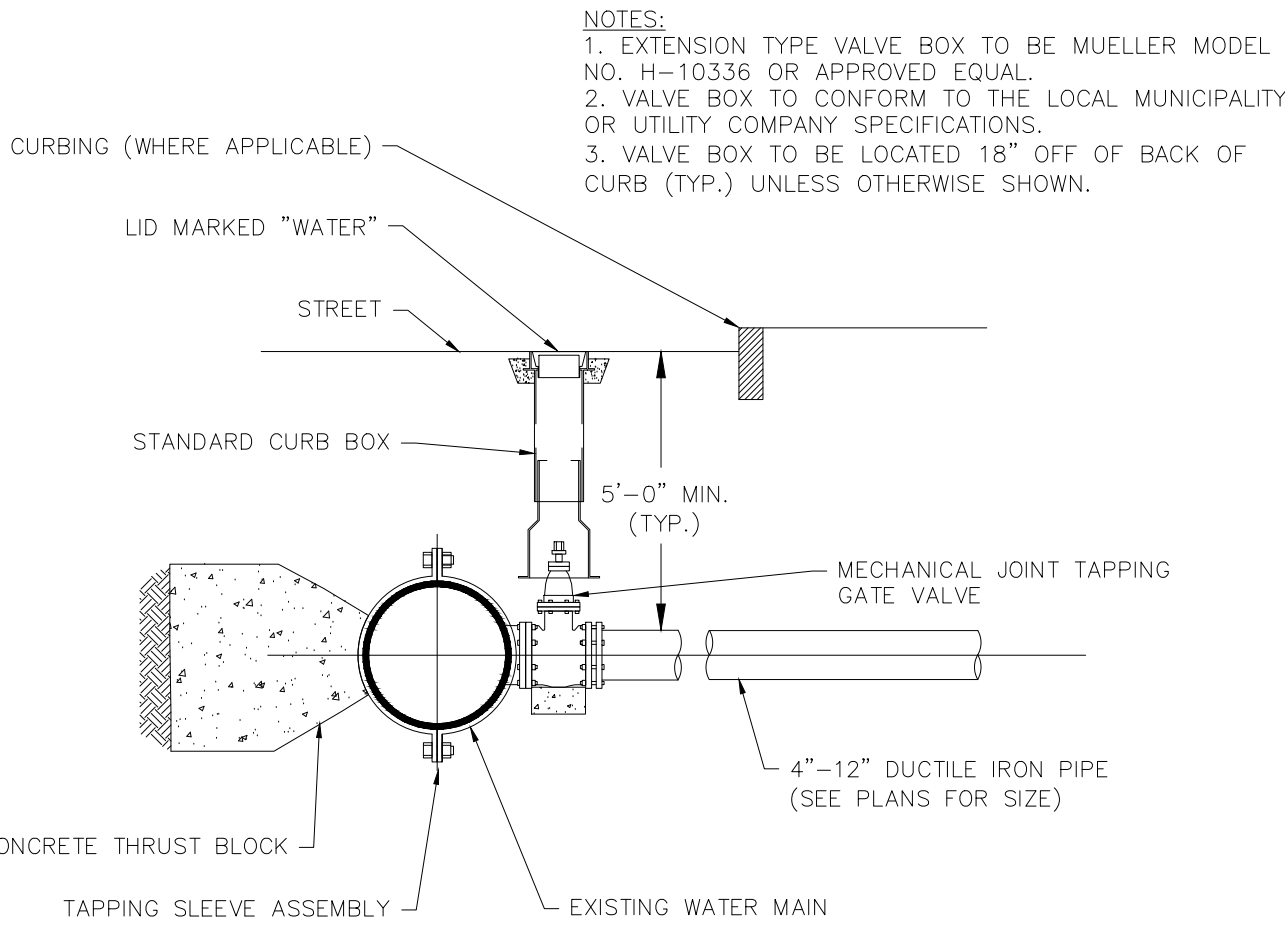
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DATE: 01/08/2021



