

PARKER RIVER ENVIRONMENTAL STUDIES BUILDING

THE GOVERNOR'S ACADEMY

1 ELM STREET
BYFIELD, MA 01922

ZONING DISTRICT: RESIDENTIAL / AGRICULTURAL
APRIL 30, 2018

Revised JULY 06, 2018 (Peer Review Response)

Revised JULY 11, 2018 (Fire Chief Response)

Revised December 3, 2021 (Modification)

Revised January 27, 2022 (PB/Peer Review Comments)

OWNER/APPLICANT

THE GOVERNOR'S ACADEMY
1 ELM STREET
BYFIELD, MASSACHUSETTS 01922

SURVEYING, CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE



69 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 508.871.7030
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MA 01915 | 978.399.0447

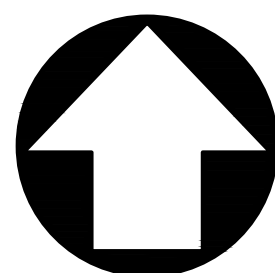
ARCHITECTURE

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1810
FLANSBURGH.COM



NORTH



LOCUS MAP
SCALE: 1" = 500'

ISSUED FOR:

LOCAL PERMITTING



DRAWING INDEX

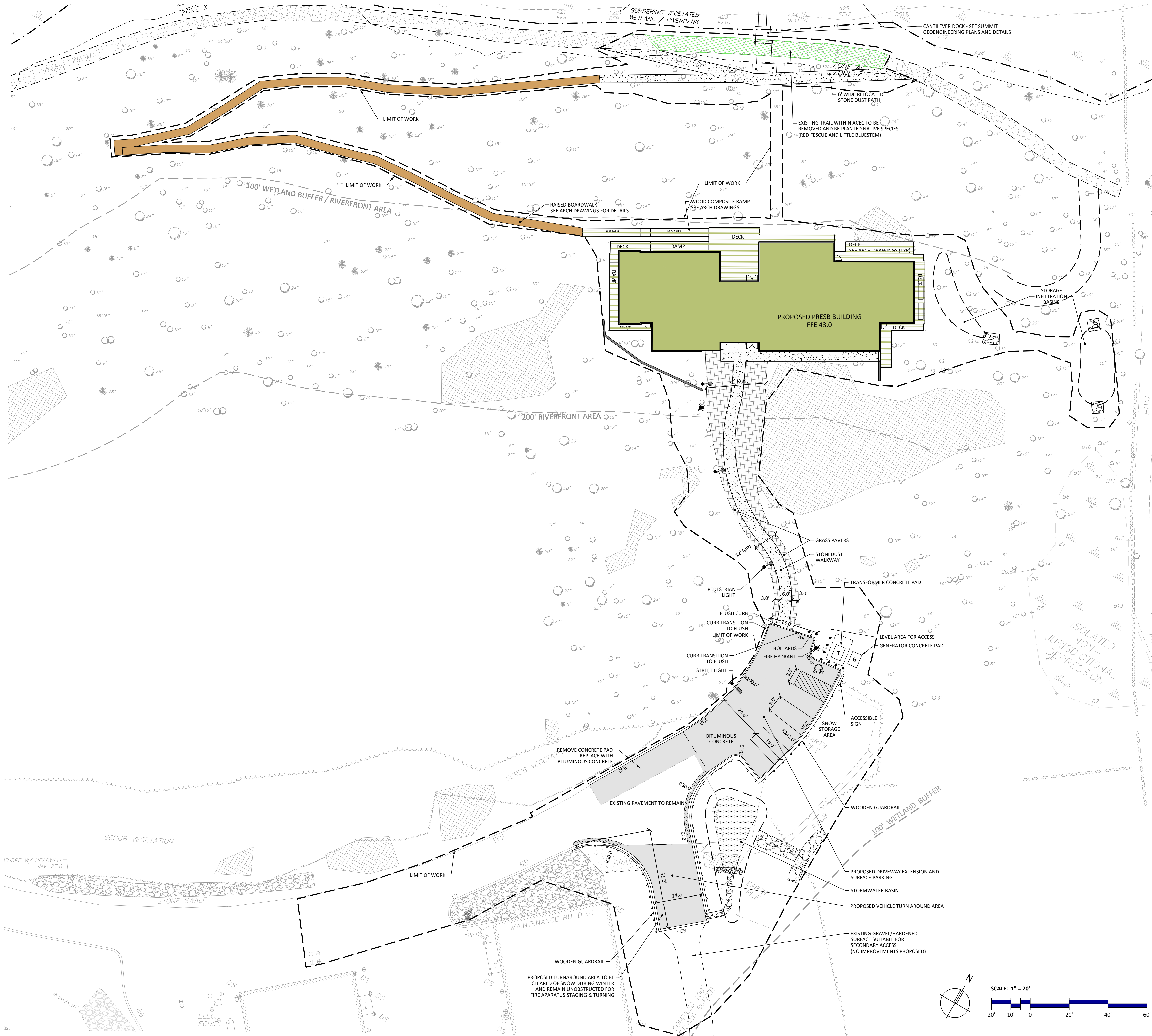
C0	COVER SHEET/LOCUS MAP
C1	OVERALL SITE PLAN
C2	LAYOUT & MATERIALS PLAN
C3	GRADING, DRAINAGE & UTILITIES PLAN
C4	LANDSCAPE & LIGHTING PLAN
C5	SITE PREPARATION PLAN
C6	CONSTRUCTION DETAILS
C7	CONSTRUCTION DETAILS
C8	CONSTRUCTION DETAILS

LAYOUT & MATERIALS LEGEND

PROPERTY LINE	
BUILDING	
VERTICAL CURB	
CAPE COD BERM	
TIMBER RETAINING WALL	
REINFORCED GRASS BLOCK	
BITUMINOUS CONCRETE	
STONEDUST PATH	
GRAVEL DRIVE & GRAVEL DRAINAGE	
RAISED BOARDWALK	
LANDSCAPE AREA	
ACCESSIBLE PARKING SPACE	

LAYOUT AND MATERIALS NOTES:

- ALL WORK SHALL CONFORM TO THE SPECIFICATION REQUIREMENTS OF THE TOWN OF NEWBURY.
- ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.
 - DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
 - DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.
 - ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, ETC.
- ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.
- CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE FOR RESOLUTION.
- THE CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.
- PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES".
- ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.
- BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.
- ALL CONCRETE WORK SHALL COMPLY WITH ACI301, "SPECIFICATION FOR STRUCTURAL CONCRETE," AND ACI 316R, UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRSI'S "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 306.1 FOR COLD WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 350R FOR HOT WEATHER PROTECTION DURING CURING. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."
- SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.
- FACE OF GUARDRAILS TO BE LOCATED TWO FEET SIX INCHES (2.5') FROM FACE OF CURB OR BACK OF WALK UNLESS OTHERWISE NOTED.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND ALL SITE CONDITIONS PRIOR TO TO CONSTRUCTION.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- REFER TO MEP DRAWINGS FOR SITE ELECTRIC INFORMATION INCLUDING SITE LIGHTING AND ELECTRICAL EQUIPMENT, CONDUIT, AND DETAILS



THE GOVERNOR'S ACADEMY
PARKER RIVER ENVIRONMENTAL
STUDIES BUILDING

1 Elm St
Byfield, MA 01922

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Consultants
Meridian Associates
Civil/Landscape
69 Milk Street, Suite 302
Westborough, MA 01581

DeRosa Environmental Consulting
Wetland and Marine Permitting
167 Main Street, P.O. Box 716
Rowley, MA 01969

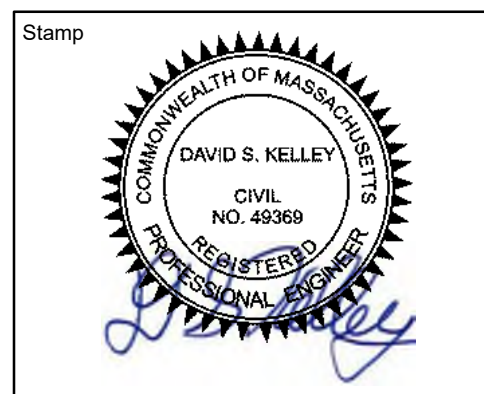
Buro Happold Consulting Engineers
Structural, MEP & Fire Protection
11 Beacon St, Suite 400
Boston, MA 02108

Aquatic Environments
Aquatic Life Support Systems
150-D New Boston Street
Woburn, MA 01801

No.	01	01	27	2022	None	PB/Peer Review Comments	No.	Date	Note
REVISIONS							ISSUE		

