



77 NORTH WASHINGTON STREET BOSTON, MA 02114-1910

FLANSBURGH.COM

Prepared For: THE Governor's Academy Byfield, Massachusetts



PRESB Rendering

Not to Scale Project No. 8490

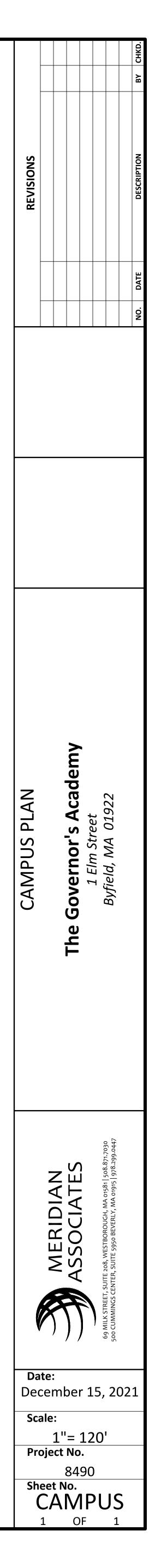
Date: December 15, 2021 Dwg No. 8490 SITE.dwg Sheet 1 of 1 Copyright Meridian Associates 2019 🔹

1, 6 0/n

(

2ath: G:\~\8490 BYFIELD (PRESB)\DWG\GA PARTIAL CAMPUS - MAI MERGE.DWG





OWNER/APPLICANT

THE GOVERNOR'S ACADEMY 1 ELM STREET BYFIELD, MASSACHUSETTS 01922

SURVEYING, CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE



69 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 508.871.7030 500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MA 01915 | 978.299.0447



77 NORTH WASHINGTON STREET

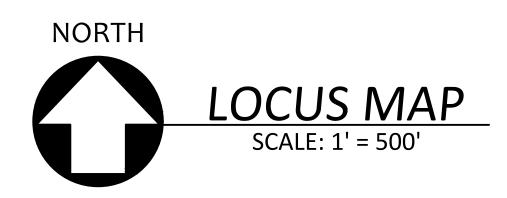
BOSTON, MA 02114-1910 FLANSBURGH.COM

PARKER RIVER ENVIRONMENTAL STUDIES BUILDING THE GOVERNOR'S ACADEMY

1 ELM STREET BYFIELD, MA 01922

ZONING DISTRICT: RESIDENTIAL / AGRICULTURAL APRIL 30, 2018 Revised JULY 06, 2018 (Peer Review Response) *Revised JULY 11, 2018 (Fire Chief Response) Revised December 3, 2021 (Modification)*

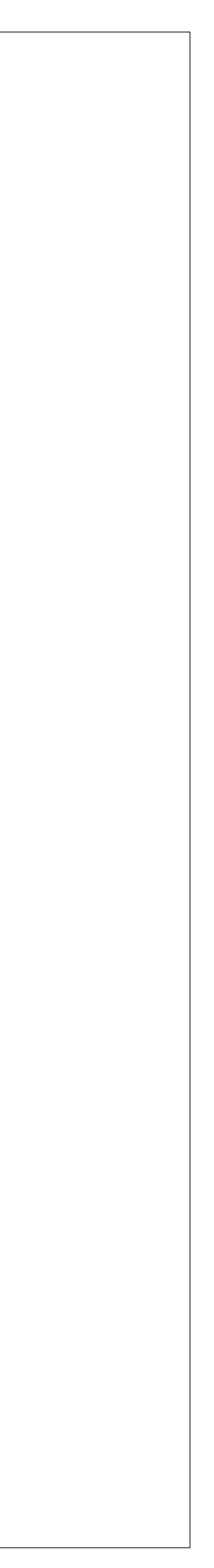


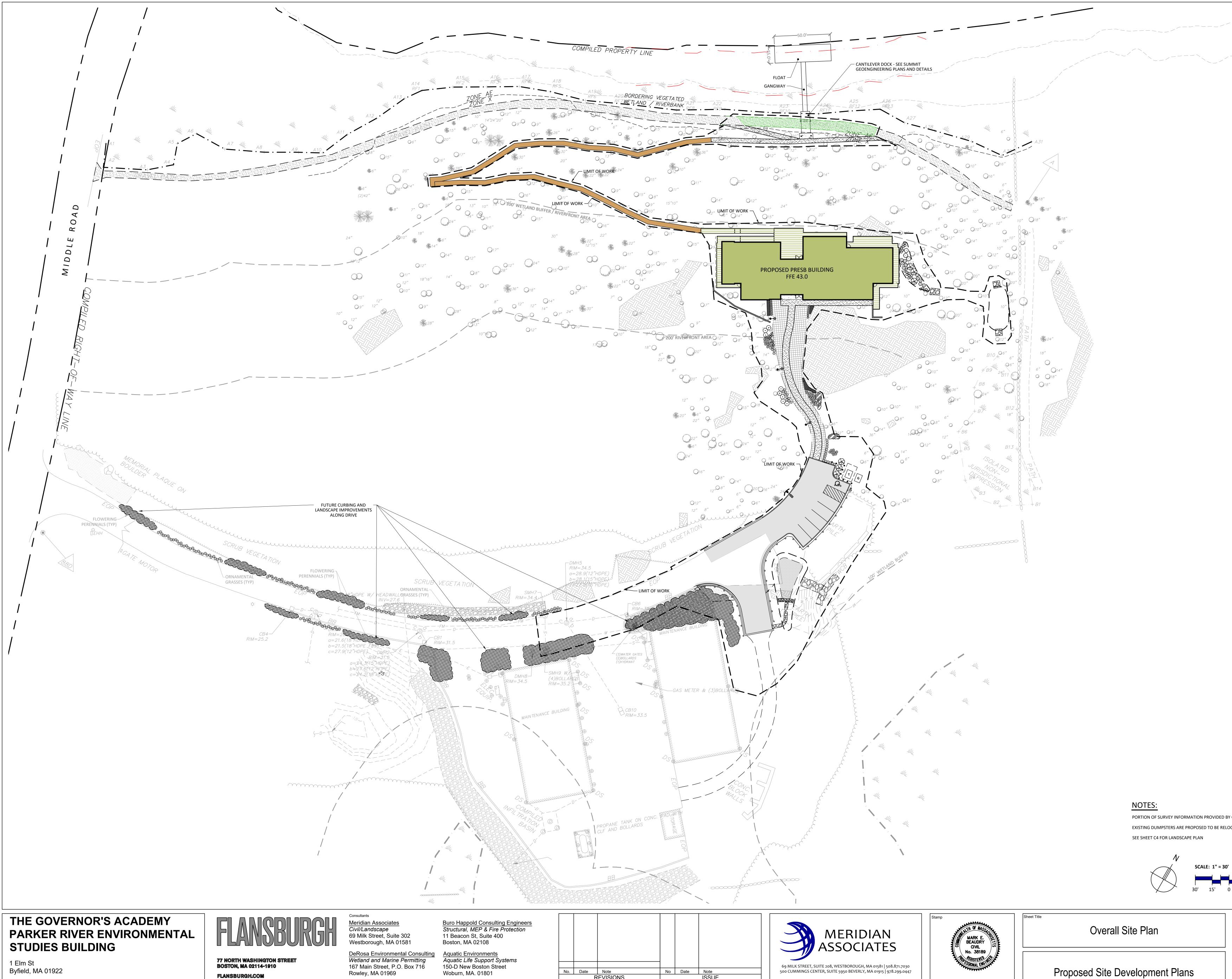


ISSUED FOR: LOCAL PERMITTING

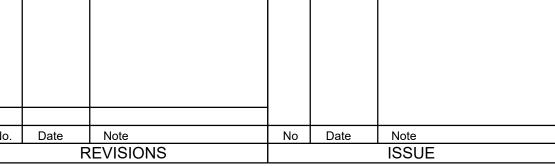
DRAWING INDEX

- COVER SHEET/LOCUS MAP C0
- OVERALL SITE PLAN C1
- LAYOUT & MATERIALS PLAN C2
- GRADING, DRAINAGE & UTILITIES PLAN C3
- LANDSCAPE & LIGHTING PLAN C4
- SITE PREPARATION PLAN C5
- CONSTRUCTION DETAILS C6
- CONSTRUCTION DETAILS C7
- CONSTRUCTION DETAILS **C8**





	Boston, MA 02108	
onsulting	Aquatic Environments	
itting	Aquatic Life Support Systems	
716	150-D New Boston Street Woburn, MA. 01801	No





LAYOUT & MATERIALS LEGEND		
PROPERTY LINE		
BUILDING		
VERTICAL CURB	VC	
CAPE COD BERM	ССВ	
TIMBER RETAINING WALL		
REINFORCED GRASS BLOCK		
BITUMINOUS CONCRETE		
STONEDUST PATH		
GRAVEL DRIVE & GRAVEL DRAINAGE		
RAISED BOARDWALK		
LANDSCAPE AREA	LA	_
ACCESSIBLE PARKING SPACE		E

LAYOUT AND MATERIALS NOTES:

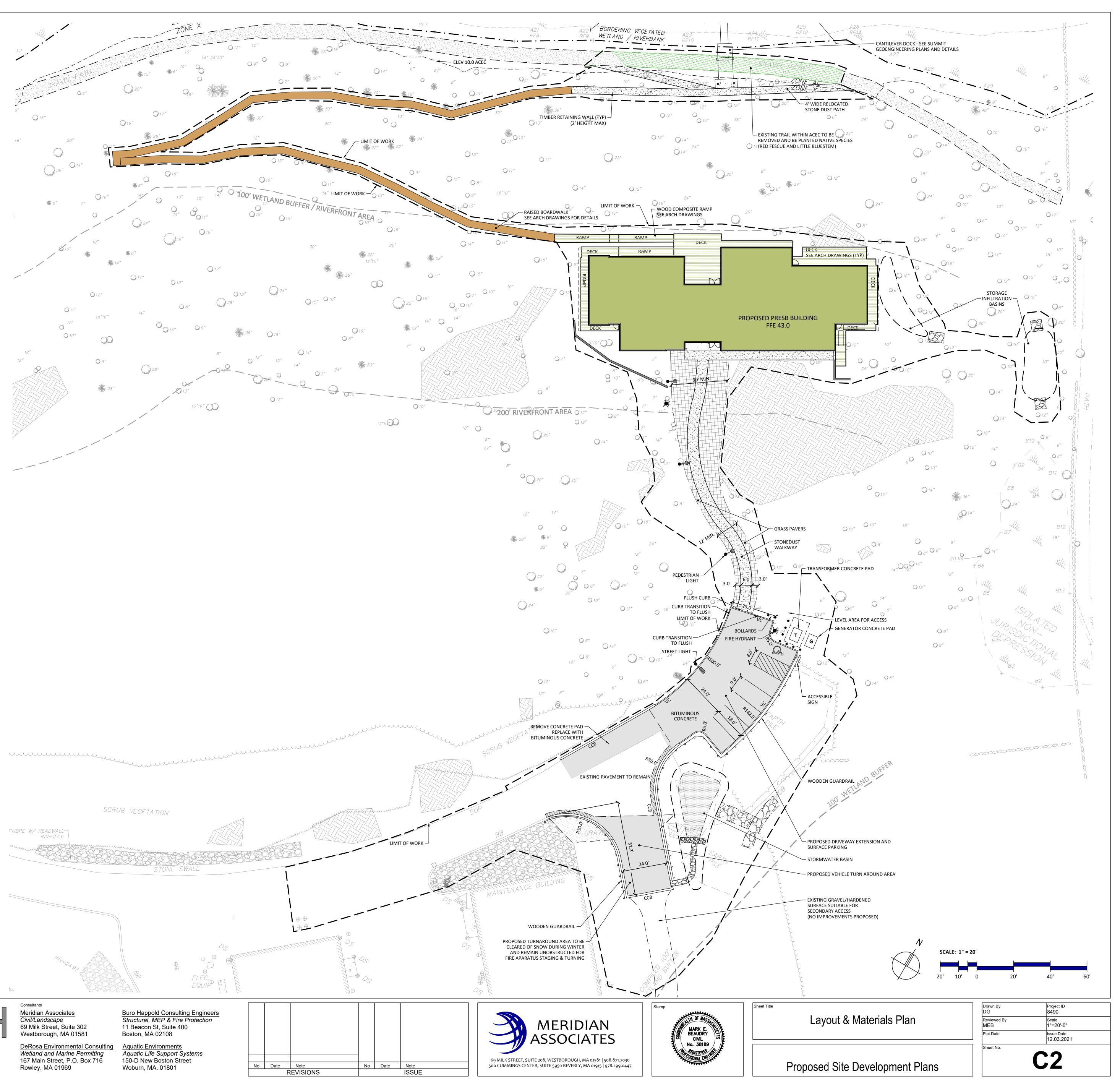
- 1. ALL WORK SHALL CONFORM TO THE SPECIFICATION REQUIREMENTS OF THE TOWN OF NEWBURY. 2. ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT
- (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB). 3. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN: DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.
- DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE. • DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS. • ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE
- BUILDING INCLUDING ENTRANCES, DOORWAY PADS, ETC. 5. ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.
- 6. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- 7. COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.
- 8. CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE FOR RESOLUTION.
- 9. THE CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.
- 10. PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES".
- 11. ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.
- 12. BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS. 13. ALL CONCRETE WORK SHALL COMPLY WITH ACI301, "SPECIFICATION FOR STRUCTURAL CONCRETE," AND ACI 316R,
- UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRSI'S "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 306.1 FOR COLD WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 350R FOR HOT WEATHER PROTECTION DURING CURING. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."
- 14. SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.
- 15. FACE OF GUARDRAILS TO BE LOCATED TWO FEET SIX INCHES (2.5') FROM FACE OF CURB OR BACK OF WALK UNLESS OTHERWISE NOTED.
- 16. CONTRACTOR(s) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND ALL SITE CONDITIONS PRIOR TO TO CONSTRUCTION.
- 17. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- 18. REFER TO MEP DRAWINGS FOR SITE ELECTRIC INFORMATION INCLUDING SITE LIGHTING AND ELECTRICAL EQUIPMENT, CONDUIT, AND DETAILS