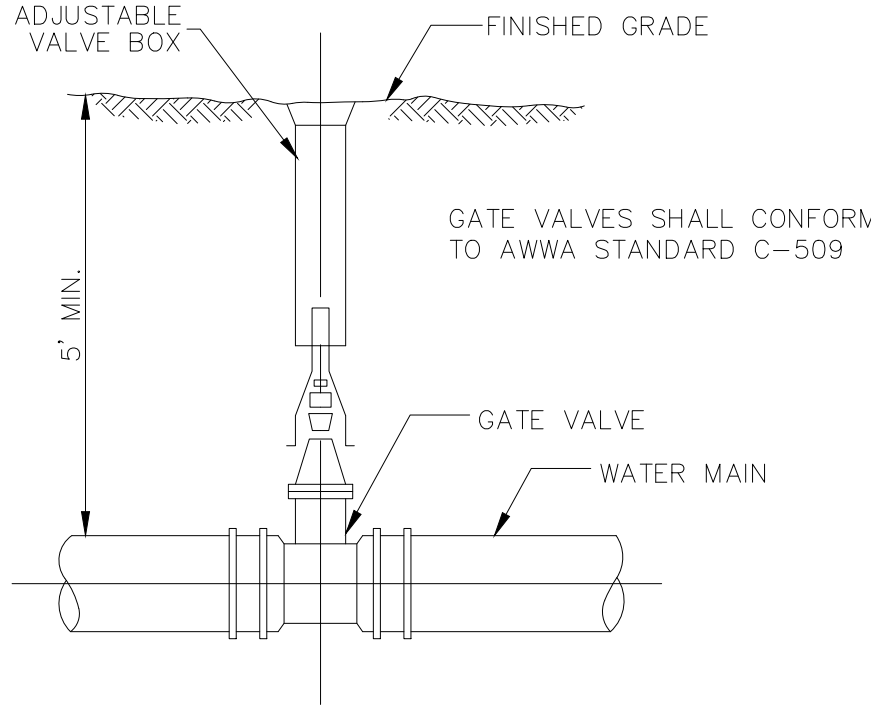
TYPICAL WATER SERVICE
CONNECTION DETAIL

NOT TO SCALE



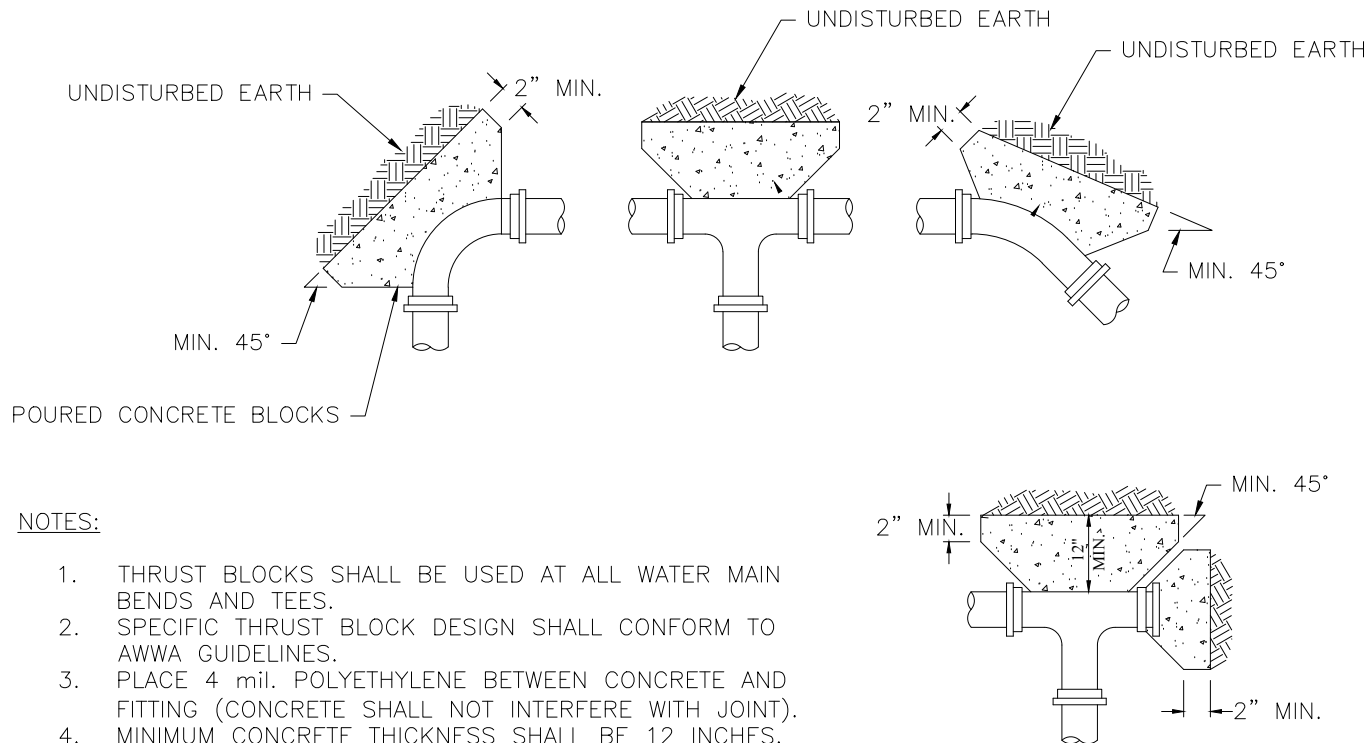
TAPPING SLEEVE CONNECTION DETAIL

NOT TO SCALE



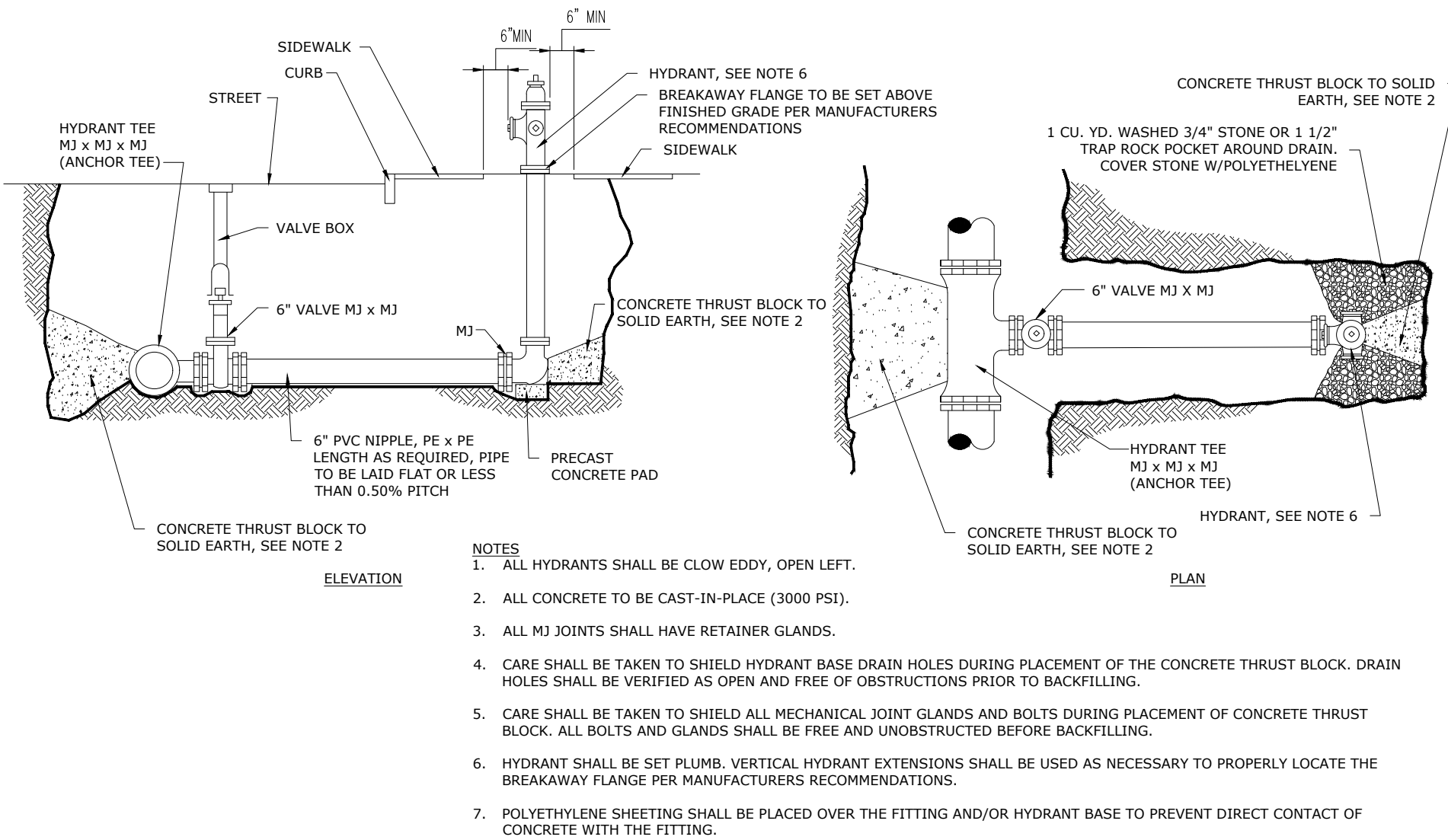
TYPICAL GATE VALVE DETAIL