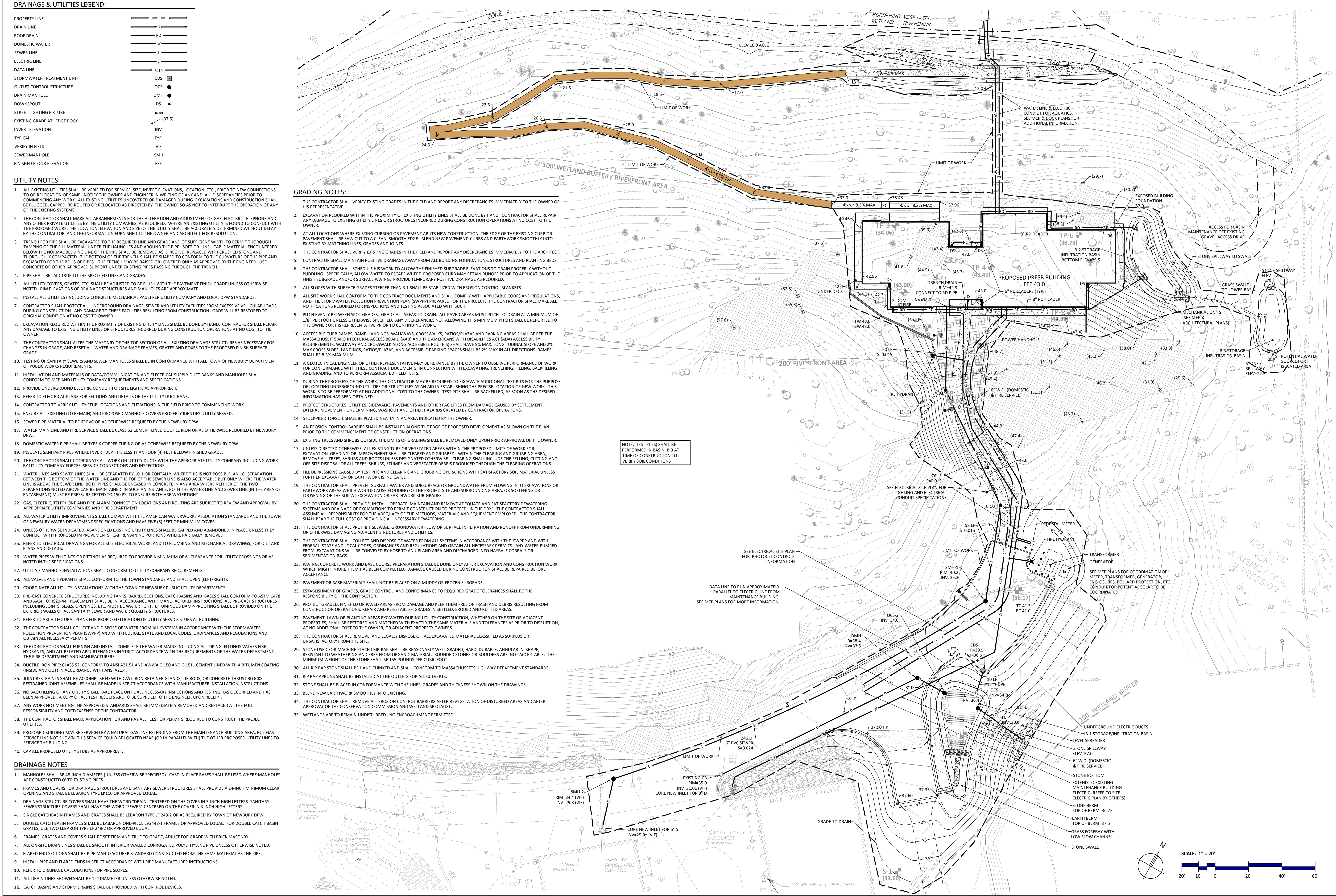


69 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 508.871.7930
500 CUMMINGS CENTER, SUITE 590 BEVERLY, MA 01915 | 978.299.0447



Sheet Title	Layout & Materials Plan
Proposed Site Development Plans	

Drawn By DC	Project ID 8490
Reviewed By MEB	Scale 1"=20'-0"
Plot Date	Issue Date 12.03.2021
Sheet No.	C2



LANDSCAPE NOTES:

1. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AmericanHort 2014 AND AS AMENDED.
2. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
3. ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. PROPOSED SUBSTITUTIONS WILL ONLY BE CONSIDERED IF SUBMITTED WITH ENUMERATED REASONS WHY SUBSTITUTIONS ARE PROPOSED.
4. TOPSOIL STRIPPED FROM THE SITE AND PROPERLY STOCKPILED PRIOR TO APPLICATION MAY, UPON APPROVAL OF THE LANDSCAPE ARCHITECT, BE USED FOR PREPARATION OF LAWNS AND PLANTING BEDS. IT SHOULD BE FREE OF LARGE (ONE (1) INCH OR GREATER) COBBLES, ROOTS, OLD SOD, TRASH, WOOD OR OTHER CONTAMINANTS AND BE OF A FRIABLE CONSISTENCY AND SUITABLE FOR PLANT GROWTH.
5. VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR OWNER'S REPRESENTATIVE.
6. PROVIDE TREES, SHRUBS, AND GROUNDCOVERS AS SHOWN AND SPECIFIED. THE WORK INCLUDES: SOIL PREPARATION, INSTALLATION OF TREES, SHRUBS AND GROUNDCOVERS, PLANTING MIXES, MULCH AND PLANTING ACCESSORIES, WARRANTY, WATERING AND MAINTENANCE DURING CONSTRUCTION AND WARRANTY PERIODS.
7. PRIOR TO PLANTING, PLANTS MAY BE INSPECTED BY OWNER OR OWNER'S REPRESENTATIVE. THEY SHALL RESERVE THE RIGHT TO REFUSE ACCEPTANCE OF PLANTS UPON DELIVERY BASED ON PLANT VIGOR/CONDITION, UNAUTHORIZED SUBSTITUTIONS, AND/OR NONCONFORMANCE WITH THE PLANTING PLANS AND SPECIFICATIONS. SUCH APPROVAL SHALL NOT AFFECT THE RIGHT OF INSPECTION AND REJECTION DURING THE PROGRESS OF THE PROJECT.
8. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST FINAL GRADES IN THE FIELD TO SAVE EXISTING VEGETATION.
9. PLANT QUANTITIES NOTED IN THE PLANT SCHEDULE ARE APPROXIMATE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FURNISHING AND INSTALLATION OF ALL PLANT MATERIALS NOTED ON THE PLANTING PLAN.
10. NO PLANT SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
11. REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES PRIOR TO PLANTING OR LOAM AND SEEDING OPERATIONS.
12. BALLED AND BURLAPED PLANTS MAY BE PLANTED IN THE SPRING FROM APRIL 1ST UNTIL JUNE 15TH AND IN THE FALL FROM AUGUST 15TH TO NOVEMBER 1ST.
13. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
14. ALL PLANTING BEDS TO BE FILLED WITH AT LEAST 24" DEEP PLANTING SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES.
15. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS. DO NOT EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.
16. ALL SHADE TREES ALONG SIDEWALKS SHALL HAVE A MINIMUM SIX (6) FOOT BRANCHING HEIGHT.
17. PLANT MATERIALS DEPICTED IN ROWS SHALL CONTAIN MATCHING PLANT SPECIMENS SPACED EQUALLY ALONG INDICATED AREA.
18. PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.
19. CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.
20. ALL PLANT MATERIALS AND LAWN AREAS TO BE MAINTAINED BY LANDSCAPE CONTRACTOR UNTIL FINAL WRITTEN ACCEPTANCE PROVIDED TO CONTRACTOR BY OWNER OR OWNER'S REPRESENTATIVE.
21. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES OR OTHER CAUSES DUE TO THE CONTRACTOR'S NEGLIGENCE. THE COST OF SUCH REPLACEMENT(S) IS AT THE CONTRACTOR'S EXPENSE.
22. ALL PLANT MATERIALS TO REMAIN ALIVE AND BE IN HEALTHY, VIGOROUS CONDITION AND SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE.
23. ALL PLANT MATERIALS ARE INTENDED TO BE DROUGHT TOLERANT ONCE ESTABLISHED. NO IRRIGATION SYSTEM IS PROPOSED.
24. THE LANDSCAPE CONTRACTOR SHALL FURNISH TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOPSOIL OF GOOD CLAY-LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS, STICKS AND OTHER FOREIGN MATTER. TOPSOIL SHALL NOT BE WORKED OR APPLIED IN A MUDDY OR WET CONDITION.
25. REUSE EXISTING TOPSOIL ENCOUNTERED ON-SITE AND AMEND TO PARAMETERS LISTED BELOW. IF ADDITIONAL TOPSOIL IS NEEDED PROVIDE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER (FOR PLANTING MIX), WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED SITE, REASONABLY FREE OF CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.8. TOPSOIL SHALL NOT BE DELIVERED OR WORKED IN A MUDDY OR FROZEN CONDITION.
26. PLANTING MIX SHALL BE THE SPECIFIED MATERIALS IN THE FOLLOWING PROPORTIONS: 3 PARTS TOPSOIL, 1 PART PEAT MOSS, 1 PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/ CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). AMEND AS NECESSARY. ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ENSURE UNIFORM DISTRIBUTION.
27. PLANTING MIX SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL DISTURBED AREAS, TURFGRASS LAWN AREAS AND PLANTING BED SUBGRADE AREAS UPON COMPLETION OF FINAL GRADING. SEEDING OPERATION OR SPREADING OF TURFGRASS SOD TO BE COMPLETED IMMEDIATELY FOLLOWING THE APPLICATION OF THE PLANTING MIX OVER THE SUBGRADE. SCARIFY SUBGRADE TO A DEPTH OF 2" BEFORE PLACING TOPSOIL.
28. LOAM AND SEED ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED ON PLAN. LOAM WITH TOPSOIL SPREAD TO A MINIMUM DEPTH OF (6) SIX INCHES.
29. SEED OR PROVIDE SOD FOR ALL TURFGRASS LAWN AREAS WITH A DROUGHT TOLERANT TURFGRASS SEED MIX (80% TALL FESCUE, 10% PERENNIAL RYEGRASS, 10% KENTUCKY BLUEGRASS).
30. PERENNIALS, BULBS AND ANNUALS ARE TO BE PLANTED IN A WELL PREPARED BED WHICH SHALL INCLUDE PEAT AND SLOW RELEASE FERTILIZER. BEDS SHALL BE SKIMMED WITH ONE AND ONE-HALF (1-1/2) INCH TO TWO (2) INCH MULCH (INCLUDING GROUNDCOVERS).
31. SPREAD 10-10-10 FERTILIZER AT A RATE OF TWENTY-TWO (22) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET AND INCORPORATE INTO THE SOIL UNIFORMLY.
32. APPLY DOLOMITIC LIME AT THE RATE OF ONE HUNDRED (100) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET THE AREAS BEING PREPARED FOR PLANTING.
33. THE LANDSCAPE CONTRACTOR IS TO CLEAN AND REMOVE ANY DEBRIS FROM THE SITE CAUSED BY THEIR WORK.
34. NATIVE SEED MIX SHALL BE "NEW ENGLAND NATIVE WARM SEASON GRASS MIX" AS SUPPLIED FROM NEW ENGLAND WETLAND PLANTS, WWW.NEWP.COM. SPECIES INCLUDED: LITTLE BLUESTEM, (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM, (ANDROPOGON GERARDII), VIRGINIA WILD RYE, (ELYNUS VIRGINICUS), INDIAN GRASS, (SORGHASTRUM NUTANS), CREEPING RED FESCUE, (FESTUCA RUBRA), SWITCH GRASS, (PANICUM VIRGATUM).