THE GOVERNOR'S ACADEMY PARKER RIVER ENVIRONMENTAL **STUDIES BUILDING**

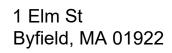
INV=27.6

Rowley, MA 01969

1 Elm St Byfield, MA 01922



DRAINAGE & UTILITIES LEGEND:	
PROPERTY LINE	ZONE A
DRAIN LINE D	
ROOF DRAIN RD RD	A12 ++
DOMESTIC WATER w SEWER LINE s	
	A11 * 15" * 6
DATA LINE CTV	
STORMWATER TREATMENT UNIT CDS 🖸	
OUTLET CONTROL STRUCTURE OCS	
DRAIN MANHOLE DMH	915" 916"
DOWNSPOUT DS • STREET LIGHTING FIXTURE •=	23.0 -22.0
EXISTING GRADE AT LEDGE ROCK	
INVERT ELEVATION INV	
TYPICAL TYP.	
VERIFY IN FIELD VIF	
SEWER MANHOLE SMH	
FINISHED FLOOR ELEVATION FFE	0" 15" 15" 13" 10" 14" 17 100' M
UTILITY NOTES:	
1. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATIONS, LOCATION, ETC., PRIOR TO NEW CONNECTIONS	GRADING NOTES:
TO OR RELOCATION OF SAME. NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. ALL EXISTING UTILITIES UNCOVERED OR DAMAGED DURING EXCAVATIONS AND CONSTRUCTION SHALL	1. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER OR
BE PLUGGED, CAPPED, RE-ROUTED OR RELOCATED AS DIRECTED BY THE OWNER SO AS NOT TO INTERRUPT THE OPERATION OF ANY OF THE EXISTING SYSTEMS.	HIS REPRESENTATIVE.
2. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH	 EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE
THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY	OWNER.
BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ARCHITECT FOR RESOLUTION. 3. TRENCH FOR PIPE SHALL BE EXCAVATED TO THE REQUIRED LINE AND GRADE AND OF SUFFICIENT WIDTH TO PERMIT THOROUGH	 AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES. CRADES AND JOINTS.
TAMPING OF THE FILL MATERIAL UNDER THE HAUNCHES AND AROUND THE PIPE. SOFT OR UNSUITABLE MATERIAL ENCOUNTERED BELOW THE NORMAL BEDDING LINE OF THE PIPE SHALL BE REMOVED AS DIRECTED. REPLACED WITH CRUSHED STONE AND	EXISTING BY MATCHING LINES, GRADES AND JOINTS. 4. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
THOROUGHLY COMPACTED. THE BOTTOM OF THE TRENCH SHALL BE SHAPED TO CONFORM TO THE CURVATURE OF THE PIPE AND EXCAVATED FOR THE BELLS OF PIPES. THE TRENCH MAY BE RAISED OR LOWERED ONLY AS APPROVED BY THE ENGINEER. USE	5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
CONCRETE OR OTHER APPROVED SUPPORT UNDER EXISTING PIPES PASSING THROUGH THE TRENCH.	6. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT
4. PIPE SHALL BE LAID TRUE TO THE SPECIFIED LINES AND GRADES.	PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
 ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES ARE APPROXIMATE. 	7. ALL SLOPES WITH SURFACE GRADES STEEPER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.
6. INSTALL ALL UTILITIES (INCLUDING CONCRETE MECHANICAL PADS) PER UTILITY COMPANY AND LOCAL DPW STANDARDS.	8. ALL SITE WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS, AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT. THE CONTRACTOR SHALL MAKE ALL
 CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO 	NOTIFICATIONS REQUIRED FOR INSPECTIONS AND TESTING ASSOCIATED WITH SUCH.
ORIGINAL CONDITION AT NO COST TO OWNER.	 PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE OWNER OF THE REPORT OF THE REPORT OF THE REPORT OF THE OWNER OF THE OWNER OF THE REPORT OF THE OWNER OWNER OF THE OWNER OWNE
 EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER 	THE OWNER OR HIS REPRESENTATIVE PRIOR TO CONTINUING WORK.
OWNER. 9. THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR	10. ACCESSIBLE CURB RAMPS, RAMP, LANDINGS, WALKWAYS, CROSSWALKS, PATIOS/PLAZAS AND PARKING AREAS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY
CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.	REQUIREMENTS. WALKWAY AND CROSSWALK ALONG ACCESSIBLE ROUTE(S) SHALL HAVE 5% MAX. LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. LANDINGS, PATIOS/PLAZAS, AND ACCESSIBLE PARKING SPACES SHALL BE 2% MAX IN ALL DIRECTIONS. RAMPS
10. TESTING OF SANITARY SEWERS AND SEWER MANHOLES SHALL BE IN CONFORMANCE WITH ALL TOWN OF NEWBURY DEPARTMENT	SHALL BE 8.3% MAXIMUM. 11. A GEOTECHNICAL ENGINEER OR OTHER REPRESENTATIVE MAY BE RETAINED BY THE OWNER TO OBSERVE PERFORMANCE OF WORK,
OF PUBLIC WORKS REQUIREMENTS.	FOR CONFORMANCE WITH THESE CONTRACT DOCUMENTS, IN CONNECTION WITH EXCAVATING, TRENCHING, FILLING, BACKFILLING AND GRADING, AND TO PERFORM ASSOCIATED FIELD TESTS.
 INSTALLATION AND MATERIALS OF DATA/COMMUNICATION AND ELECTRICAL SUPPLY DUCT BANKS AND MANHOLES SHALL CONFORM TO MEP AND UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS. 	12. DURING THE PROGRESS OF THE WORK, THE CONTRACTOR MAY BE REQUIRED TO EXCAVATE ADDITIONAL TEST PITS FOR THE PURPOSE
12. PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTS AS APPROPRIATE.	OF LOCATING UNDERGROUND UTILITIES OR STRUCTURES AS AN AID IN ESTABLISHING THE PRECISE LOCATION OF NEW WORK. THIS WORK IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. TEST PITS SHALL BE BACKFILLED, AS SOON AS THE DESIRED
13. REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.	INFORMATION HAS BEEN OBTAINED.
 CONTRACTOR TO VERIFY UTILITY STUB LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK. ENSURE ALL EXISTING (TO REMAIN) AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVED. 	13. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY CONTRACTOR OPERATIONS.
16. SEWER PIPE MATERIAL TO BE 6" PVC OR AS OTHERWISE REQUIRED BY THE NEWBURY DPW.	14. STOCKPILED TOPSOIL SHALL BE PLACED NEATLY IN AN AREA INDICATED BY THE OWNER.
17. WATER MAIN LINE AND FIRE SERVICE SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON OR AS OTHERWISE REQUIRED BY NEWBURY	15. AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS SHOWN ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.
DPW. 18. DOMESTIC WATER PIPE SHALL BE TYPE K COPPER TUBING OR AS OTHERWISE REQUIRED BY THE NEWBURY DPW.	16. EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.
19. INSULATE SANITARY PIPES WHERE INVERT DEPTH IS LESS THAN FOUR (4) FEET BELOW FINISHED GRADE.	17. UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA,
20. THE CONTRACTOR SHALL COORDINATE ALL WORK ON UTILITY DUCTS WITH THE APPROPRIATE UTILITY COMPANY INCLUDING WORK	REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FELLING, CUTTING AND OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.
BY UTILITY COMPANY FORCES, SERVICE CONNECTIONS AND INSPECTIONS. 21. WATER LINES AND SEWER LINES SHALL BE SEPARATED BY 10' HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, AN 18" SEPARATION	18. FILL DEPRESSIONS CAUSED BY TEST PITS AND CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS
BETWEEN THE BOTTOM OF THE WATER LINE AND THE TOP OF THE SEWER LINE IS ALSO ACCEPTABLE BUT ONLY WHERE THE WATER LINE IS ABOVE THE SEWER LINE. BOTH PIPES SHALL BE ENCASED IN CONCRETE IN ANY AREA WHERE NEITHER OF THE TWO	FURTHER EXCAVATION OR EARTHWORK IS INDICATED.
SEPARATIONS NOTED ABOVE CAN BE MAINTAINED. IN SUCH AN INSTANCE, BOTH THE WATER LINE AND SEWER LINE (IN THE AREA OF ENCASEMENT) MUST BE PRESSURE TESTED TO 150 PSI TO ENSURE BOTH ARE WATERTIGHT.	19. THE CONTRACTOR SHALL PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS OR EARTHWORK AREAS WHICH WOULD CAUSE FLOODING OF THE PROJECT SITE AND SURROUNDING AREA, OR SOFTENING OR
22. GAS, ELECTRIC, TELEPHONE AND FIRE ALARM CONNECTION LOCATIONS AND ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY	LOOSENING OF THE SOIL AT EXCAVATION OR EARTHWORK SUB-GRADES. 20. THE CONTRACTOR SHALL PROVIDE, INSTALL, OPERATE, MAINTAIN AND REMOVE ADEQUATE AND SATISFACTORY DEWATERING
APPROPRIATE UTILITY COMPANIES AND FIRE DEPARTMENT.	SYSTEMS AND DRAINAGE OF EXCAVATIONS TO PERMIT CONSTRUCTION TO PROCEED "IN THE DRY". THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ADEQUACY OF THE METHODS, MATERIALS AND EQUIPMENT EMPLOYED. THE CONTRACTOR
23. ALL WATER UTILITY IMPROVEMENTS SHALL COMPLY WITH THE AMERICAN WATERWORKS ASSOCIATION STANDARDS AND THE TOWN OF NEWBURY WATER DEPARTMENT SPECIFICATIONS AND HAVE FIVE (5) FEET OF MINIMUM COVER.	SHALL BEAR THE FULL COST OF PROVIDING ALL NECESSARY DEWATERING.
24. UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.	21. THE CONTRACTOR SHALL PROHIBIT SEEPAGE, GROUNDWATER FLOW OR SURFACE INFILTRATION AND RUNOFF FROM UNDERMINING OR OTHERWISE DAMAGING ADJACENT STRUCTURES AND UTILITIES.
25. REFER TO ELECTRICAL DRAWINGS FOR ALL SITE ELECTRICAL WORK, AND TO PLUMBING AND MECHANICAL DRAWINGS, FOR OIL TANK	22. THE CONTRACTOR SHALL COLLECT AND DISPOSE OF WATER FROM ALL SYSTEMS IN ACCORDANCE WITH THE SWPPP AND WITH
PLANS AND DETAILS.	FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS AND OBTAIN ALL NECESSARY PERMITS. ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO HAYBALE CORRALS OR SEDIMENTATION BAGS.
26. WATER PIPES WITH JOINTS OR FITTINGS AS REQUIRED TO PROVIDE A MINIMUM OF 6" CLEARANCE FOR UTILITY CROSSINGS OR AS NOTED IN THE SPECIFICATIONS.	23. PAVING, CONCRETE WORK AND BASE COURSE PREPARATION SHALL BE DONE ONLY AFTER EXCAVATION AND CONSTRUCTION WORK
27. UTILITY / MANHOLE INSTALLATIONS SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS.	WHICH MIGHT INJURE THEM HAS BEEN COMPLETED. DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPAIRED BEFORE ACCEPTANCE.
28. ALL VALVES AND HYDRANTS SHALL CONFORM TO THE TOWN STANDARDS AND SHALL OPEN (LEFT/RIGHT).	24. PAVEMENT OR BASE MATERIALS SHALL NOT BE PLACED ON A MUDDY OR FROZEN SUBGRADE.
 COORDINATE ALL UTILITY INSTALLATIONS WITH THE TOWN OF NEWBURY PUBLIC UTILITY DEPARTMENTS PRE-CAST CONCRETE STRUCTURES INCLUDING TANKS, BARREL SECTIONS, CATCHBASINS AND BASES SHALL CONFORM TO ASTM C478 	25. ESTABLISHMENT OF GRADES, GRADE CONTROL, AND CONFORMANCE TO REQUIRED GRADE TOLERANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
AND AASHTO HS20-44. PLACEMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. ALL PRE-CAST STRUCTURES INCLUDING JOINTS, SEALS, OPENINGS, ETC. MUST BE WATERTIGHT. BITUMINOUS DAMP-PROOFING SHALL BE PROVIDED ON THE	26. PROTECT GRADED, FINISHED OR PAVED AREAS FROM DAMAGE AND KEEP THEM FREE OF TRASH AND DEBRIS RESULTING FROM
EXTERIOR WALLS OF ALL SANITARY SEWER AND WATER QUALITY STRUCTURES.	CONSTRUCTION OPERATIONS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS.
 REFER TO ARCHITECTURAL PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STUBS AT BUILDING. THE CONTRACTOR SHALL COLLECT AND DISPOSE OF WATER FROM ALL SYSTEMS IN ACCORDANCE WITH THE STORMWATER 	27. PAVEMENT, LAWN OR PLANTING AREAS EXCAVATED DURING UTILITY CONSTRUCTION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RESTORED AND MATCHED WITH EXACTLY THE SAME MATERIALS AND TOLERANCES AS PRIOR TO DISRUPTION, AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.
32. THE CONTRACTOR SHALL COLLECT AND DISPOSE OF WATER FROM ALL SYSTEMS IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND WITH FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS AND OBTAIN ALL NECESSARY PERMITS.	AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS. 28. THE CONTRACTOR SHALL REMOVE, AND LEGALLY DISPOSE OF, ALL EXCAVATED MATERIAL CLASSIFIED AS SURPLUS OR
33. THE CONTRACTOR SHALL FURNISH AND INSTALL COMPLETE THE WATER MAINS INCLUDING ALL PIPING, FITTINGS VALVES FIRE	UNSATISFACTORY FROM THE SITE.
HYDRANTS, AND ALL RELATED APPURTENANCES IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE WATER DEPARTMENT, THE FIRE DEPARTMENT AND MANUFACTURERS.	29. STONE USED FOR MACHINE PLACED RIP-RAP SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR BOULDERS ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT
34. DUCTILE IRON PIPE: CLASS 52, CONFORM TO ANSI A21.51 AND AWWA C-150 AND C-151, CEMENT LINED WITH A BITUMEN COATING	MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. 30. ALL RIP RAP STONE SHALL BE HAND CHINKED AND SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.
(INSIDE AND OUT) IN ACCORDANCE WITH ANSI A21.4. 35. JOINT RESTRAINTS SHALL BE ACCOMPLISHED WITH CAST IRON RETAINER GLANDS, TIE RODS, OR CONCRETE THRUST BLOCKS.	31. RIP RAP APRONS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS.
RESTRAINED JOINT ASSEMBLIES SHALL BE MADE IN STRICT ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS.	32. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESS SHOWN ON THE DRAWINGS.
36. NO BACKFILLING OF ANY UTILITY SHALL TAKE PLACE UNTIL ALL NECESSARY INSPECTIONS AND TESTING HAS OCCURRED AND HAS BEEN APPROVED. A COPY OF ALL TEST RESULTS ARE TO BE SUPPLIED TO THE ENGINEER UPON RECEIPT.	33. BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.
37. ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE FULL	34. THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS AFTER REVEGETATION OF DISTURBED AREAS AND AFTER APPROVAL OF THE CONSERVATION COMMISSION AND WETLAND SPECIALIST.
RESPONSIBILITY AND COST/EXPENSE OF THE CONTRACTOR. 38. THE CONTRACTOR SHALL MAKE APPLICATION FOR AND PAY ALL FEES FOR PERMITS REQUIRED TO CONSTRUCT THE PROJECT	35. WETLANDS ARE TO REMAIN UNDISTURBED. NO ENCROACHMENT PERMITTED.
UTILITIES.	SCRUB VEGETATION
39. PROPOSED BUILDING MAY BE SERVICED BY A NATURAL GAS LINE EXTENDING FROM THE MAINTENANCE BUILDING AREA, BUT GAS SERVICE LINE NOT SHOWN. THIS SERVICE COULD BE LOCATED NEAR (OR IN PARALLEL WITH) THE OTHER PROPOSED UTILITY LINES TO	
SERVICE THE BUILDING.	18"HDPE-W/HEADWALL
40. CAP ALL PROPOSED UTILITY STUBS AS APPROPRIATE.	
DRAINAGE NOTES	
 MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES. 	STONE SWAKE
2. FRAMES AND COVERS FOR DRAINAGE STRUCTURES AND SANITARY SEWER STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM CLEAR	
OPENING AND SHALL BE LEBARON TYPE LK110 OR APPROVED EQUAL. 3. DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS. SANITARY	
3. DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS. SANITARY SEWER STRUCTURE COVERS SHALL HAVE THE WORD "SEWER" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.	18"HDPE) 18"HDPE FES)
4. SINGLE CATCHBASIN FRAMES AND GRATES SHALL BE LEBARON TYPE LF 248-2 OR AS REQUIRED BY TOWN OF NEWBURY DPW.	18"HDPE FES) 12"HDPE)
 DOUBLE CATCH BASIN FRAMES SHALL BE LABARON ONE-PIECE LV2448-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LEBARON TYPE LF 248-2 OR APPROVED EQUAL. 	DMH2-E
6. FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.	Q=24.3(15"HDPE)
7. ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED.	b=22.6(12"HDRE) c=24.2(18"HDPE)
 FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE. INSTALL PIPE AND FLARED ENDS IN STRICT ACCORDANCE WITH PIPE MANUFACTURER INSTRUCTIONS. 	
10. REFER TO DRAINAGE CALCULATIONS FOR PIPE SLOPES.	
11. ALL DRAIN LINES SHOWN SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED.	
12. CATCH BASINS AND STORM DRAINS SHALL BE PROVIDED WITH CONTROL DEVICES.	EQUIP EQUIP