NOT TO SCALE



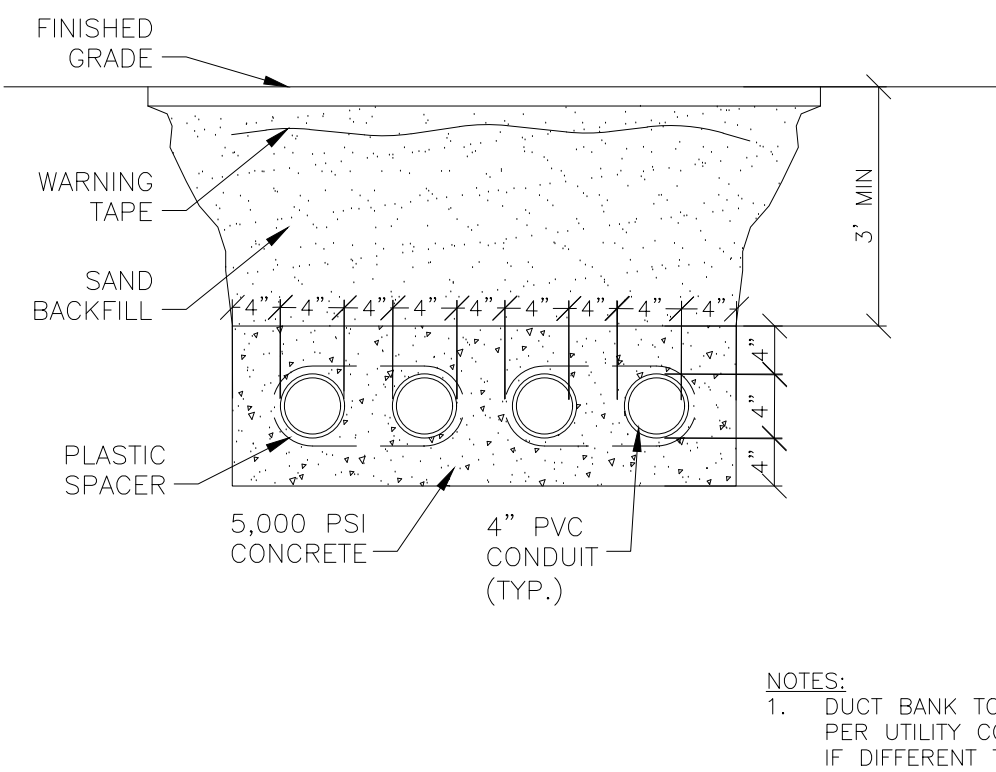
TYPICAL THRUST BLOCK DETAIL

NOT TO SCALE



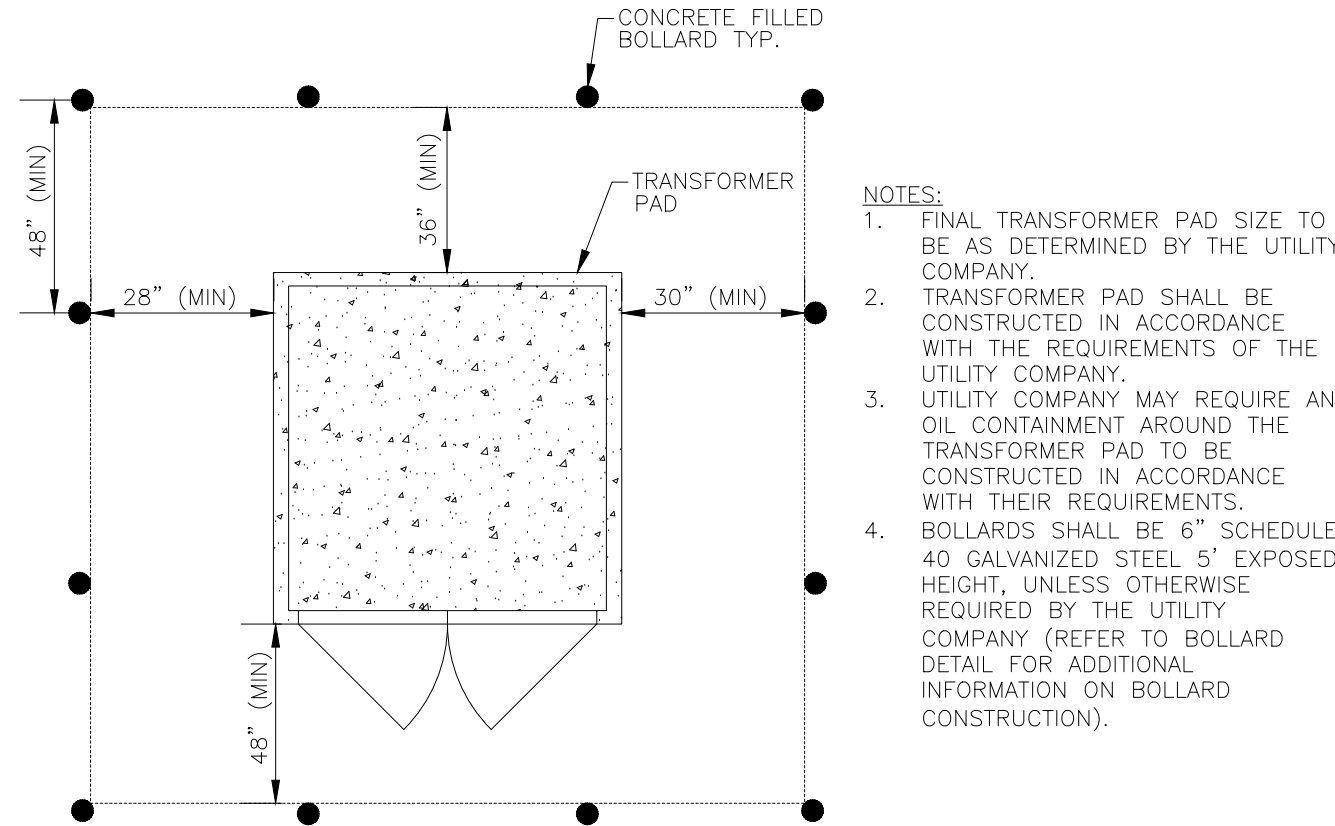
TYPICAL HYDRANT INSTALLATION DETAIL

NOT TO SCALE



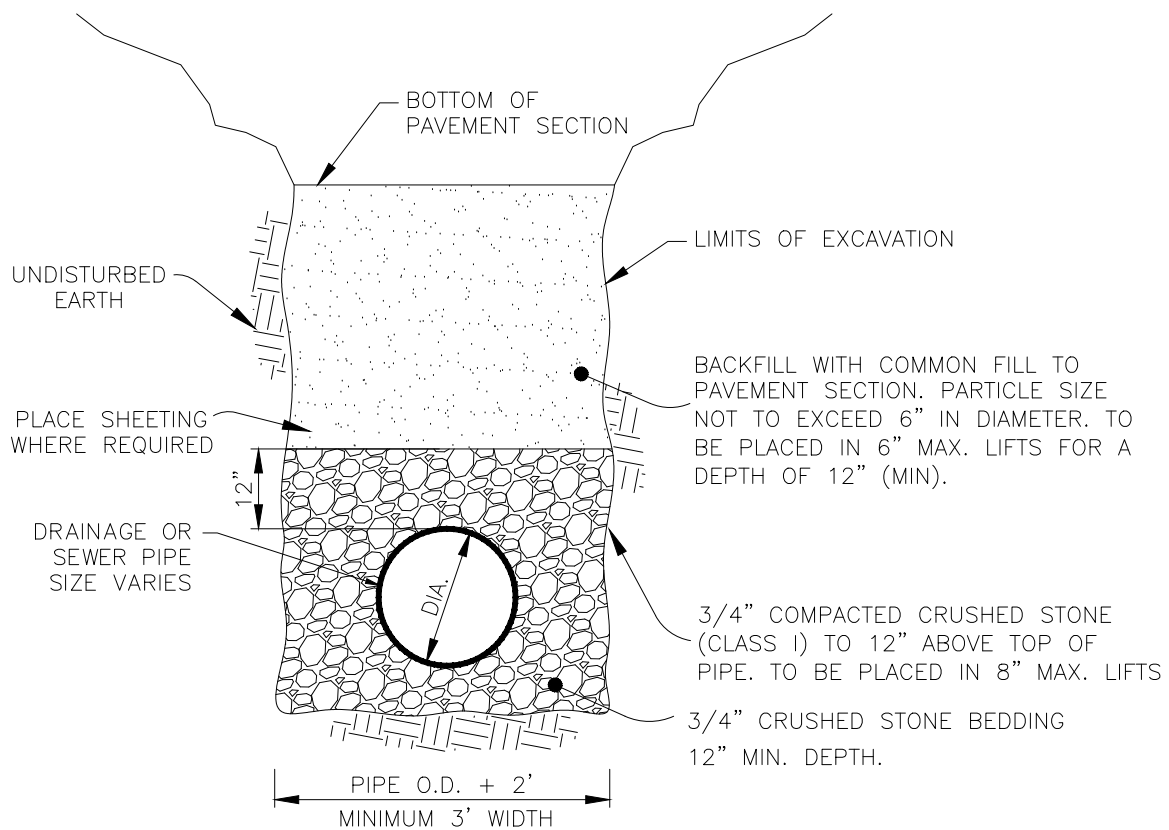