PLANT SCHEDULE

QTY	SYM	LATIN NAME	COMMON NAME	SIZE	NOTES
SHRUBS					
3	CSB	Cornus sericea 'Bud's Yellow'	Bud's Yellow Redosier Dogwood	24"-30" Ht. #3 Pot	BR DR N ST 48" OC Yellow/White Birds/Butterflies Fall/Winter Interest May-June
10	CSF	Cornus sericea 'Farrow' Arctic Fire'	Arctic Fire Redosier Dogwood	24"-30" Ht. #3 Pot	BR DR N ST 36" OC White Birds/Butterflies Fall/Winter Interest May-June
6	VD	Viburnum dentatum 'Ralph Senior'	Autumn Jazz Arrowwood Viburnum	36"-60" Ht. #7 Pot	BR N ST 6' OC White Birds/Butterflies May-June
GROUNDCOVER					
22	EP	Echinacea purpurea	Purple Coneflower	#1 Pot	DR DT N ST 18" OC Purple Birds/Butterflies June-August
77	HR	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1 Pot	ST - 15" OC Yellow Butterflies Fragrant June-October
110	LA	Lavandula angustifolia 'Hidcote'	English Lavender	#1 Pot	DR DT 12" OC Purple Butterflies Fragrant June-August
26	RH	Rudbeckia hirta	Black-eyed Susan	#1 Pot	DR DT N Yellow Butterflies June-September
ORNAMENTAL GRASSES					
21	AV	Andropogon virginicus	Broom Sedge Bluestem	#2 Pot	BR DR DT N ST 24" OC Green/Tan Warm Season Grass September
10	MS	Miscanthus Sinensis 'Gracillimus'	Maiden Grass	#3 Pot	DR DT 48" OC Copper Winter Interest August-February
15	PVH	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	#3 Pot	BR DT N ST 24" OC Pink-Tinged Winter Interest July-February
15	PVN	Panicum virgatum 'Northwind'	Northwind Switchgrass	#3 Pot	BR DT N ST 24" OC Yellow Winter Interest July-February
16	SS	Schizachyrium scoparium	Little Bluestem	#2 Pot	BR DR DT N ST 18" OC Bronze Winter Interest August-February

ABBREVIATIONS:
B&B: BALL AND BURLAP
BR: BIOTENTION PLANT
CAL: CALIPER
DR: DEER RESISTANT
DT: DROUGHT TOLERANT
N: NATIVE
OC: ON CENTER
ST: SALT TOLERANT

PROPOSED PLANTING LEGEND

- SHRUBS, PERENNIALS, GROUNDCOVERS & VINES
- GRASS PAVER BLOCKS
- EVERGREEN, SHADE & ORNAMENTAL TREES
- EXISTING TREE TO REMAIN AND BE PROTECTED

PROPOSED LIGHTING LEGEND

- STREET LIGHT
- PEDESTRIAN LIGHT

THE GOVERNOR'S ACADEMY
PARKER RIVER ENVIRONMENTAL
STUDIES BUILDING

1 Elm St
Byfield, MA 01922

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Consultants
Meridian Associates
Civil/Landscape
69 Milk Street, Suite 302
Westborough, MA 01581

DeRosa Environmental Consulting
Wetland and Marine Permitting
167 Main Street, P.O. Box 716
Rowley, MA 01969

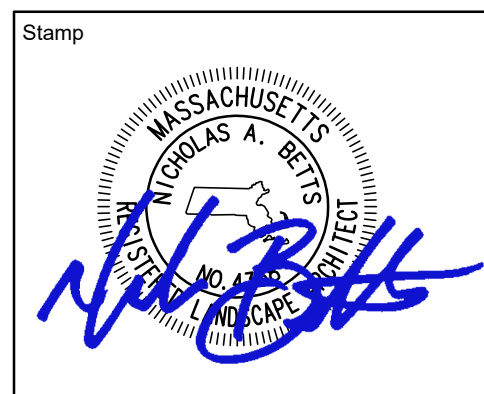
Buro Happold Consulting Engineers
Structural, MEP & Fire Protection
11 Beacon St, Suite 400
Boston, MA 02108

Aquatic Environments
Aquatic Life Support Systems
150-D New Boston Street
Woburn, MA 01801

No.	Date	Revisions	No.	Date	Issue
1	01.27.2022	PB/Peer Review Comments			

MERIDIAN ASSOCIATES

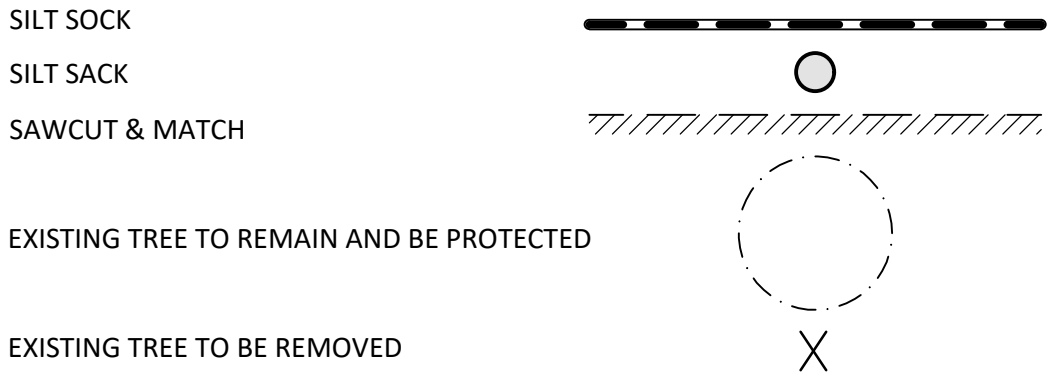
69 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 508.871.7930
500 CUMMINGS CENTER, SUITE 5990 BEVERLY, MA 01915 | 978.299.0447



Sheet Title	Landscape & Lighting Plan
Proposed Site Development Plans	

Drawn By DG	Project ID 8490
Reviewed By MEB	Scale 1"=20'-0"
Plot Date	Issue Date 12.03.2021
Sheet No.	C4