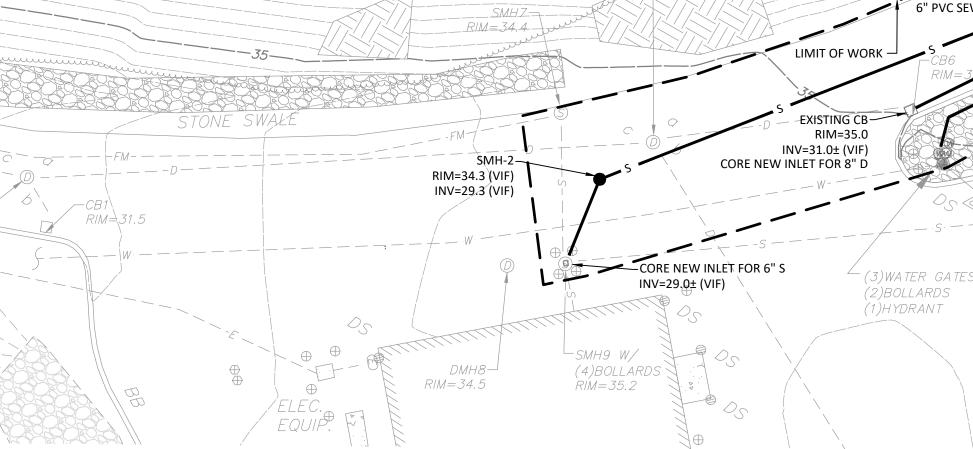




IG OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO

SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, 1 ORGANIC MATERIAL. ROUNDED STONES OR BOULDERS ARE NOT ACCEPTABLE. THE

ION CONTROL BARRIERS AFTER REVEGETATION OF DISTURBED AREAS AND AFTER SION AND WETLAND SPECIALIST.



11 the

-40-

Consultants <u>Meridian Associates</u> <i>Civil/Landscape</i> 69 Milk Street, Suite 302 Westborough, MA 01581	Buro Happold Consulting Engineers Structural, MEP & Fire Protection 11 Beacon St, Suite 400 Boston, MA 02108					Z
DeRosa Environmental Consulting Wetland and Marine Permitting 167 Main Street, P.O. Box 716 Rowley, MA 01969	<u>Aquatic Environments</u> Aquatic Life Support Systems 150-D New Boston Street	 Date	Note	 Date	Note	69 MILK STR 500 CUMMING
	Woburn, MA. 01801		REVISIONS	Duic	ISSUE	

NOTE: TEST PIT(S) SHALL BE

PERFORMED IN BASIN IB-3 AT

TIME OF CONSTRUCTION TO

VERIFY SOIL CONDITIONS

--e=27.9(15"HF.

-a=28.911

- LIMIT OF WORK

LIMIT OF WORK

VIVERFRONT AREA

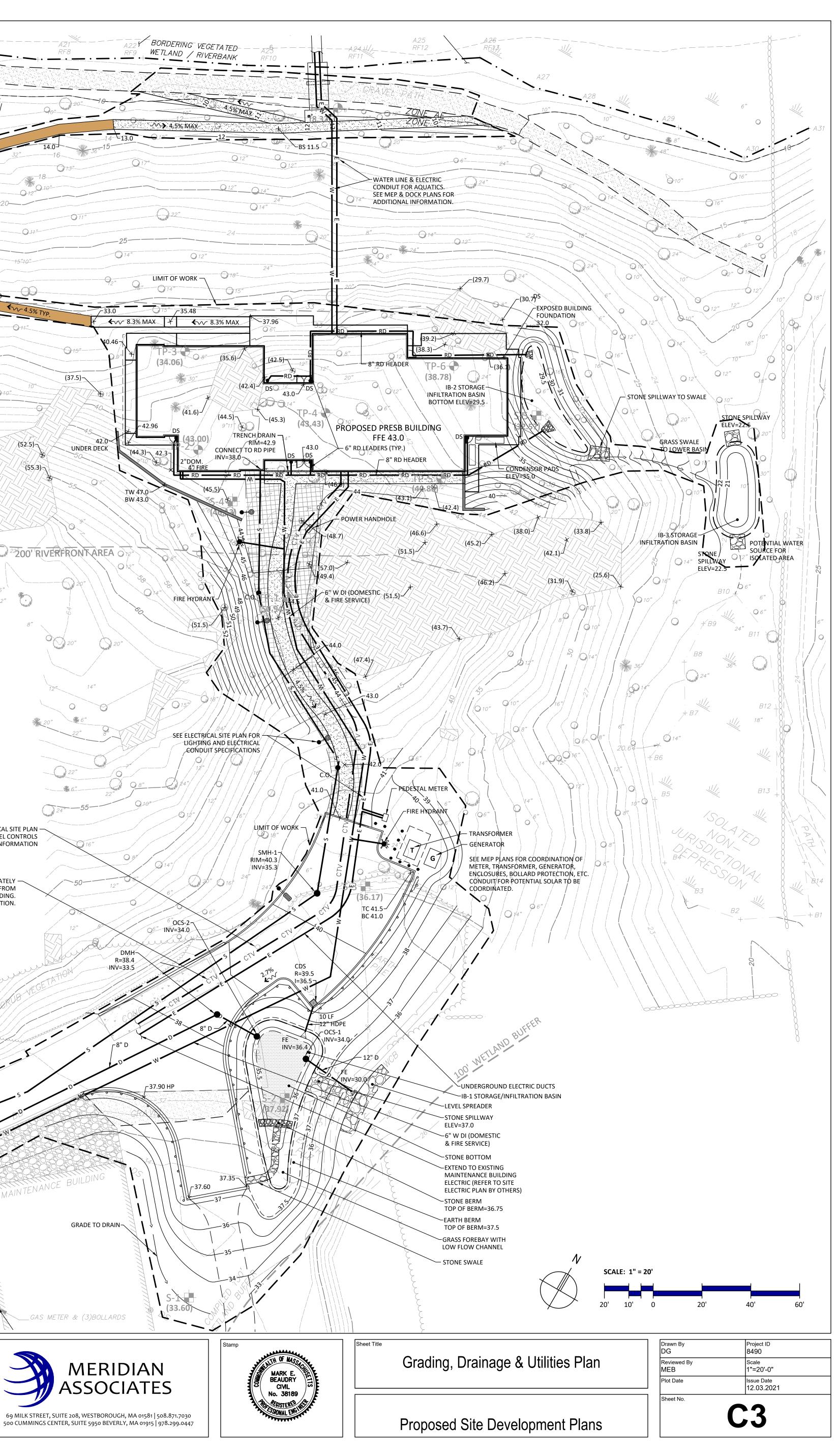
SEE ELECTRICAL SITE PLAN -FOR PHOTOCEL CONTROLS INFORMATION

DATA LINE TO RUN APPROXIMATELY -

SEE MEP PLANS FOR MORE INFORMATION.

PARALLEL TO ELECTRIC LINE FROM

MAINTENANCE BUILDING.



LANDSCAPE NOTES:

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AmericanHort 2014 AND AS AMENDED.
- 2. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- 3. ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT FLOWER, LEAF, COLOR, FRUIT AND CULTURE. PROPOSED SUBSTITUTIONS WILL ONLY BE CONSIDERED IF SUBMITTED WITH ENUMERATED REASONS WHY SUBSTITUTIONS ARE PROPOSED. 4. TOPSOIL STRIPPED FROM THE SITE AND PROPERLY STOCKPILED PRIOR TO APPLICATION MAY, UPON APPROVAL OF THE LANDSCAPE ARCHITECT, BE USED FOR PREPARATION OF LAWNS AND PLANTING BEDS. IT SHOULD BE FREE OF LARGE (ONE (1) INCH OR GREATER) COBBLES, ROOTS, OLD SOD, TRASH, WOOD OR OTHER CONTAMINANTS AND BE OF A FRIABLE
- CONSISTENCY AND SUITABLE FOR PLANT GROWTH. 5. VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR OWNER'S REPRESENTATIVE.
- PROVIDE TREES, SHRUBS, AND GROUNDCOVERS AS SHOWN AND SPECIFIED. THE WORK INCLUDES: SOIL PREPARATION, INSTALLATION OF TREES, SHRUBS AND GROUNDCOVERS,
- PLANTING MIXES, MULCH AND PLANTING ACCESSORIES, WARRANTY, WATERING AND MAINTENANCE DURING CONSTRUCTION AND WARRANTY PERIODS.
- PRIOR TO PLANTING, PLANTS MAY BE INSPECTED BY OWNER OR OWNER'S REPRESENTATIVE. THEY SHALL RESERVE THE RIGHT TO REFUSE ACCEPTANCE OF PLANTS UPON DELIVERY BASED ON PLANT VIGOR/CONDITION, UNAUTHORIZED SUBSTITUTIONS, AND/OR NONCONFORMANCE WITH THE PLANTING PLANS AND SPECIFICATIONS. SUCH APPROVAL SHALL NOT AFFECT THE RIGHT OF INSPECTION AND REJECTION DURING THE PROGRESS OF THE PROJECT.
- 8. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST FINAL GRADES IN THE FIELD TO SAVE EXISTING VEGETATION.
- 9. PLANT QUANTITIES NOTED IN THE PLANT SCHEDULE ARE APPROXIMATE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FURNISHING AND INSTALLATION OF ALL PLANT MATERIALS NOTED ON THE PLANTING PLAN.
- 10. NO PLANT SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- 11. REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES PRIOR TO PLANTING OR LOAM AND SEEDING OPERATIONS. 12. BALLED AND BURLAPPED PLANTS MAY BE PLANTED IN THE SPRING FROM APRIL 1ST UNTIL JUNE 15TH AND IN THE FALL FROM AUGUST 15TH TO NOVEMBER 1ST.
- 13. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- 14. ALL PLANTING BEDS TO BE FILLED WITH AT LEAST 24" DEEP PLANTING SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES. 15. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS. DO NOT EXTEND MULCH
- LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.
- 16. ALL SHADE TREES ALONG SIDEWALKS SHALL HAVE A MINIMUM SIX (6) FOOT BRANCHING HEIGHT. 17. PLANT MATERIALS DEPICTED IN ROWS SHALL CONTAIN MATCHING PLANT SPECIMENS SPACED EQUALLY ALONG INDICATED AREA.
- 18. PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.
- 19. CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.
- 20. ALL PLANT MATERIALS AND LAWN AREAS TO BE MAINTAINED BY LANDSCAPE CONTRACTOR UNTIL FINAL WRITTEN ACCEPTANCE PROVIDED TO CONTRACTOR BY OWNER OR OWNER'S REPRESENTATIVE.
- 21. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES OR OTHER CAUSES DUE TO THE CONTRACTOR'S NEGLIGENCE. THE COST OF
- SUCH REPLACEMENT(S) IS AT THE CONTRACTOR'S EXPENSE. 22. ALL PLANT MATERIALS TO REMAIN ALIVE AND BE IN HEALTHY, VIGOROUS CONDITION AND SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- 23. ALL PLANT MATERIALS ARE INTENDED TO BE DROUGHT TOLERANT ONCE ESTABLISHED. NO IRRIGATION SYSTEM IS PROPOSED.
- 24. THE LANDSCAPE CONTRACTOR SHALL FURNISH TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOPSOIL OF GOOD CLAY-LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS, STICKS AND OTHER FOREIGN MATTER. TOPSOIL SHALL NOT BE WORKED OR APPLIED IN A MUDDY OR WET CONDITION.
- 25. REUSE EXISTING TOPSOIL ENCOUNTERED ON-SITE AND AMEND TO PARAMETERS LISTED BELOW. IF ADDITIONAL TOPSOIL IS NEEDED PROVIDE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER (FOR PLANTING MIX), WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED SITE, REASONABLY FREE OF CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.8. TOPSOIL SHALL NOT BE DELIVERED OR WORKED IN A MUDDY OR FROZEN CONDITION.
- 26. PLANTING MIX SHALL BE THE SPECIFIED MATERIALS IN THE FOLLOWING PROPORTIONS: 3 PARTS TOPSOIL, 1 PART PEAT MOSS, 1 PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/ CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). AMEND AS NECESSARY. ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ENSURE UNIFORM DISTRIBUTION.
- 27. PLANTING MIX SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL DISTURBED AREAS, TURFGRASS LAWN AREAS AND PLANTING BED SUBGRADE AREAS UPON COMPLETION OF FINAL GRADING. SEEDING OPERATION OR SPREADING OF TURFGRASS SOD TO BE COMPLETED IMMEDIATELY FOLLOWING THE APPLICATION OF THE PLANTING MIX OVER THE SUBGRADE. SCARIFY SUBGRADE TO A DEPTH OF 2" BEFORE PLACING TOPSOIL.
- 28. LOAM AND SEED ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED ON PLAN. LOAM WITH TOPSOIL SPREAD TO A MINIMUM DEPTH OF (6) SIX INCHES.
- 29. SEED OR PROVIDE SOD FOR ALL TURFGRASS LAWN AREAS WITH A DROUGHT TOLERANT TURFGRASS SEED MIX (80% TALL FESCUE, 10% PERENNIAL RYEGRASS, 10% KENTUCKY BLUEGRASS).
- 30. PERENNIALS, BULBS AND ANNUALS ARE TO BE PLANTED IN A WELL PREPARED BED WHICH SHALL INCLUDE PEAT AND SLOW RELEASE FERTILIZER. BEDS SHALL BE SKIMMED WITH ONE AND ONE-HALF (1-1/2) INCH TO TWO (2) INCH MULCH (INCLUDING GROUNDCOVERS).
- 31. SPREAD 10-10-10 FERTILIZER AT A RATE OF TWENTY-TWO (22) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET AND INCORPORATE INTO THE SOIL UNIFORMLY. 32. APPLY DOLOMITIC LIME AT THE RATE OF ONE HUNDRED (100) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET THE AREAS BEING PREPARED FOR PLANTING.
- 33. THE LANDSCAPE CONTRACTOR IS TO CLEAN AND REMOVE ANY DEBRIS FROM THE SITE CAUSED BY THEIR WORK.
- 34. NATIVE SEED MIX SHALL BE "NEW ENGLAND NATIVE WARM SEASON GRASS MIX" AS SUPPLIED FROM NEW ENGLAND WETLAND PLANTS, WWW.NEWP.COM. SPECIES INCLUDED: LITTLE BLUESTEM, (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM, (ANDROPOGON GERARDII), VIRGINIA WILD RYE, (ELYMUS VIRGINICUS), INDIAN GRASS, (SORGHASTRUM NUTANS), CREEPING RED FESCUE, (FESTUCA RUBRA), SWITCH GRASS, (PANICUM VIRGATUM).

PLANT SCHEDULE

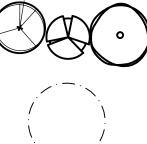
TREES	5				
QTY	SYM	LATIN NAME	COMMON NAME	SIZE	NOTES
3	AG	Amelanchier × grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	2" Cal. B&B	DT N ST White Birds Fall Color April
3	BN	Betula nigra 'Heritage'	Heritage River Birch	4" Cal. B&B	BR DR DT N Brown (M)/Green (F) Winter
SHRU	BS				
3	CSB	Cornus sericea 'Bud's Yellow'	Bud's Yellow Redosier Dogwood	24"-30" Ht. #3 Pot	BR DR N ST 48" OC Yellow/White Birds,
10	CSF	Cornus sericea 'Farrow' Artic Fire'	Artic Fire Redosier Dogwood	24"-30" Ht. #3 Pot	BR DR N ST 36" OC White Birds/Butterf
6	VD	Viburnum dentatum 'Ralph Senior'	Autumn Jazz Arrowwood Viburnum	36"-60" Ht. #7 Pot	BR N ST 6' OC White Birds/Butterflies N
GROL	INDCO	VER			
22	EP	Echinacea purpurea	Purple Coneflower	#1 Pot	DR DT N ST 18" OC Purple Birds/Butter
77	HR	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1 Pot	ST - 15" OC Yellow Butterflies Fragrant Jun
110	LA	Lavandula angustifolia 'Hidcote'	English Lavender	#1 Pot	DR DT 12" OC Purple Butterfliles Fragran
26	RH	Rudbeckia hirta	Black-eyed Susan	#1 Pot	DR DT N Yellow Butterflies June-Septeml
ORNA	MENT	AL GRASSES			
21	AV	Andropogon virginicus	Broom Sedge Bluestem	#2 Pot	BR DR DT N ST 24" OC Green/Tan Wa
10	MS	Miscanthus Sinensis 'Gracillimus'	Maiden Grass	#3 Pot	DR DT 48" OC Copper Winter Interest Au
15	PVH	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	#3 Pot	BR DT N ST 24" OC Pink-Tinged Winter
15	PVN	Panicum virgatum 'Northwind'	Northwind Switchgrass	#3 Pot	BR DT N ST 24" OC Yellow Winter Inter
16	SS	Schizachyrium scoparium	Little Bluestem	#2 Pot	BR DR DT N ST 18" OC Bronze Winter
B&B: B		<u>NS:</u> D BURLAP FION PLANT			

CAL: CALIPER DR: DEER RESISTANT

DT: DROUGHT TOLERANT N: NATIVE

OC: ON CENTER ST: SALT TOLERANT

18"HDPE W/ HEADWALL PROPOSED PLANTING LEGEND PROPOSED LIGHTING LEGEND SHRUBS, PERENNIALS, GROUNDCOVERS & VINES STREET LIGHT PEDESTRIAN LIGHT ●-0