TYPICAL ELECTRICAL/TELEPHONE/CABLE
DUCT BANK DETAIL

NOT TO SCALE



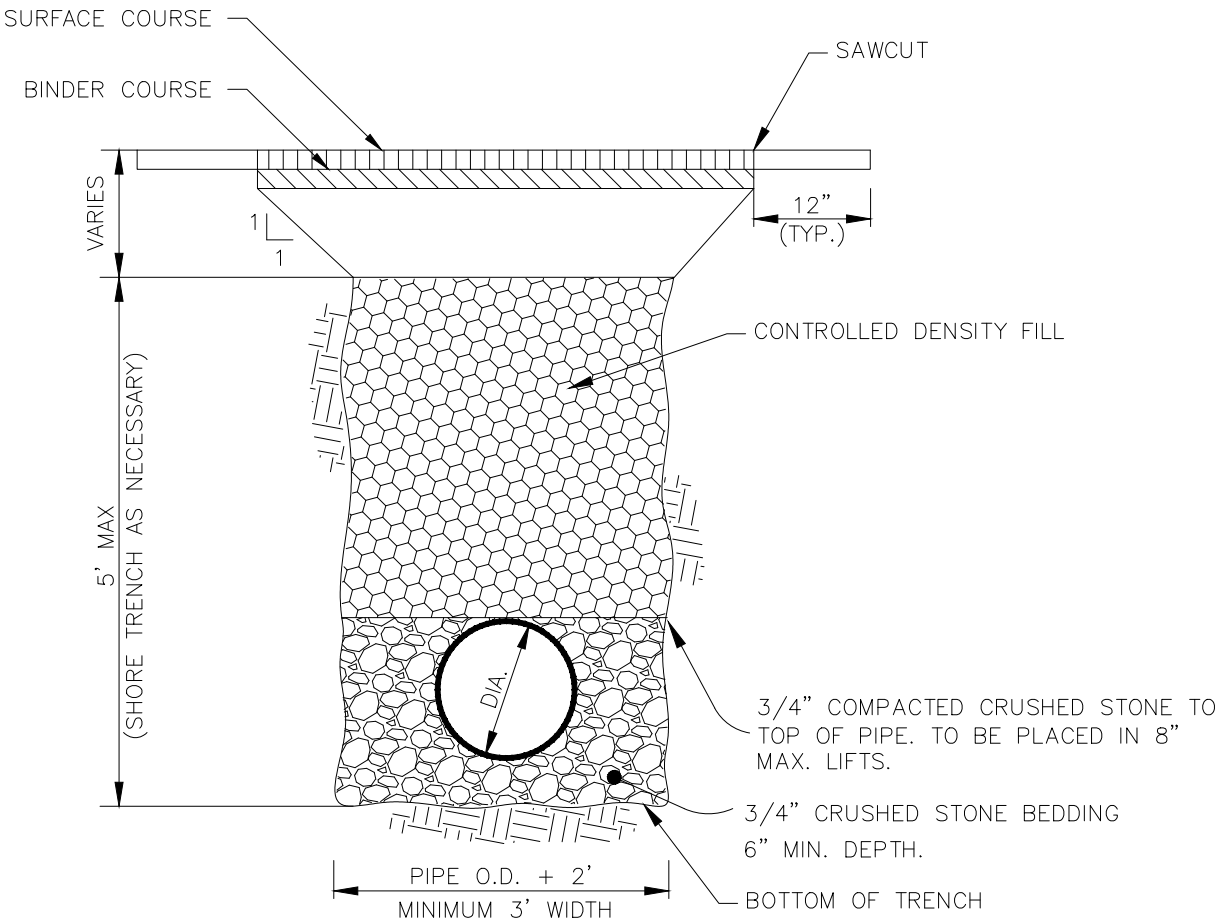
TYPICAL TRANSFORMER PAD DETAIL

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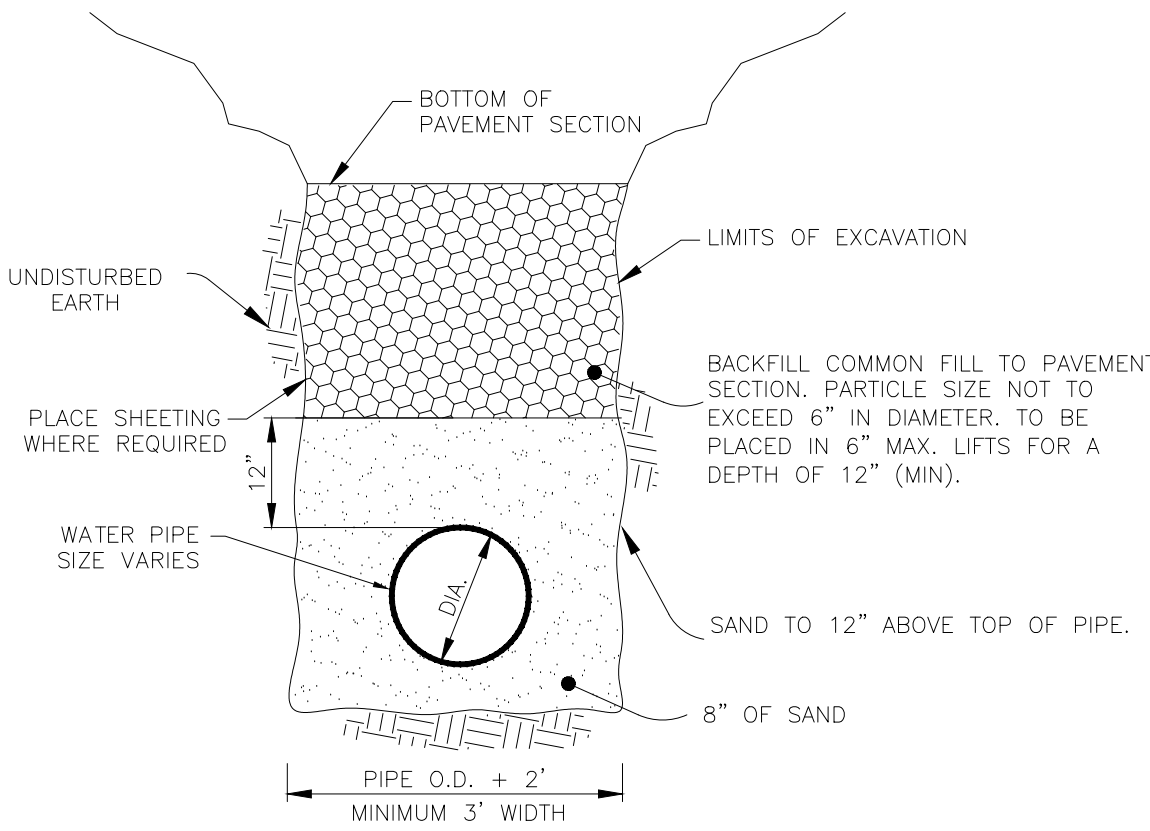
TYPICAL DRAIN & SEWER TRENCH DETAIL