SITE PREPARATION LEGEND



EROSION CONTROL AND STABILIZATION PROGRAM

- THE CONTRACTOR SHALL IMPLEMENT THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROJECT INCLUDING INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES OUTLINED IN THE SWPPP INCLUDING EROSION CONTROL BARRIERS, ANTI-TRACKING PADS AND OTHER EROSION AND SEDIMENTATION CONTROLS, STORMWATER MANAGEMENT CONTROLS, SOLID WASTE CONTROLS AND SPILL PREVENTION CONTROLS.
- THE LOCATION OF EROSION CONTROL BARRIERS AND SEDIMENTATION AND POLLUTION CONTROL SYSTEMS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE WARRANTED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY, WETLANDS OR BUFFER ZONES. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ON THE SITE, THE OWNER SHALL DESIGNATE AN EROSION CONTROL INSPECTOR TO SERVE DURING THE CONSTRUCTION PROCESS WITH RESPONSIBILITIES IN ACCORDANCE WITH THE SWPPP.
- ALL SLOPES WITH SURFACE GRADES EQUAL TO OR STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MATTING.
- REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE CONSTRUCTED, CLEARLY VISIBLE, AND IN OPERATION PRIOR TO CONSTRUCTION. UNLESS OTHERWISE NOTED, SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME DURING THE CONSTRUCTION PERIOD.
- TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENUDED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF ONE MONTH OR MORE SHALL BE CONSIDERED CRITICAL STABILIZATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.
- SEDIMENT CONTROL MEASURES SHALL BE PROVIDED AROUND ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AS DETAILED ON THE DRAWINGS OR AS REQUIRED TO PREVENT SEDIMENTATION.
- CHECK DAMS ARE TO BE PROVIDED ON TWO HUNDRED (200) FOOT SPACING WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.
- SILT SOCKS, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SILTATION CONTROLS. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION CONTROLS UNTIL AUTHORIZED (IN WRITINGS) BY THE OWNER OR HIS REPRESENTATIVE.
- THE CONTRACTOR SHALL HAVE AT THE START OF SOIL DISTURBANCE AN ADEQUATE RESERVE OF SILT FENCE AND SILT SOCKS IN GOOD CONDITION AND SUFFICIENT STAKES FOR STAKING THESE BARRIERS.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.
- LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.
- ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK AND STABILIZED TO PREVENT EROSION.
- STABILIZED CONSTRUCTION ACCESS PADS SHALL BE INSTALLED AT ALL CONSTRUCTION DRIVEWAYS TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE.
- ANY SEDIMENTATION OR EROSION DAMAGE CAUSED AS A RESULT OF THIS PROJECT TO ANY WETLAND RESOURCE AREAS OR IDENTIFIED WETLAND BUFFER ZONES BEYOND THE LIMIT OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND RESTORE AT NO COST TO THE OWNER. IF SEDIMENT REACHES THESE AREAS, THE OWNER SHALL BE CONTACTED IMMEDIATELY BY THE CONTRACTOR. A PLAN FOR ABATEMENT OF THE PROBLEM AND RESTORATION SHALL BE PREPARED BY THE CONTRACTOR AS SOON AS POSSIBLE.
- EROSION CONTROL BARRIER SHALL BE INSTALLED AS INDICATED ON THE PLANS AND AS REQUESTED BY THE OWNER OR HIS REPRESENTATIVE TO ADDRESS FIELD CONDITIONS.
- DEWATERING ACTIVITIES SHALL BE CONDUCTED SUCH THAT ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA (MINIMUM 125 FEET FROM ANY WETLAND RESOURCE AREA) AND DISCHARGED INTO SILT SOCK CORRALS OR SEDIMENTATION BAGS. THE CONTRACTOR SHALL TEST THE DEWATERING WASTEWATER FOR CONTAMINANTS PRIOR TO DISCHARGING. THE CONTRACTOR IS RESPONSIBLE FOR ALL ENGINEERING, EQUIPMENT, MATERIAL, AND LABOR REQUIRED FOR THIS PROJECT PROPOSED SITE WATER REMOVAL DURING CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ORDER OF CONDITIONS (AND ASSOCIATED DEP FILE NUMBER) ISSUED FOR THE PROJECT.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS OR AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER AND AT LEAST ONCE EVERY 34 DAYS DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION BARRIERS ARE INTACT.
- SANITARY WASTES GENERATED DURING CONSTRUCTION WILL BE DISPOSED OFFSITE BY AN APPROVED LICENSED WASTE HAULER.
- CONSTRUCTION SITE WASTE MATERIALS WILL BE PROPERLY STORED ON SITE AND DISPOSED OFFSITE AT A LOCATION IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- THE CONTRACTOR SHALL PERFORM EFFECTIVE SEQUENCING OF CONSTRUCTION ACTIVITIES TO MINIMIZE DISTURBED AREAS ON THE SITE. THE SEQUENCE SHALL BE GENERALLY AS FOLLOWS.
 - INSTALL ALL EROSION AND SEDIMENT CONTROLS.
 - REMOVE AND DISPOSE OF ALL PAVEMENT TO BE REMOVED. LOAM & SEED DISTURBED AREAS.
 - PERFORM CLEARING AND GRUBBING.
 - STRIP TOPSOIL AND PERFORM EXCAVATION AND GRADING.
 - REMOVE AND DISPOSE OF STRUCTURES TO BE REMOVED.
 - INSTALL DRAINAGE, UTILITIES AND ASSOCIATED STRUCTURES.
 - CONSTRUCT BUILDING AND ASSOCIATED IMPROVEMENTS.
 - PERMANENTLY STABILIZE ALL DISTURBED AREAS AND INSTALL LANDSCAPING AND ASSOCIATED APPURTENANCES.
 - REMOVE ALL SOIL AND EROSION CONTROLS AFTER SITE HAS BEEN STABILIZED.
- THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
- USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, TO NEIGHBORS, AND TO OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.
- A MINIMUM OF SIX (6) INCHES OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED SURFACES WHICH ARE PROPOSED TO BE PLANTED.
- INSTALL SILT SACK IN CATCH BASINS AT ALL PAVEMENT REMOVAL AREAS.
- ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF THE FINAL PROJECT.
- CONTRACTOR TO PROVIDE SECURITY FENCE TO CONTAIN CONSTRUCTION ACTIVITIES WITHIN THE LIMIT OF WORK AND TO PROTECT THE PUBLIC FROM INJURY.



THE GOVERNOR'S ACADEMY
PARKER RIVER ENVIRONMENTAL
STUDIES BUILDING

1 Elm St
Byfield, MA 01922

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Consultants
Meridian Associates
Civil/Landscape
69 Milk Street, Suite 302
Westborough, MA 01581

DeRosa Environmental Consulting
Wetland and Marine Permitting
167 Main Street, P.O. Box 716
Rowley, MA 01969

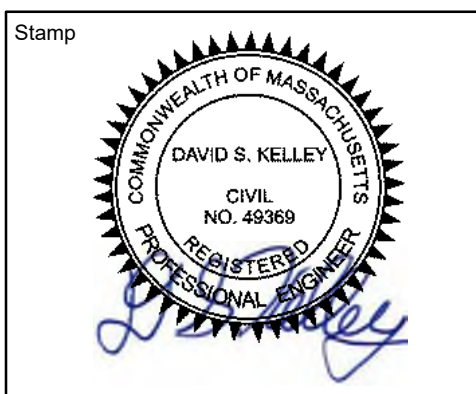
Buro Happold Consulting Engineers
Structural, MEP & Fire Protection
11 Beacon St, Suite 400
Boston, MA 02108

Aquatic Environments
Aquatic Life Support Systems
150-D New Boston Street
Woburn, MA 01801

1	01.27.2022	PB/Peer Review Comments			
No.	Date	Note	No.	Date	Note
REVISIONS			ISSUE		



69 MILK STREET, SUITE 302, WESTBOROUGH, MA 01581 | 508.871.7930
500 CUMMINGS CENTER, SUITE 5990 BEVERLY, MA 01915 | 978.299.0447



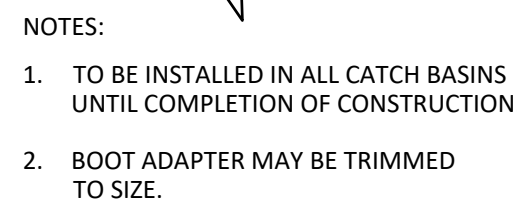
Sheet Title	Site Preparation Plan
Proposed Site Development Plans	

Drawn By DG	Project ID 8490
Reviewed By MEB	Scale 1"=20'-0"
Plot Date	Issue Date 12.03.2021
Sheet No.	C5

Diagram illustrating the construction of the 'WINDY' sculpture:

- PLAN VIEW:** Shows a horizontal, elongated, rounded rectangular structure. The length is labeled as 9' (MIN). The structure is filled with shredded hardwood mulch and is highly visible, 4 oz. non-woven material.
- CROSS SECTION VIEW:** Shows a circular cross-section of the structure. The interior is filled with a star-shaped object. The width is labeled as "WIDTH VARIES".

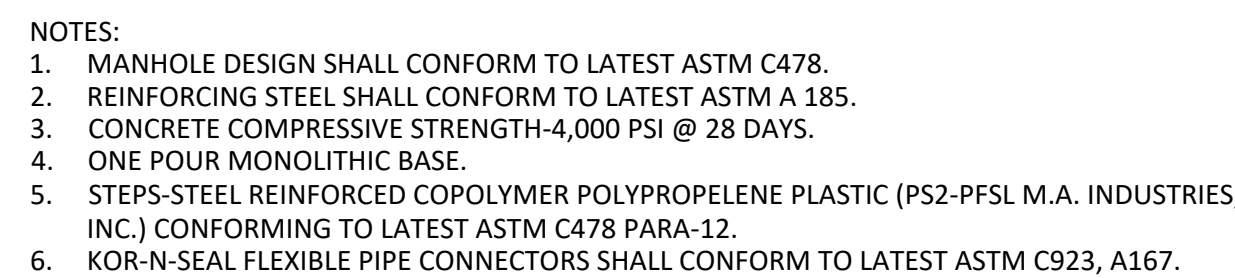
SILT SOCK (SS) - SEDIMENT CONTROL
NOT TO SCALE