EVERGREEN, SHADE & ORNAMENTAL TREES

THE GOVERNOR'S ACADEMY PARKER RIVER ENVIRONMENTAL **STUDIES BUILDING**

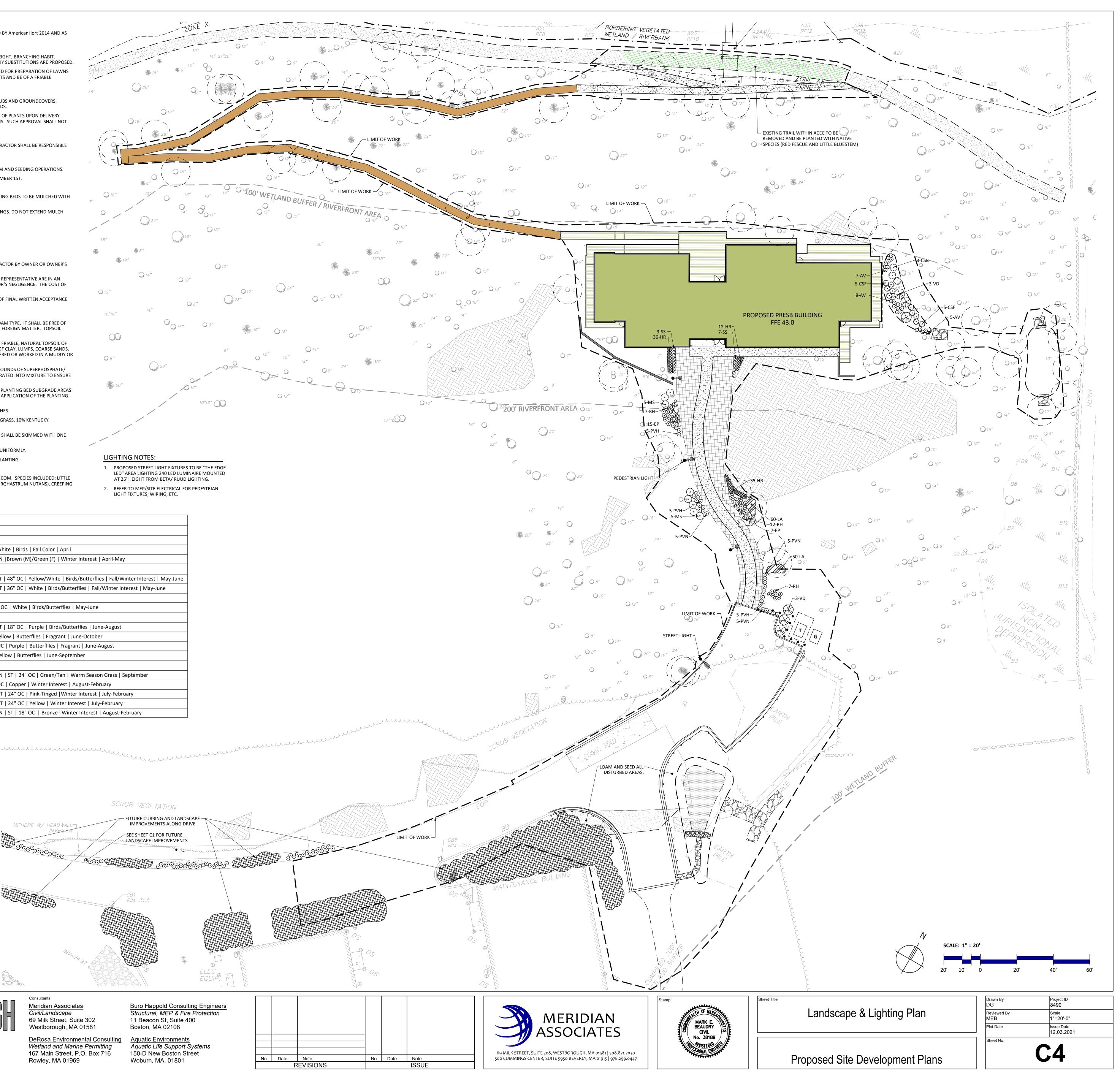
1 Elm St Byfield, MA 01922

GRASS PAVER BLOCKS

77 NORTH WASHINGTON STREET BOSTON, MA 02114-1910 Flansburgh.com

Consultants Meridian Associates Civil/Landscape

Wetland and Marine Permitting 167 Main Street, P.O. Box 716



SI	TE PREPARATION LEGEND
SIL	T SOCK
SIL	T SACK
SA۱	WCUT & MATCH 77/77/77/77/77/77/77/77/77/77/
EXI	STING TREE TO REMAIN AND BE PROTECTED
EXI	STING TREE TO BE REMOVED X
ER	OSION CONTROL AND STABLIZATION PROGRAM
1.	THE CONTRACTOR SHALL IMPLEMENT THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROJECT INCLUDING INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES OUTLINED IN THE SWPPP INCLUDING EROSION CONTROL BARRIERS, ANTI-TRACKING PADS AND OTHER EROSION AND SEDIMENTATION CONTROLS, STORMWATER MANAGEMENT CONTROLS, SOLID WASTE CONTROLS AND SPILL PREVENTION CONTROLS.
2.	THE LOCATION OF EROSION CONTROL BARRIERS AND SEDIMENTATION AND POLLUTION CONTROL SYSTEMS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE WARRANTED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY, WETLANDS OR BUFFER ZONES. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.
3.	PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ON THE SITE, THE OWNER SHALL DESIGNATE AN EROSION CONTROL INSPECTOR TO SERVE DURING THE CONSTRUCTION PROCESS WITH RESPONSIBILITIES IN ACCORDANCE WITH THE SWPPP.
4.	ALL SLOPES WITH SURFACE GRADES EQUAL TO OR STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MATTING.

- REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE CONSTRUCTED, CLEARLY VISIBLE, AND IN OPERATION PRIOR TO CONSTRUCTION. UNLESS OTHERWISE NOTED, SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME DURING THE CONSTRUCTION PERIOD.
- TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENUDED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF ONE MONTH OR MORE SHALL BE CONSIDERED CRITICAL STABILIZATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.
- SEDIMENT CONTROL MEASURES SHALL BE PROVIDED AROUND ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AS DETAILED ON THE DRAWINGS OR AS REQUIRED TO PREVENT SEDIMENTATION. 8. CHECK DAMS ARE TO BE PROVIDED ON TWO HUNDRED (200) FOOT SPACING WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES
- OF ALL DRAINAGE INLETS.
- 9. SILT SOCKS, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SILTATION CONTROLS. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION
- CONTROLS UNTIL AUTHORIZED (IN WRITING) BY THE OWNER OR HIS REPRESENTATIVE. 11. THE CONTRACTOR SHALL HAVE AT THE START OF SOIL DISTURBANCE AN ADEQUATE RESERVE OF SILT FENCE AND SILT SOCKS IN GOOD CONDITION
- AND SUFFICIENT STAKES FOR STAKING THESE BARRIERS. 12. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.
- 13. LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.
- 14. ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK AND STABILIZED TO PREVENT EROSION.
- 15. STABILIZED CONSTRUCTION ACCESS PADS SHALL BE INSTALLED AT ALL CONSTRUCTION DRIVEWAYS TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE. 16. ANY SEDIMENTATION OR EROSION DAMAGE CAUSED AS A RESULT OF THIS PROJECT TO ANY WETLAND RESOURCE AREAS OR IDENTIFIED WETLAND BUFFER ZONES BEYOND THE LIMIT OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND RESTORE AT NO COST TO THE
- OWNER. IF SEDIMENT REACHES THESE AREAS, THE OWNER SHALL BE CONTACTED IMMEDIATELY BY THE CONTRACTOR, A PLAN FOR ABATEMENT OF THE PROBLEM AND RESTORATION SHALL BE PREPARED BY THE CONTRACTOR AS SOON AS POSSIBLE. 17. EROSION CONTROL BARRIER SHALL BE INSTALLED AS INDICATED ON THE PLANS AND AS REQUESTED BY THE OWNER OR HIS REPRESENTATIVE TO
- ADDRESS FIELD CONDITIONS. 18. DEWATERING ACTIVITIES SHALL BE CONDUCTED SUCH THAT ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND
- AREA (MINIMUM 125 FEET FROM ANY WETLAND RESOURCE AREA) AND DISCHARGED INTO SILT SOCK CORRALS OR SEDIMENTATION BAGS. THE CONTRACTOR SHALL TEST THE DEWATERING WASTEWATER FOR CONTAMINANTS PRIOR TO DISCHARGING. THE CONTRACTOR IS RESPONSIBLE FOR ALL ENGINEERING, EQUIPMENT, MATERIAL, AND LABOR REQUIRED FOR THIS PROJECT PROPOSED SITE WATER REMOVAL DURING CONSTRUCTION. 19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ORDER OF CONDITIONS (AND ASSOCIATED DEP FILE NUMBER) ISSUED FOR THE PROJECT.
- 20. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS OR AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER AND AT LEAST ONCE EVERY 14 DAYS DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION BARRIERS ARE INTACT.
- 21. SANITARY WASTES GENERATED DURING CONSTRUCTION WILL BE DISPOSED OFFSITE BY AN APPROVED LICENSED WASTE HAULER.
- 22. CONSTRUCTION SITE WASTE MATERIALS WILL BE PROPERLY STORED ON SITE AND DISPOSED OFFSITE AT A LOCATION IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. 23. THE CONTRACTOR SHALL PERFORM EFFECTIVE SEQUENCING OF CONSTRUCTION ACTIVITIES TO MINIMIZE DISTURBED AREAS ON THE SITE. THE
- SEQUENCE SHALL BE GENERALLY AS FOLLOWS:
- 23.1. INSTALL ALL EROSION AND SEDIMENT CONTROLS. 23.2. REMOVE AND DISPOSE OF ALL PAVEMENT TO BE REMOVED. LOAM & SEED DISTURBED AREAS.
- 23.3. PERFORM CLEARING AND GRUBBING.
- 23.4. STRIP TOPSOIL AND PERFORM EXCAVATION AND GRADING.
- 23.5. REMOVE AND DISPOSE OF STRUCTURES TO BE REMOVED.
- 23.6. INSTALL DRAINAGE, UTILITIES AND ASSOCIATED STRUCTURES.
- 23.7. CONSTRUCT BUILDING AND ASSOCIATED IMPROVEMENTS.
- 23.8. PERMANENTLY STABILIZE ALL DISTURBED AREAS AND INSTALL LANDSCAPING AND ASSOCIATED APPURTENANCES.
- 23.9. REMOVE ALL SOIL AND EROSION CONTROLS AFTER SITE HAS BEEN STABILIZED. 24. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY
- PURPOSES OR ROUTINE MAINTENANCE.
- 25. USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, TO NEIGHBORS, AND TO OTHER WORK BEING PERFORMED ON OR NEAR THE SITE
- 26. A MINIMUM OF SIX (6) INCHES OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED SURFACES WHICH ARE PROPOSED TO BE PLANTED.
- 27. INSTALL SILT SACK IN CATCH BASINS AT ALL PAVEMENT REMOVAL AREAS.
- 28. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF THE FINAL PROJECT.
- 29. CONTRACTOR TO PROVIDE SECURITY FENCE TO CONTAIN CONSTRUCTION ACTIVITIES WITHIN THE LIMIT OF WORK AND TO PROTECT THE PUBLIC FROM INJURY.