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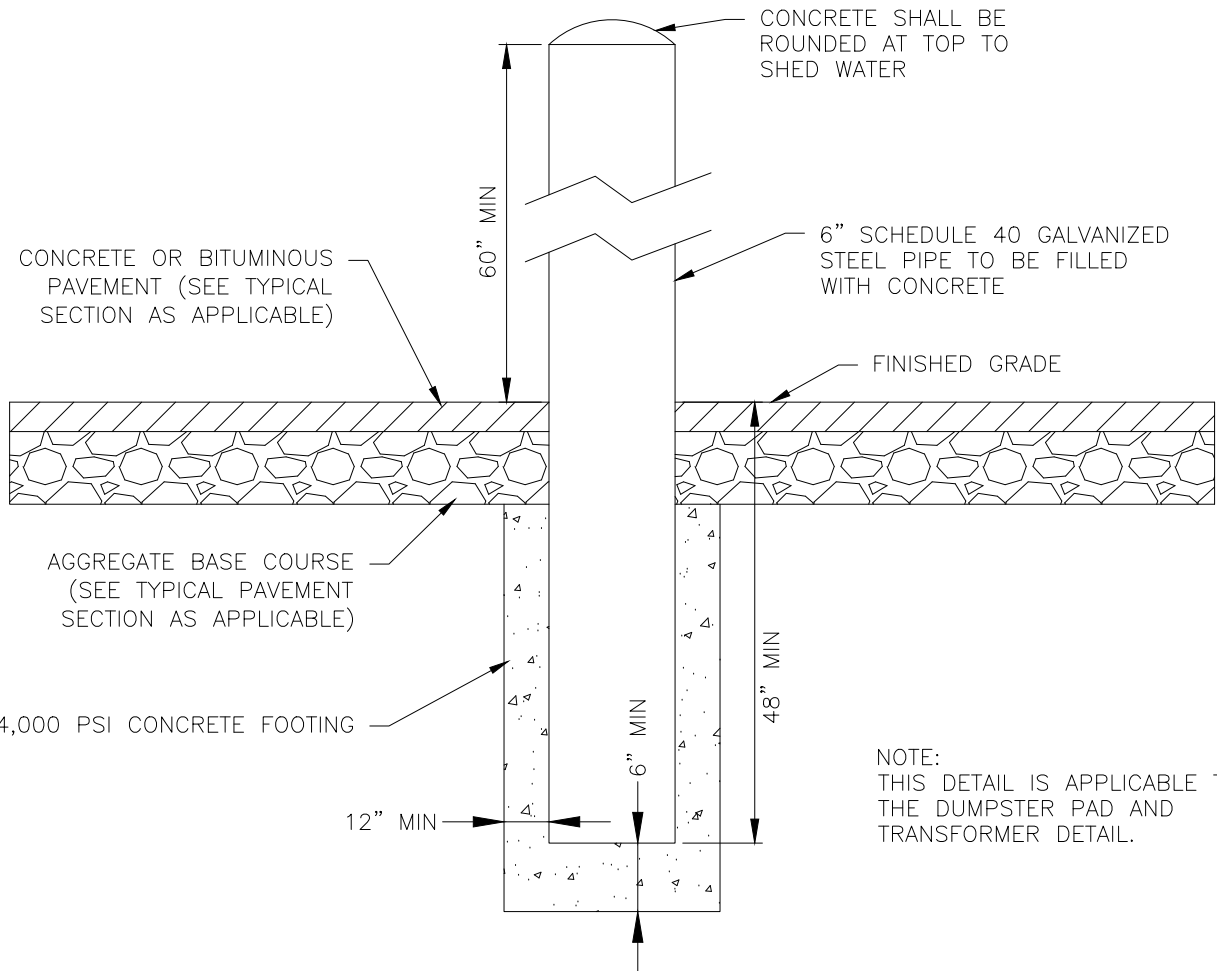
UTILITY TRENCH DETAIL IN EXISTING
PAVEMENT TO REMAIN

NOT TO SCALE



TYPICAL WATER TRENCH DETAIL

NOT TO SCALE



TYPICAL PAD BOLLARD DETAIL

NOT TO SCALE

NOT FOR CONSTRUCTION

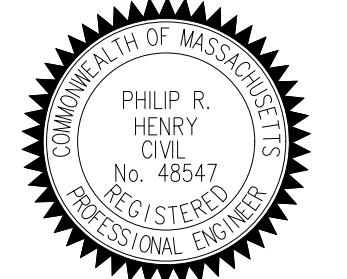
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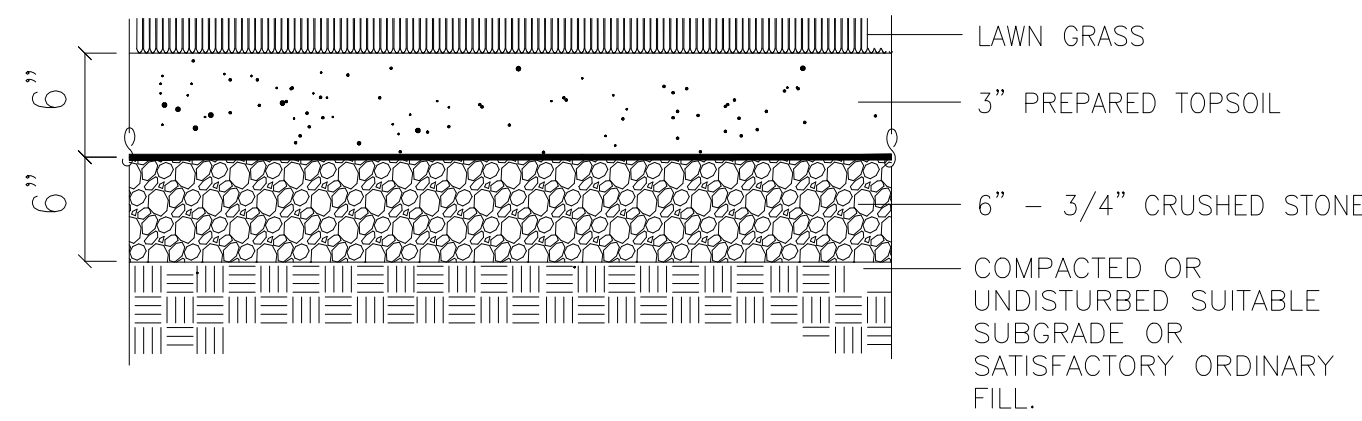
ZENDKO, LLC
15 ESTES STREET
AMESBURY, MA 01913