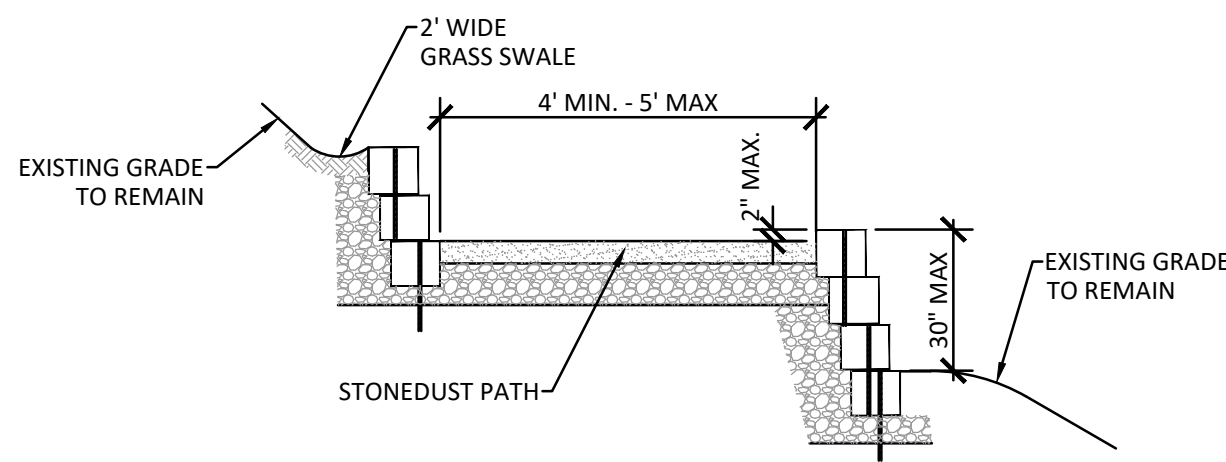
FILTER BAG (SILT SACK)
NOT TO SCALE



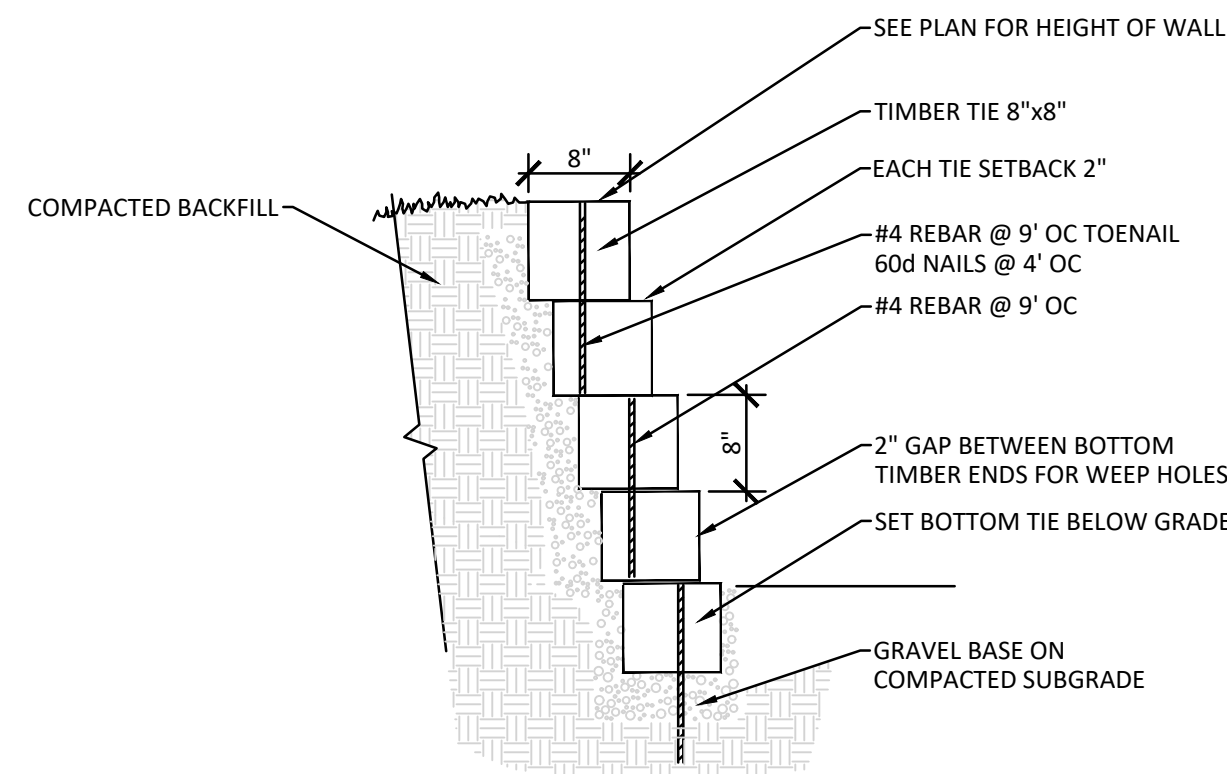
TYPICAL TRENCH SECTION
(NOT TO SCALE)



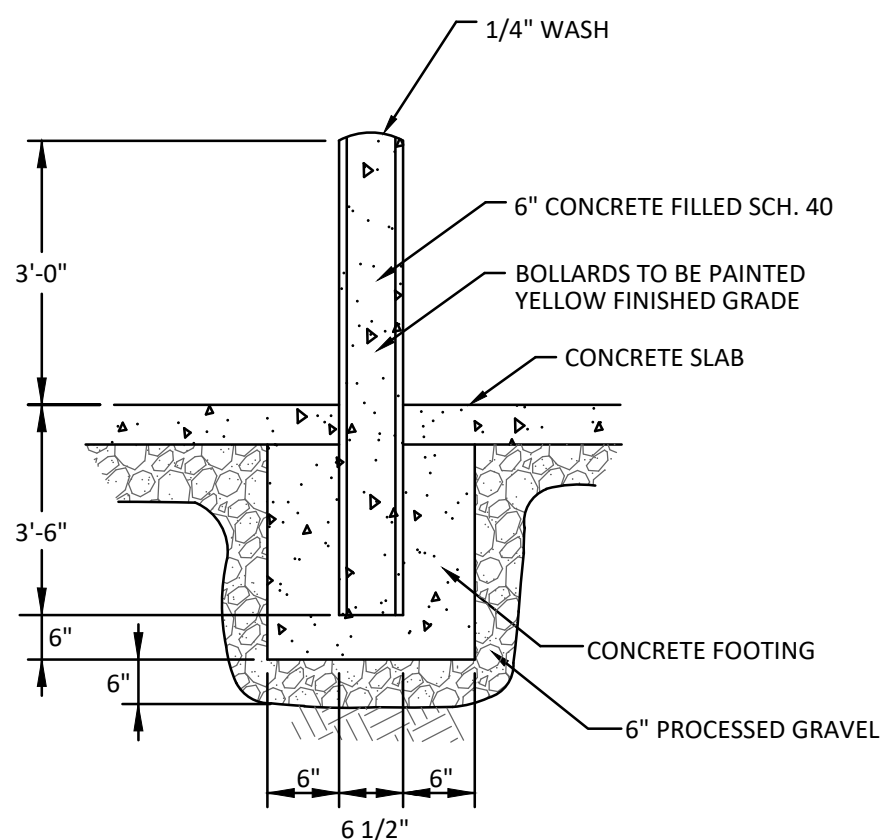
SEWER MANHOLE DETAIL (SMH)
(NOT TO SCALE)



TIMBER WALL / PATH
(NOT TO SCALE)

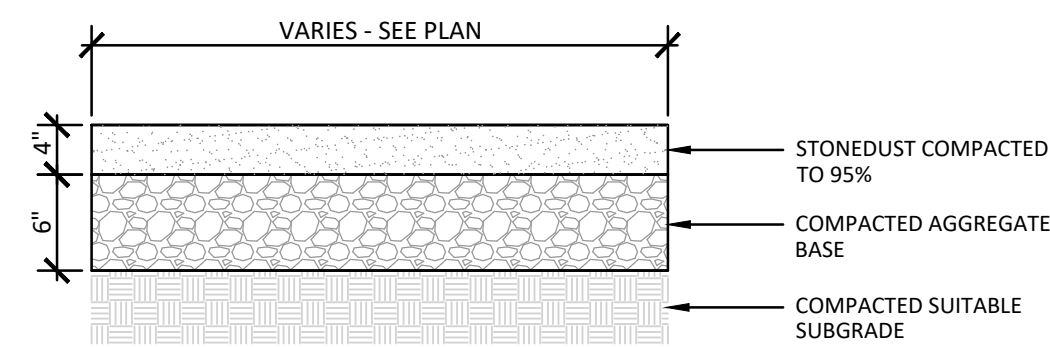


TIMBER RETAINING WALL 4' HEIGHT AND LOWER
(NOT TO SCALE)