RIM=25.2





Consultants Meridian Associates Civil/Landscape 69 Milk Street, Suite 302 Westborough, MA 01581

25

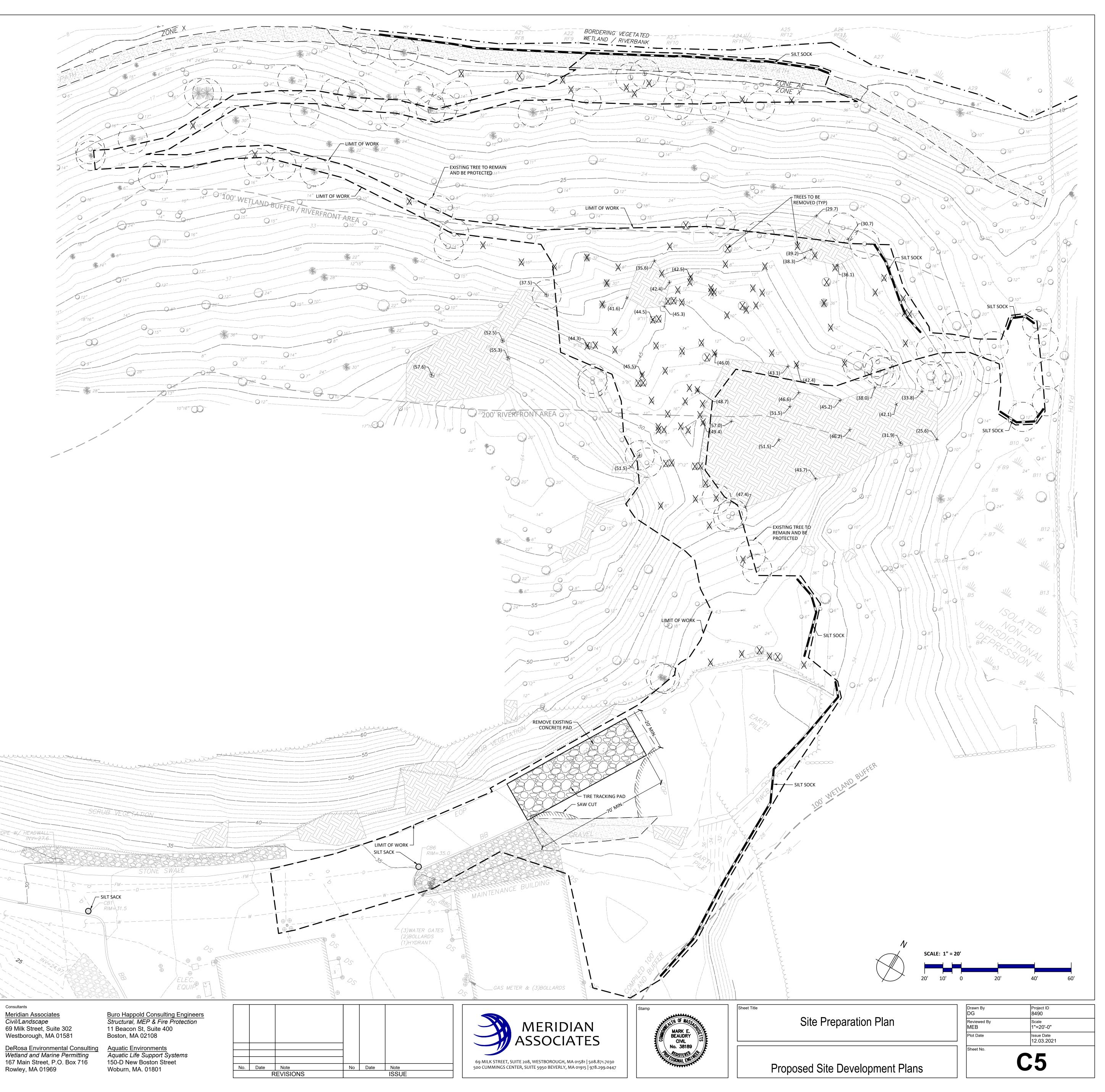
PF-WL/ HFADWAL

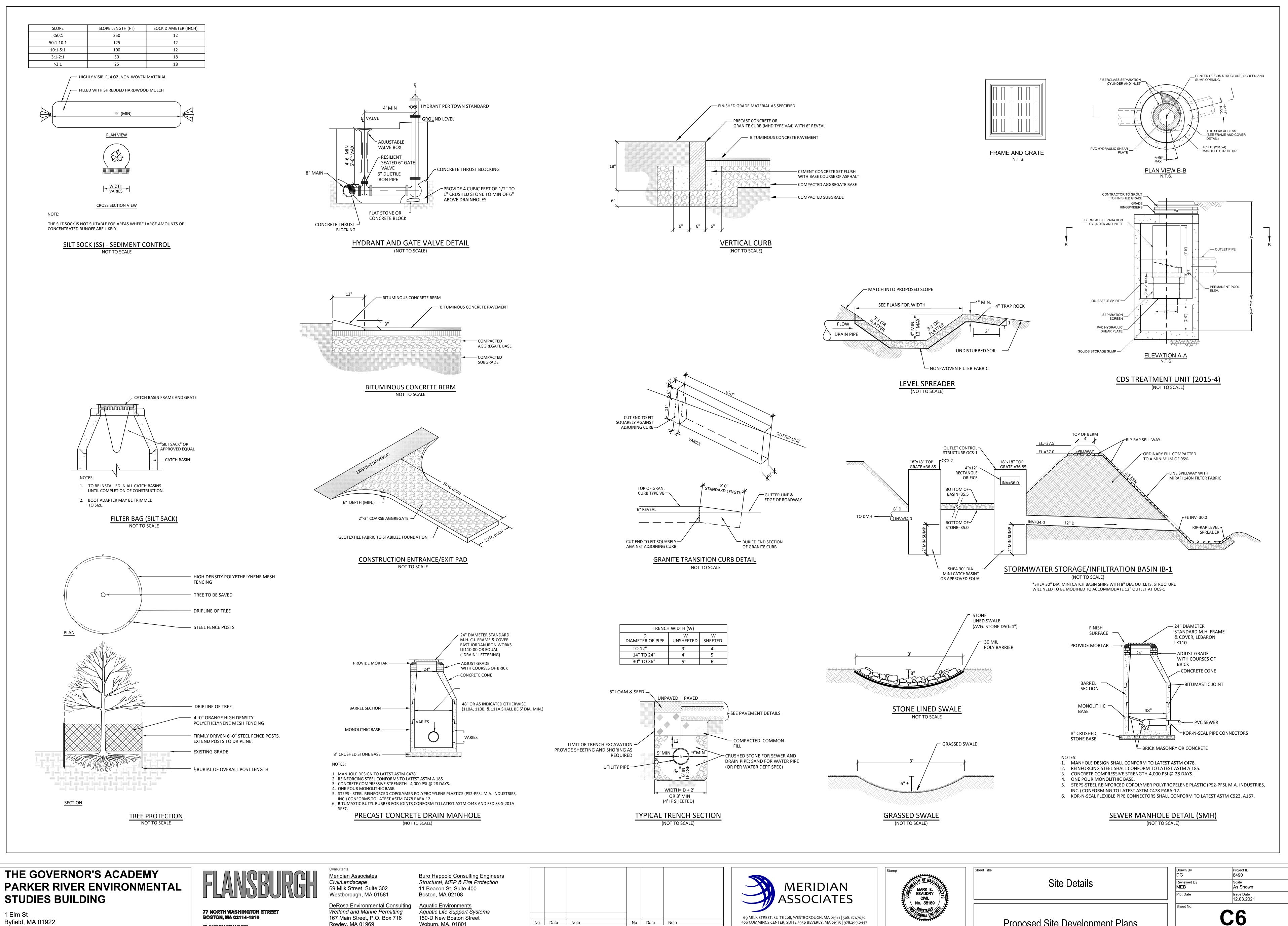
Rowley, MA 01969

77 NORTH WASHINGTON STREET BOSTON, MA 02114-1910 Flansburgh.com

SILT SACK

1 Elm St Byfield, MA 01922







Byfield, MA 01922

Flansburgh.com

No. Date Note Woburn, MA. 01801 Rowley, MA 01969 REVISIONS

No Date Note ISSUE



Proposed Site Development Plans

Consultants Meridian Associate Civil/Landscape 69 Milk Street, Suit Westborough, MA

DeRosa Environme Wetland and Marine 167 Main Street, P. Rowley, MA 01969

1 Elm St Byfield, MA 01922 77 NORTH WASHINGTON STREET BOSTON, MA 02114-1910

Flansburgh.com

REFER TO STRUCTURAL DRAWINGS FOR

REFER TO STRUCTURAL, MEP AND UTILITY

CONTROL JOINTS EVERY 5'

EXPANSION JOINTS EVERY 20'

AS NOTED ON PLAN

4" CEMENT

╔╔╔╔╗╴╦┈╶╧╴┿╴╼╦┈╶╦╶┷╶╬┷╴┾╴╔╔╔

COMPACTED SUBGRADE

SLAB THICKNESS

DEPTH

CROSS SLOPE AT 2% MAX

CEMENT CONCRETE WALKWAY

(NOT TO SCALE)

CONCRETE SLAB

70000

_____ 1/2" WIDE TOOLED OR SAWCUT SCORE, 1/3 TO 1/4 OF

#4 SMOOTH STEEL DOWEL 2' ON-CENTER

-12" EXPANSION SLEEVE WITH WAXED

TUBE TO PREVENT BONDING

- PRE-MOLDED EXPANSION JOINT WITH

STRIP-OFF CAP TO FORM SEALANT

- TOOL CONTROL JOINT TO DIMENSIONS

WHERE EXISTING AND NEW CONCRETE SIDEWALKS

EXPANSION JOINT AND DOWELS AS SHOWN. DRILL EXISTING CONCRETE WALK EDGE TO RECEIVE STEEL

MEET, SAWCUT EXISTING WALK AND INSTALL

SHOWN WITH 1-1/2" EDGER

- WELDED WIRE FABRIC

NOTE:

EXPANSION AND CONTROL JOINTS FOR CONCRETE

(NOT TO SCALE)

DOWELS AT EXPANSION JOINT.

JOINT. REMOVE AFTER POUR.