PROJECT:
**OPEN SPACE RESIDENTIAL
DEVELOPMENT**
15 COLEMAN ROAD
NEWBURY, MASSACHUSETTS 01922

SCALE:
AS-NOTED

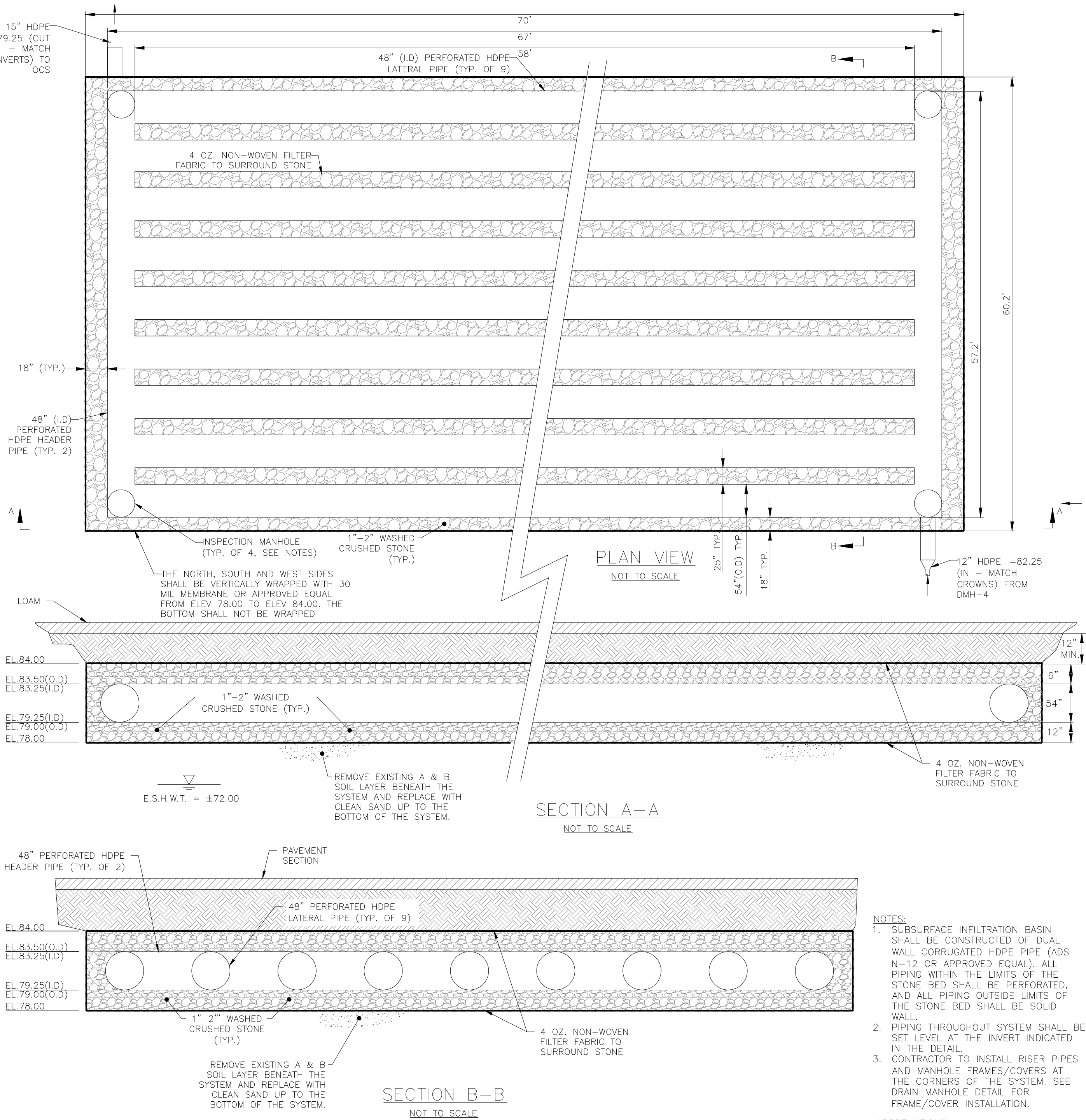
SHEET:
**CONSTRUCTION
DETAILS**
17

DATE: 01/08/2021



MAINTENANCE ACCESS DETAIL

NOT TO SCALE



SUBSURFACE INFILTRATION SYSTEM (SIS-1) DETAIL

NOT TO SCALE

NOT FOR CONSTRUCTION

CDG PROJECT #:

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DATE TOWN CLERK

SEAL:

COMMONWEALTH OF MASSACHUSETTS
PHILIP R. HENRY
CIVIL
No. 48547
REGISTERED PROFESSIONAL ENGINEER

PSK

PHILIP R. HENRY, P.E.

PREPARED BY:

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OPEN SPACE RESIDENTIAL DEVELOPMENT

15 COLEMAN ROAD
NEWBURY, MASSACHUSETTS 01922

SCALE:

AS-NOTED

SHEET:

CONSTRUCTION DETAILS

18

DATE:

01/08/2021



1 15 COLEMAN ROAD - LANDSCAPE PLAN AND DETAILS
SCALE: 1" = 40'

CONSERVATION / WILDLIFE SEED MIXTURES

I. CONSERVATION SEED MIX

GRASSES: CREEPING RED FESCUE (FESTUCA RUBRA), SWITCHGRASS (PANICUM VIRGATUM), DEERTONGUE (PHACELIA CLAUDENS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUS), INDIANGRASS (SORGHASTRUM NUTANS), BIG BLUESTEM (ANDROPOGON GERARDII), WILDFLOWERS: PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), SHOWY TICK-TRIFOLI (DESMODIUM CANADENSE), WILD BLUE LUPINE (LUPINUS PERENNIS), EARLY GOLDENROD (SOLIDAGO JUNCEA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), SHRUBS: GRAY DOGWOOD (CORNUS RACEMOSA), STAGHORN SUMAC (RHUS TYPHINIA), SILKY DOGWOOD (CORNUS AMOMUM)

APPLICATION RATE: 35 LBS/ACRE 1245 SQ FT/LB

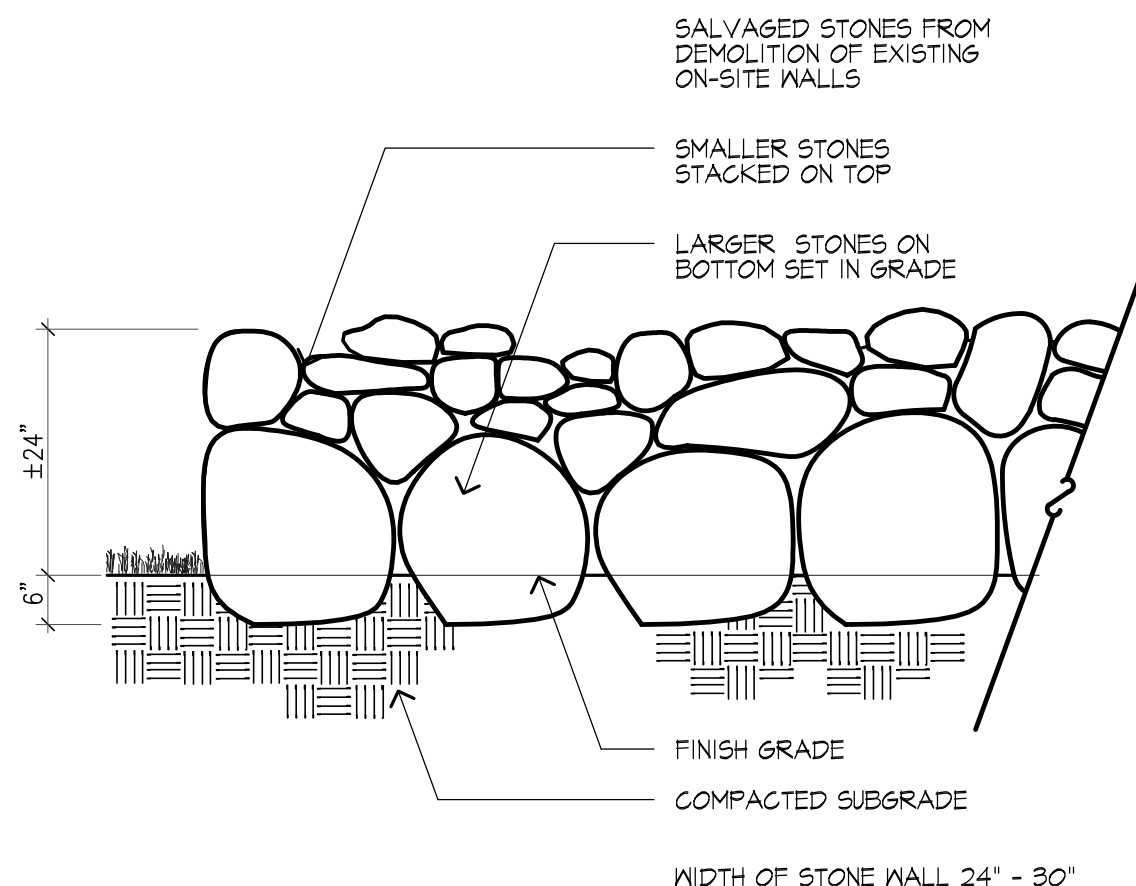
NOTE: CONSERVATION SEED MIX AS PROVIDED BY NEW ENGLAND WETLAND PLANTS, INC. AMHERST, MASSACHUSETTS WWW.NEWP.COM