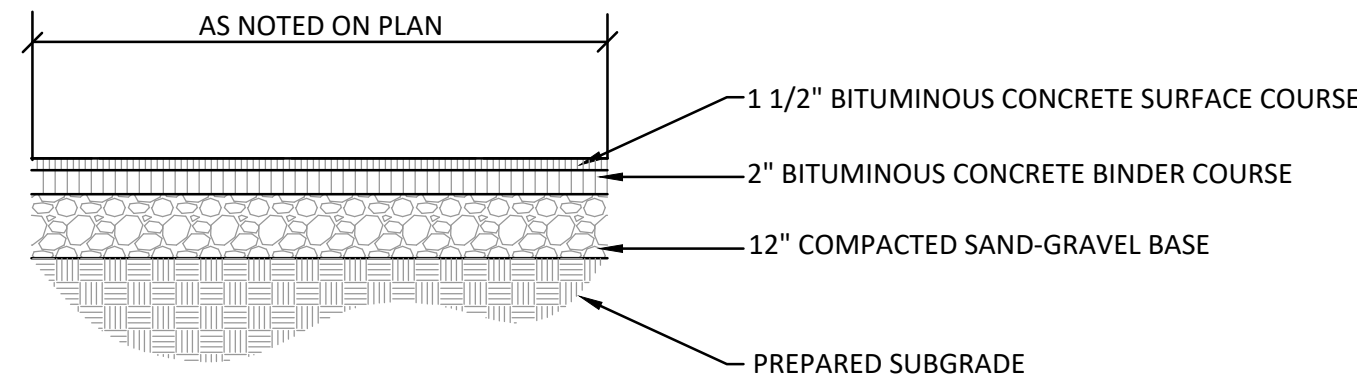


STEEL & CONCRETE BOLLARD
NOT TO SCALE

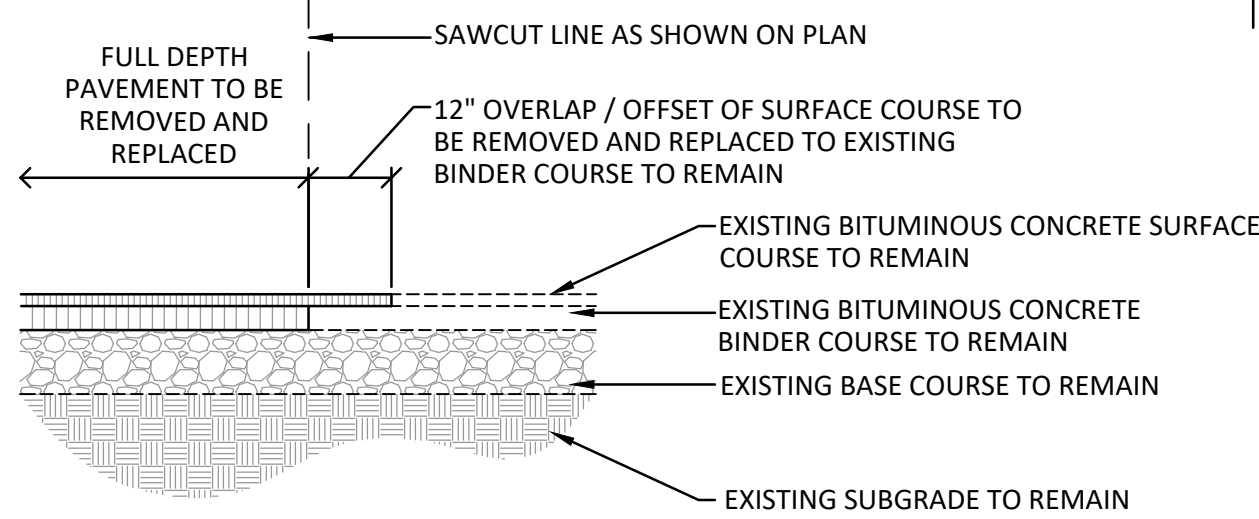
1. REFER TO STRUCTURAL DRAWINGS FOR CONCRETE RETAINING WALLS.
2. REFER TO STRUCTURAL, MEP AND UTILITY COMPANY FOR GENERATOR AND EQUIPMENT PAD DETAILS.



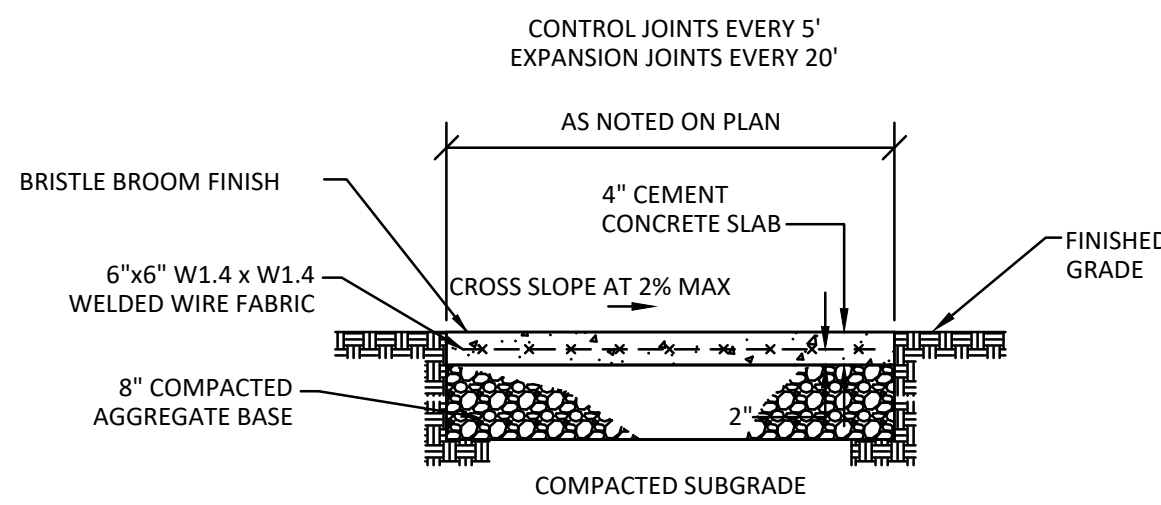
STONEDUST PATH
(NOT TO SCALE)



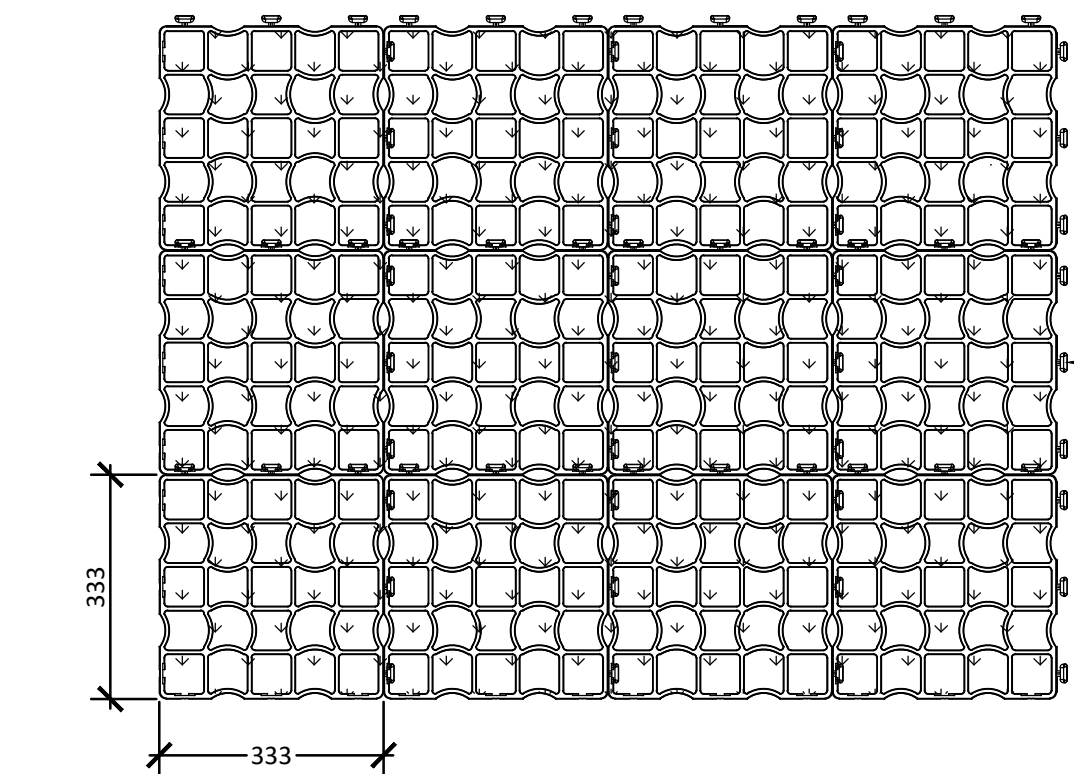
BITUMINOUS CONCRETE PAVEMENT SECTION
(NOT TO SCALE)



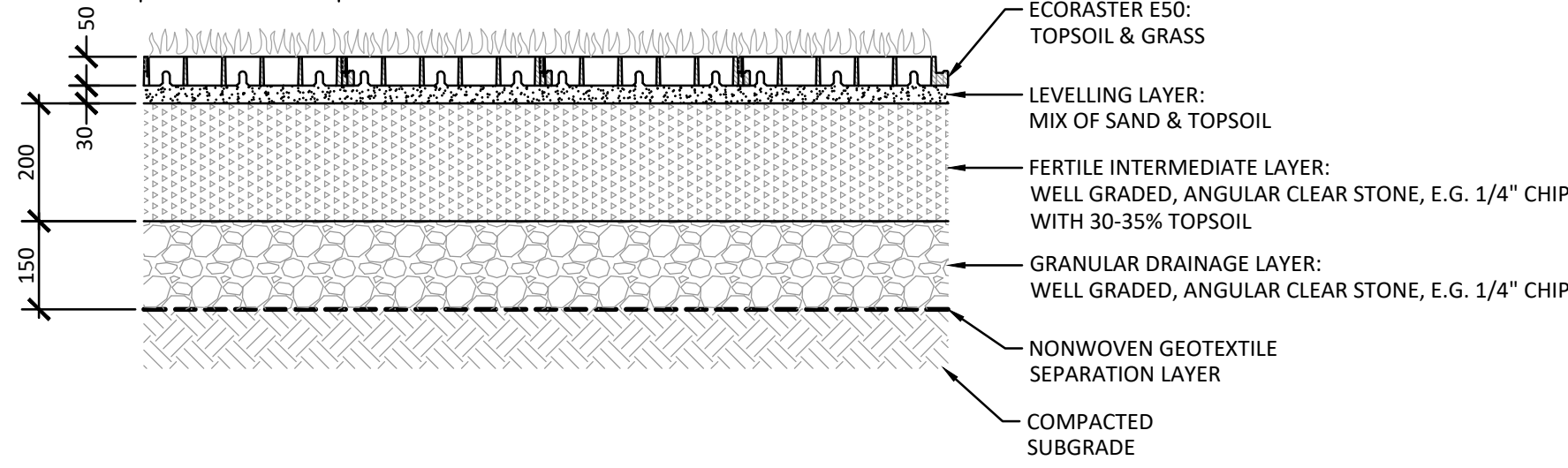
BITUMINOUS CONCRETE PAVEMENT PATCH EDGING
(NOT TO SCALE)



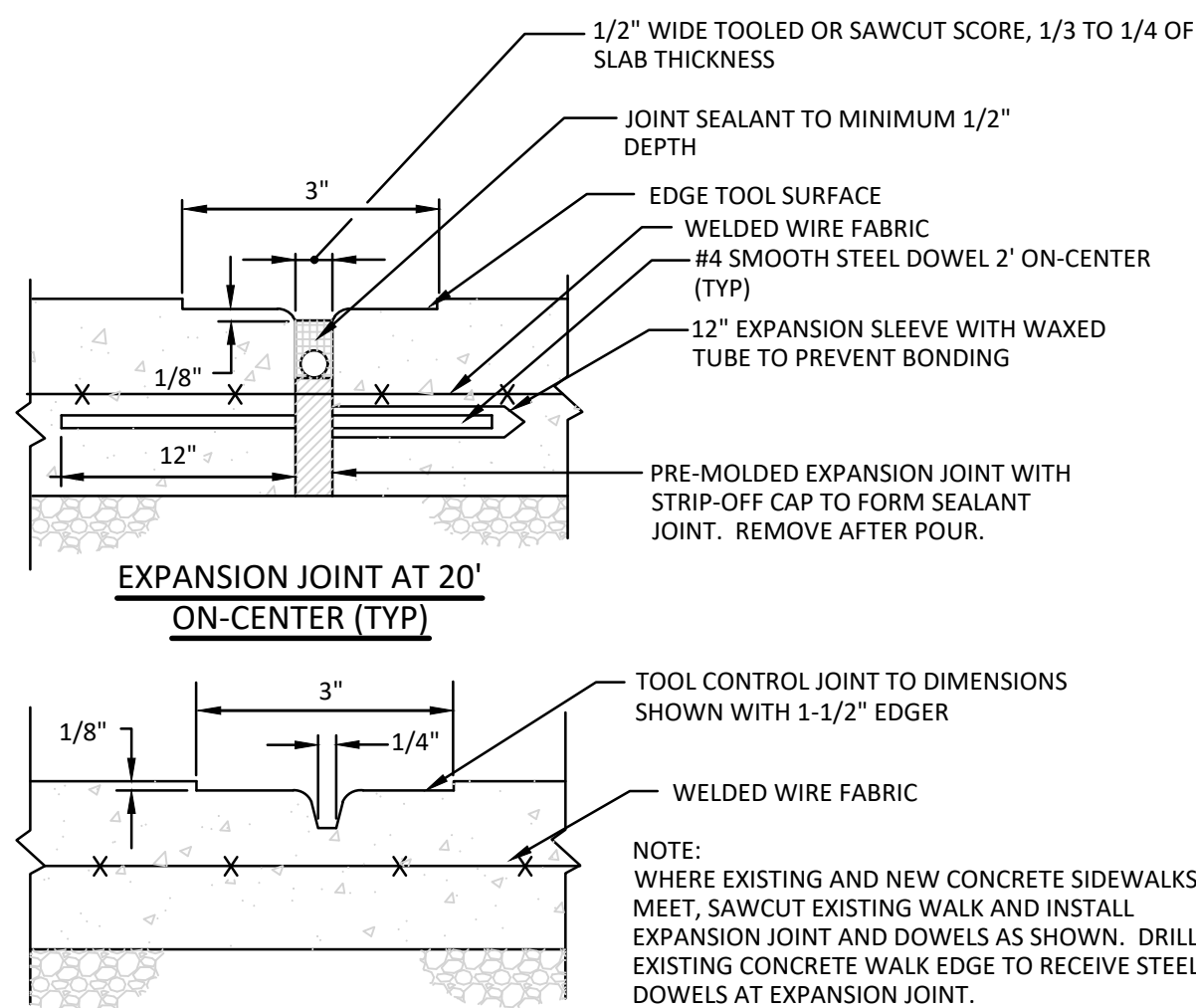
CEMENT CONCRETE WALKWAY
(NOT TO SCALE)



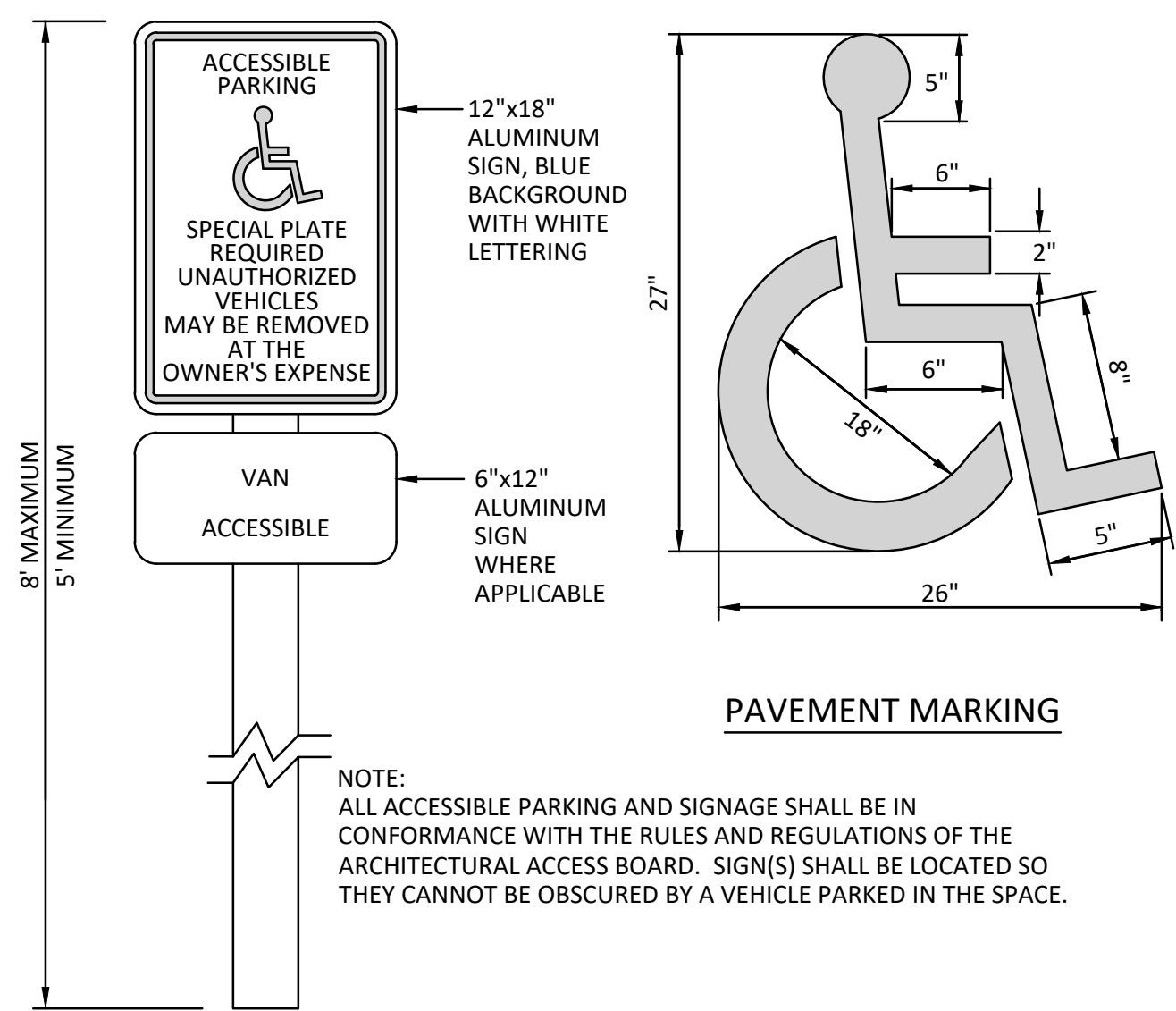
- NOTES:
1. THICKNESS OF FERTILE INTERMEDIATE LAYER & DRAINAGE LAYER DEPENDENT UPON SPECIFIC SITE & LOADING CONDITIONS.
 2. 1/2" CHIP CLEAR OR OTHER SUITABLE CLEAR STONE CAN BE USED FOR DRAINAGE LAYER.
 3. TYPICAL SEED MIX:
SEED MIX SHOULD BE MODIFIED TO SUIT LOCAL CONDITIONS.
 - 45% CREEPING RED FESCUE,
 - 20% TALL FESCUE,
 - 15% PERENNIAL RYE GRASS, AND
 - 20% KENTUCKY BLUE GRASS, WITH
 - LONG TERM FERTILIZER.
 4. DRAINAGE SYSTEM OF THE PERMEABLE PAVEMENT SYSTEM SHOULD BE DESIGNED TO ACCOMMODATE EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS.
 5. SUBGRADE SHOULD BE SLOPED TO AID IN DRAINAGE.
 6. SEE ECORASTER GREEN INSTALLATION MANUAL FOR FURTHER INFORMATION ON LAYERS.
 7. ALL DIMENSIONS IN mm UNLESS STATED OTHERWISE.
 8. THIS DRAWING IS FOR CONCEPTUAL DESIGN PURPOSES ONLY, NOT FOR CONSTRUCTION.