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
SHADE TREES				
AR	ACER RUBRUM 'RED SUNSET'	RED MAPLE	12	2 - 2 1/2" CAL
EVERGREEN TREES				
PA	PICEA ABIES	NORWAY SPRUCE	17	8-10' HT.
PP	PICEA RUGENS GLAUCOA	COLORADO BLUE SPRUCE	11	8-10' HT.
ORNAMENTAL TREES				
BN	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	22	8-10' HT. GLMP
AC	AMELANCHIER CANADENSIS	SHADEBLOW	14	8-10' HT. GLMP
SV	SYRINGA VULGARIS	LILAC	16	#3 POT
CONSERVATION AREA PLANTINGS				
BN	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	17	1 1/2 - 2" CAL
AR	ACER RUBRUM 'RED SUNSET'	RED MAPLE	5	1 1/2 - 2" CAL
CS	CORNUS SERICEA 'ARCTIC FIRE'	RED TWIG DOGWOOD	28	#2 POT
IV	ILEX VERTICILLATA 'WINTER RED'	WINTERBERRY	32	#2 POT
AS	ACER SACCHARUM 'LEGACY'	SUGAR MAPLE	4	1 1/2 - 2" CAL

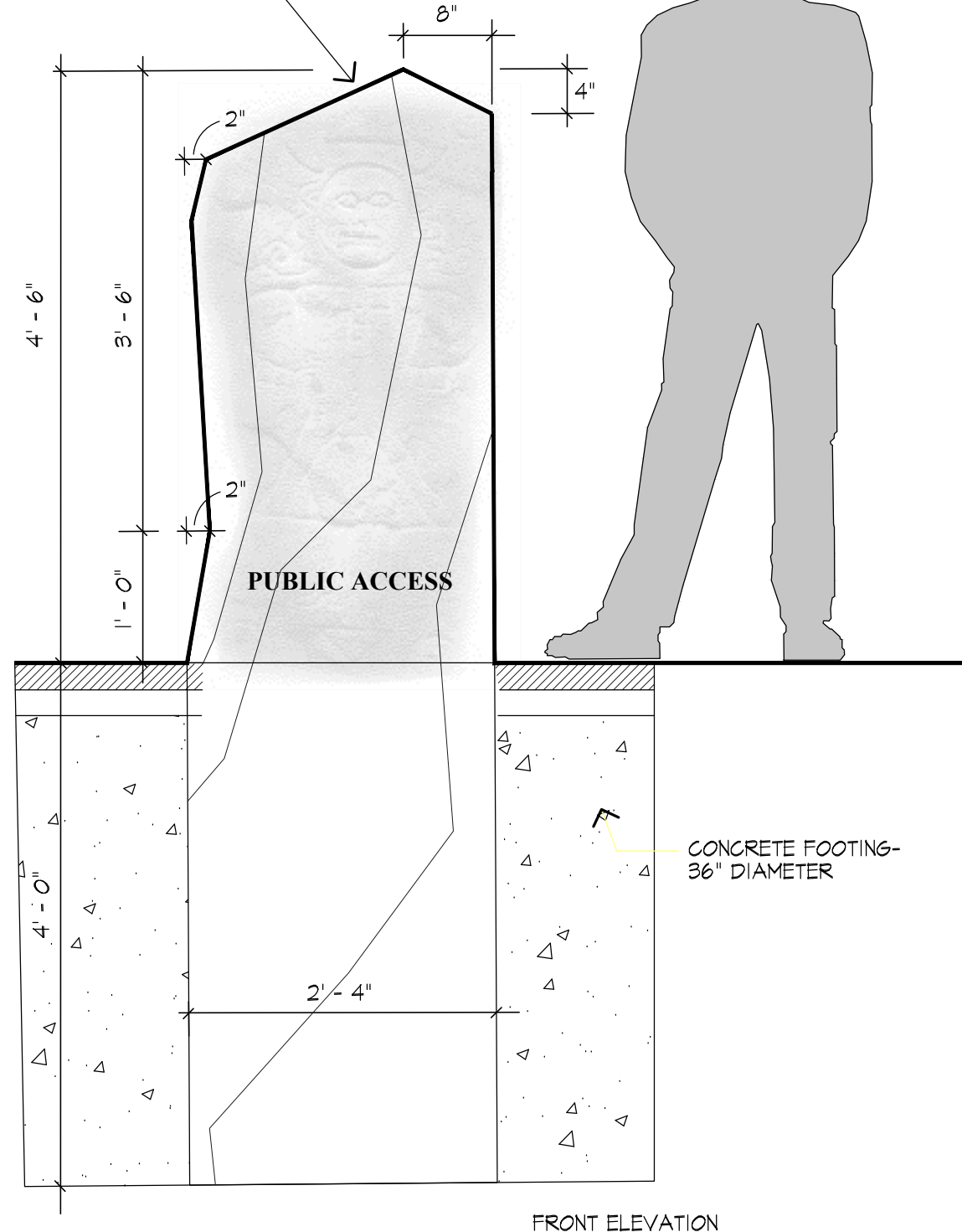
PLANTING NOTES

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DISSEAT AND BE PROVIDED WITH A DISSEAT NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. PEAT MOSS WITH FERTILIZER ADDED PER MANUFACTURER'S RECOMMENDED RATES.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- LANDSCAPE ARCHITECT TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.
- FIELD ADJUST TREE PLANTING LOCATIONS AS REQUIRED TO ACHIEVE SUITABLE SOIL DEPTH OF 36"
- PLANTING SHALL BE RELOCATED AS REQUIRED PURSUANT TO TRANSFORMER LOCATIONS AS DETERMINED BY THE UTILITY COMPANY.