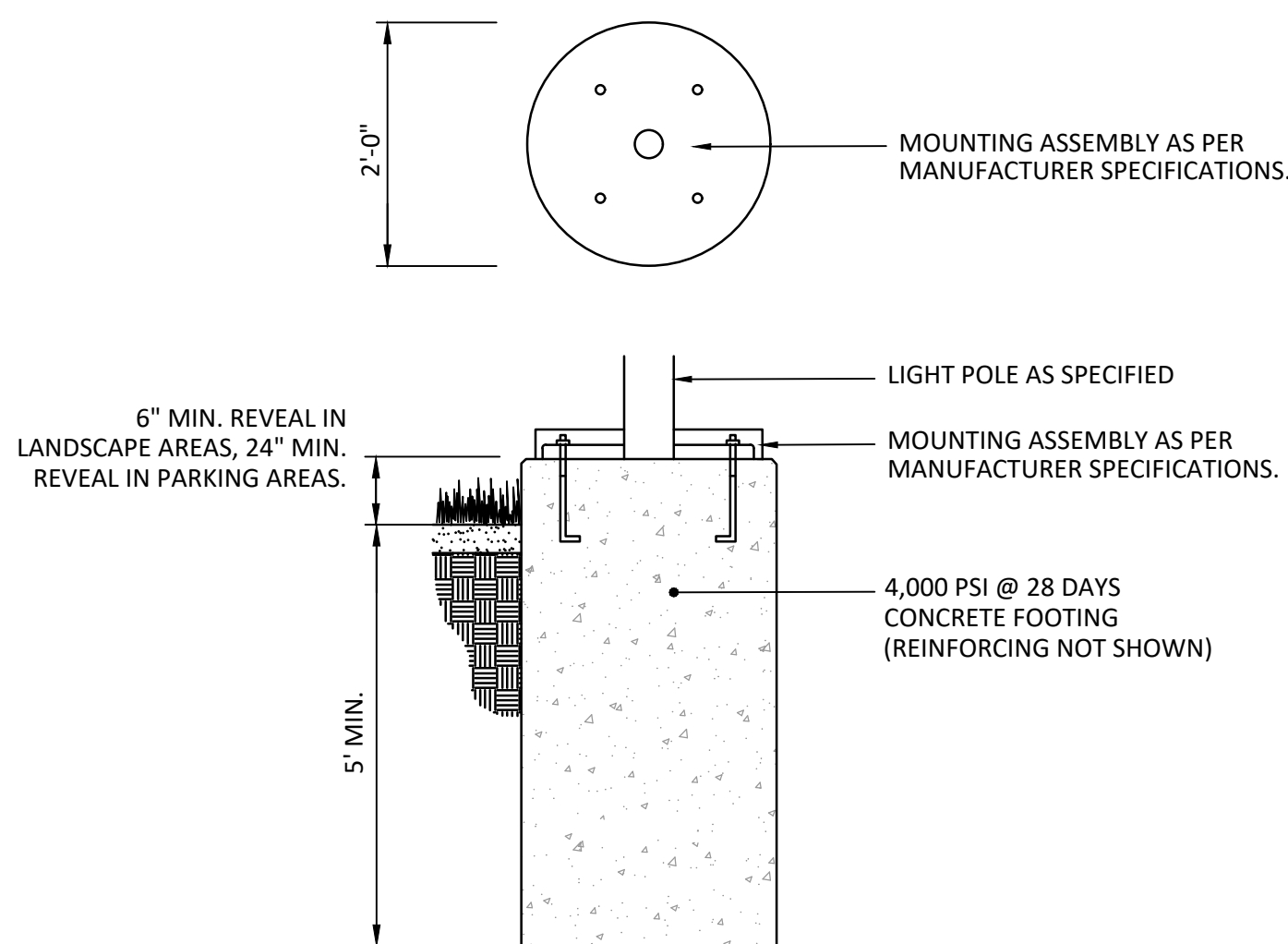
GRASS PAVER BLOCK DETAIL
NOT TO SCALE



EXPANSION AND CONTROL JOINTS FOR CONCRETE
(NOT TO SCALE)

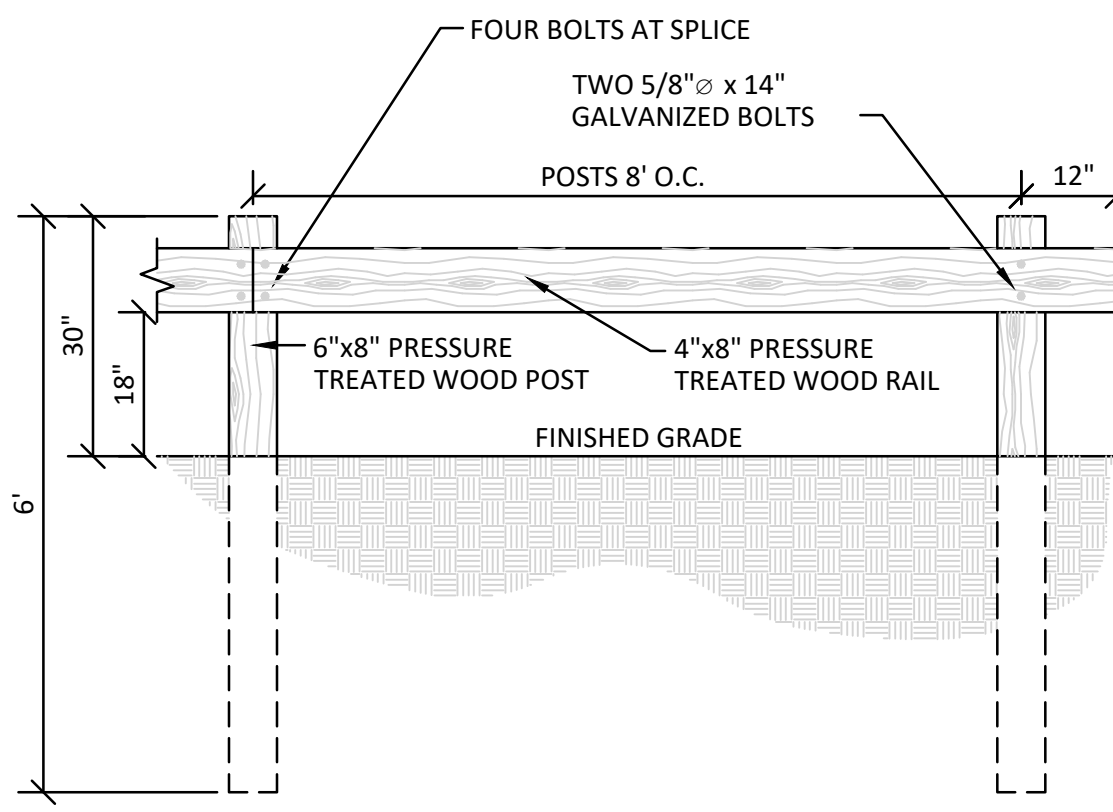


ACCESSIBLE SIGN AND PAVEMENT MARKING
NOT TO SCALE



- NOTE:
1. EXTEND POLE BASE TO A MINIMUM DEPTH OF 5' BELOW FINISH GRADE.
 2. COORDINATE BOLT PATTERNS FOR MOUNTING OF IDENTIFIED POLE.
 3. REFER TO ELECTRICAL ENGINEERING DETAILS FOR CONDUIT.

TYPICAL LIGHT POLE BASE
NOT TO SCALE



WOODEN GUARDRAIL
(NOT TO SCALE)

**THE GOVERNOR'S ACADEMY
PARKER RIVER ENVIRONMENTAL
STUDIES BUILDING**

1 Elm St
Byfield, MA 01922

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Consultants
Meridian Associates
Civil/Landscape
69 Milk Street, Suite 302
Westborough, MA 01581

DeRosa Environmental Consulting
Wetland and Marine Permitting
167 Main Street, P.O. Box 716
Rowley, MA 01969

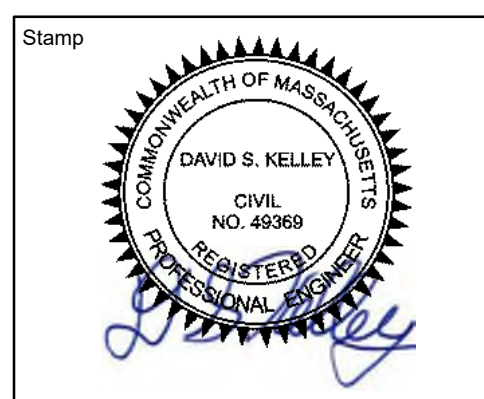
Buro Happold Consulting Engineers
Structural, MEP & Fire Protection
11 Beacon St, Suite 400
Boston, MA 02108

Aquatic Environments
Aquatic Life Support Systems
150-D New Boston Street
Woburn, MA 01801

No.	Date	Revisions	No.	Date	Issue
1	01/27/2022	PB/Peer Review Comments			

**MERIDIAN
ASSOCIATES**

69 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 508.871.7930
500 CUMMINGS CENTER, SUITE 5990 BEVERLY, MA 01915 | 978.299.0447



Sheet Title	Site Details
Proposed Site Development Plans	

Drawn By DC	Project ID 8490
Reviewed By MEB	Scale As Shown
Plot Date	Issue Date 12.03.2021
Sheet No.	C7