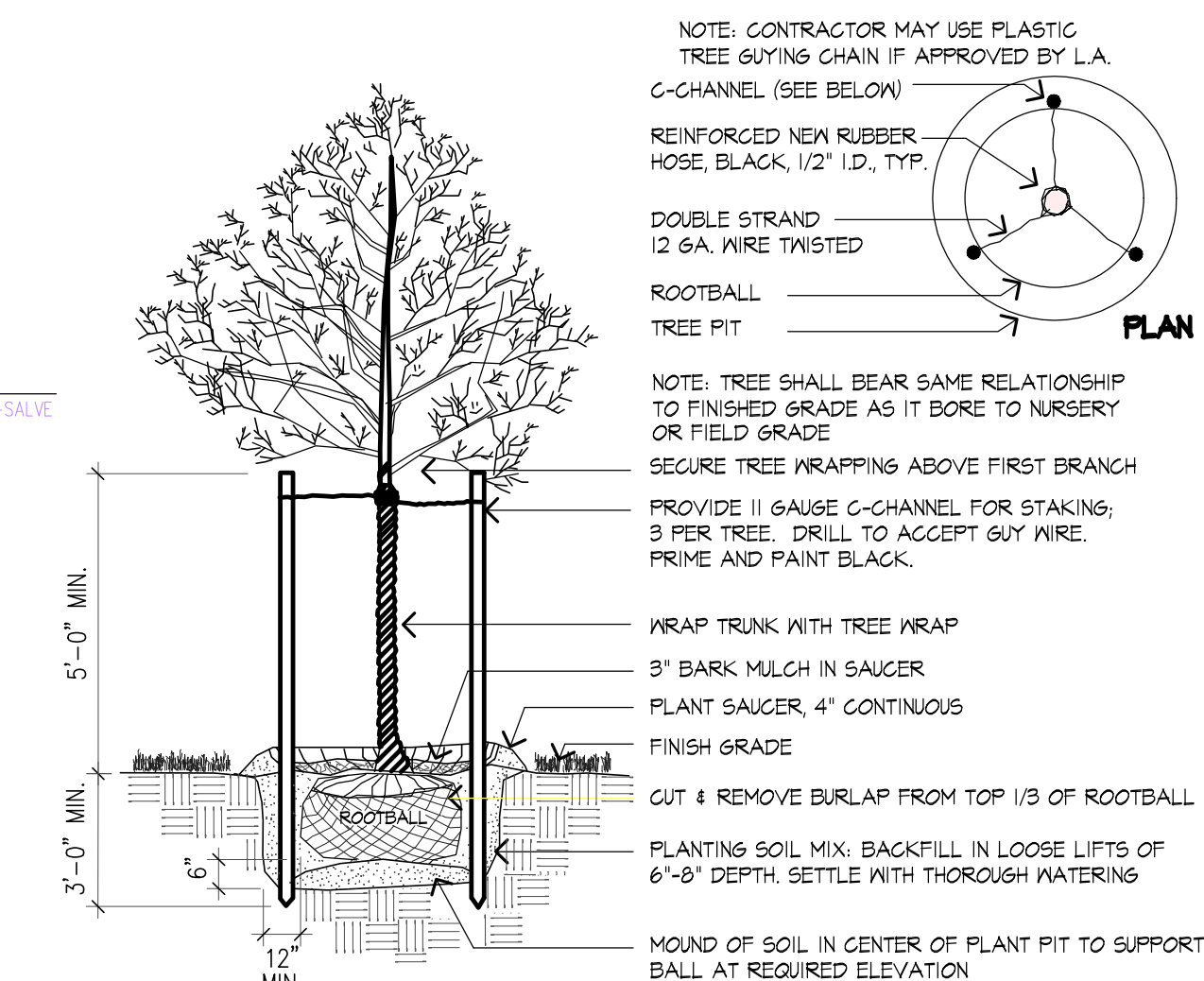


2 RUBBLE STONE WALL
SCALE: NTS

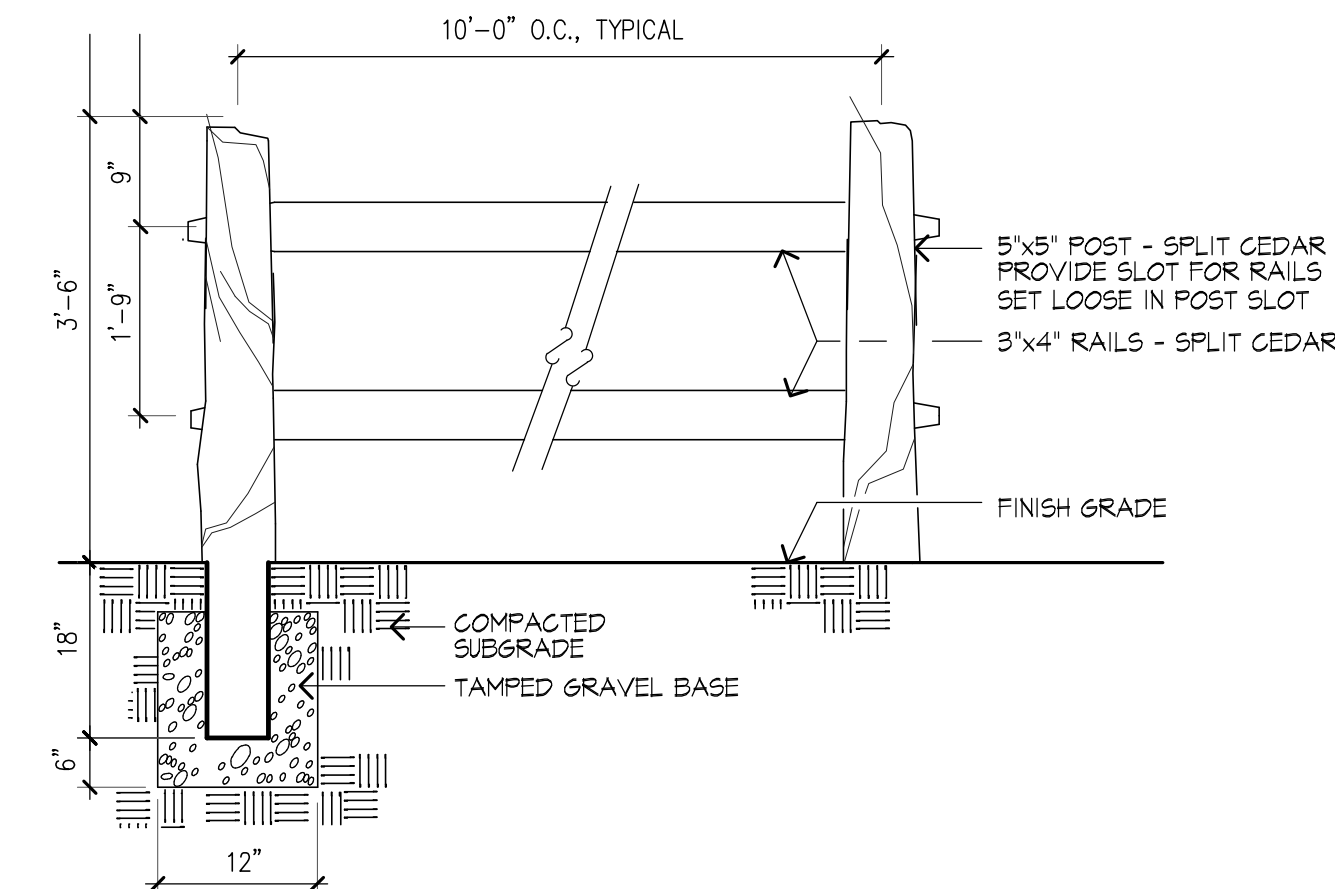
GRANITE POST, 4'-6" X 28" X 12"
THERMAL FRONT & BACK
ROCK FACE ALL EXPOSED EDGES
LETTERS TO BE ENGRAVED & PAINTED BLACK



4 GRANITE POST - SIGN
SCALE: NTS



3 DECIDUOUS TREE PLANTING AND STAKING
SCALE: NTS



5 NATURAL CEDAR SPLIT RAIL FENCE
SCALE: NTS



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Landscape Architecture & Land Planning

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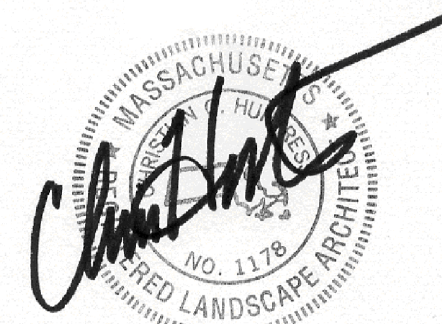
Project:

15 Coleman Road

Newbury, Massachusetts

Drawing Title:

Landscape Plan
& Details



Revision	Date
CONSERVATION PLANTINGS	5.9.21
REVISIONS PER CIVIL	5.20.21

Scale:	1" = 40'	Drawing No.	L-1
Date:	01.08.21		
Job:	00-107		
File:	FR-det		
Drawn:	CCH	of	1
Checked:	--		