— JOINT SEALANT TO MINIMUM 1/2"

- WELDED WIRE FABRIC

— EDGE TOOL SURFACE

(TYP)

FINISHED

GRADE

BRISTLE BROOM FINISH

6"x6" W1.4 x W1.4 —

8" COMPACTED — AGGREGATE BASE

─►|≮|<─

EXPANSION JOINT AT 20'

ON-CENTER (TYP)

CONTROL JOINT AT 5'

ON-CENTER (TYP)

━━┥ |━━ 1/4

X 1/8" J Q A

[•] 12" ⊲

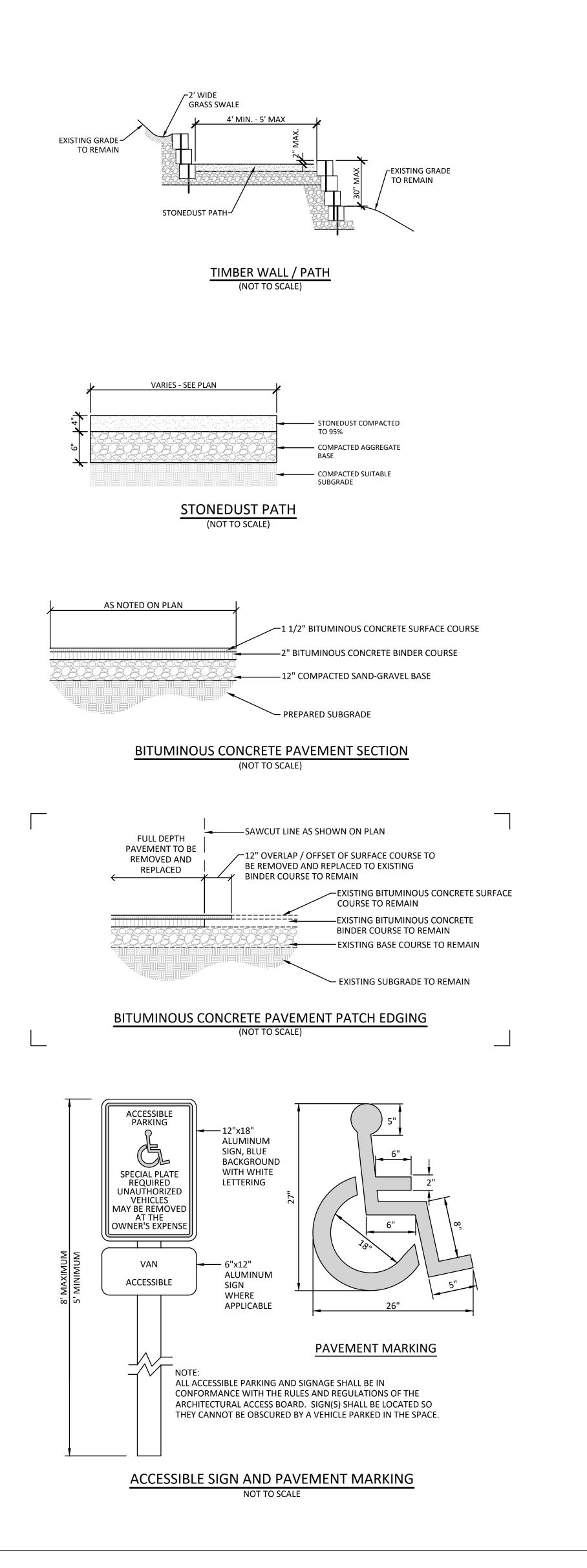
1/8" -

WELDED WIRE FABRIC

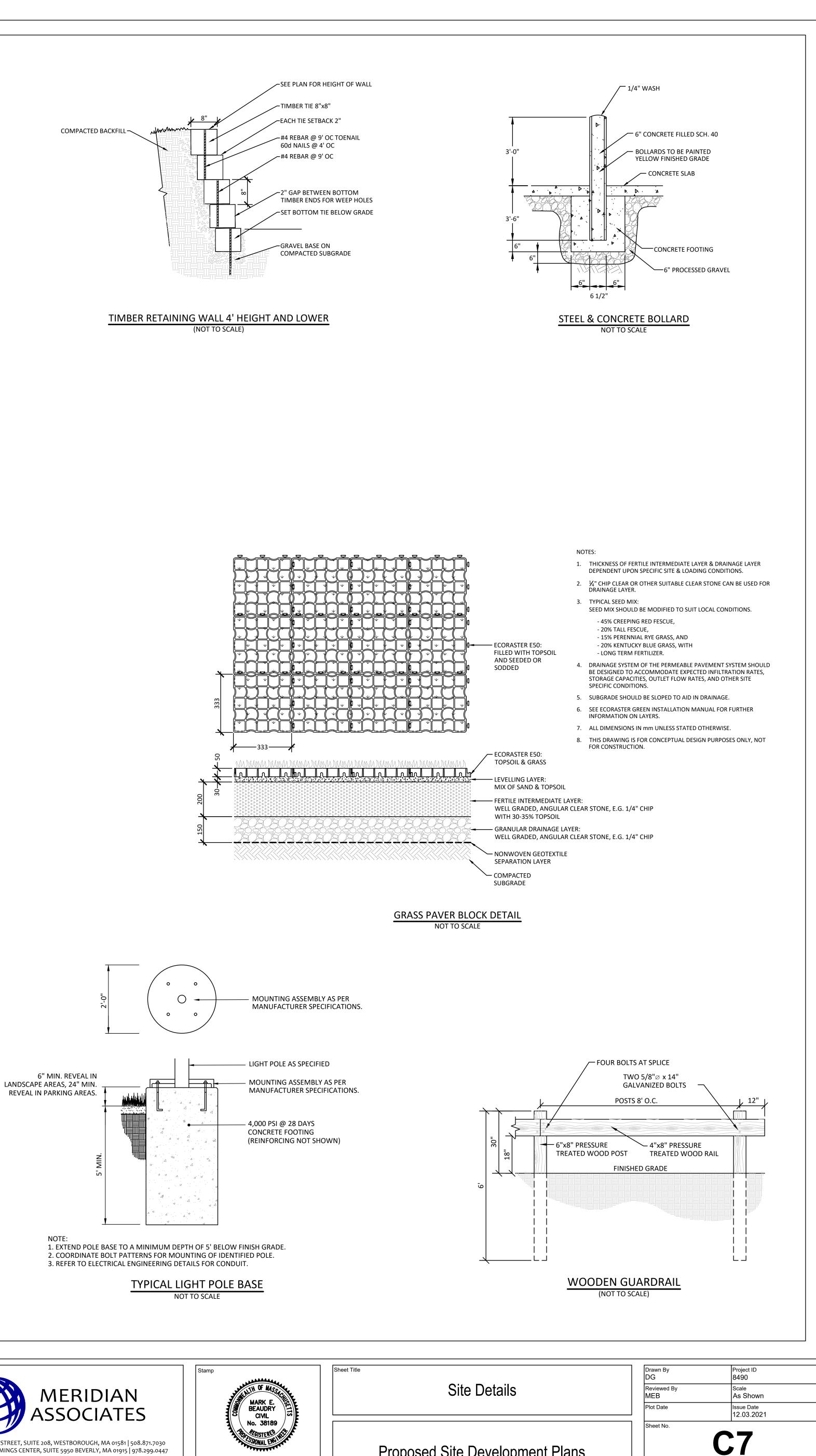
CONCRETE RETAINING WALLS.

EQUIPMENT PAD DETAILS.

COMPANY FOR GENERATOR AND



<u>s</u> e 302 01581	Buro Happold Consulting Engineers Structural, MEP & Fire Protection 11 Beacon St, Suite 400 Boston, MA 02108							
ental Consulting e Permitting	Aquatic Environments Aquatic Life Support Systems 150-D New Boston Street							69 MIL
.O. Box 716	Woburn, MA. 01801	No.	Date	Note REVISIONS	No	Date	Note ISSUE	69 MiLt



ASSOCIATES



Proposed Site Development Plans

TO PRESB



Consultants Meridian Associates Civil/Landscape 69 Milk Street, Suite 302 Westborough, MA 01581

(NOT TO SCALE)

GANGWAY

Rowley, MA 01969

1 Elm St Byfield, MA 01922 BOSTON, MA 02114-1910 FLANSBURGH.COM

ZONE X ZONE AE/ACEC EL. 10.0

- CANTILEVER DOCK

PLAN VIEW

-FIXED DOCK-

- DOCK SUPPORT CABLE - RELOCATED PATHWAY - CAST-IN-PLACE CONCRETE

TREATED WHITE /- CANTILEVER DOCK

DECK SUPPORT BEA

- EXISTING GROUND/RIVER BOTTOM

ELEVATION VIEW

ANCHOR BLOCK — ROUGH SAWN

BURIED WATER PIPE

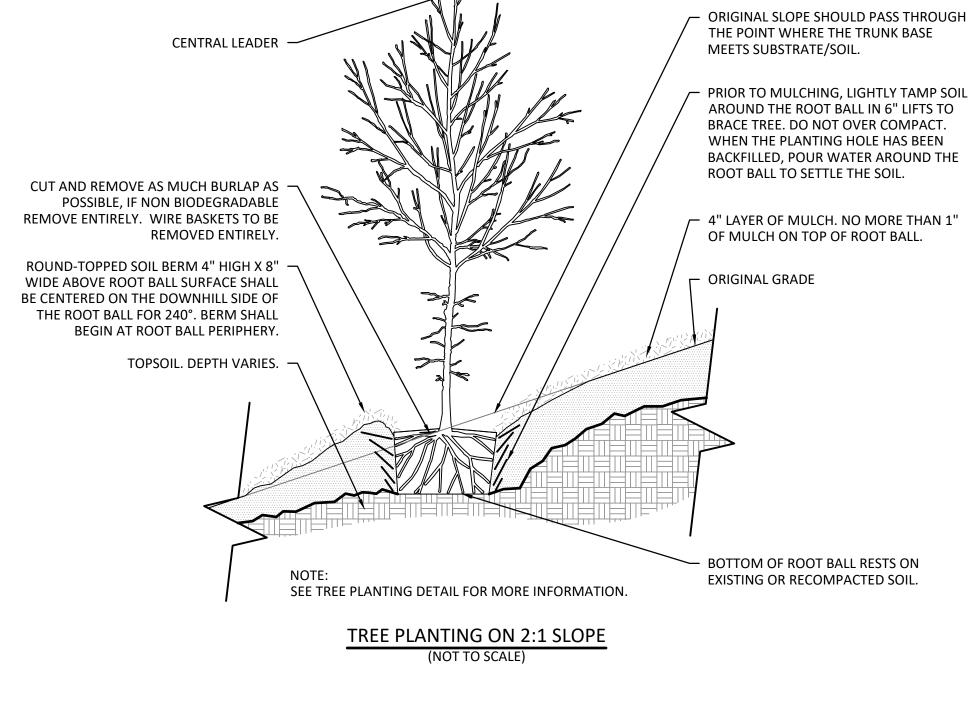
ABOVE ELEV. +10.0

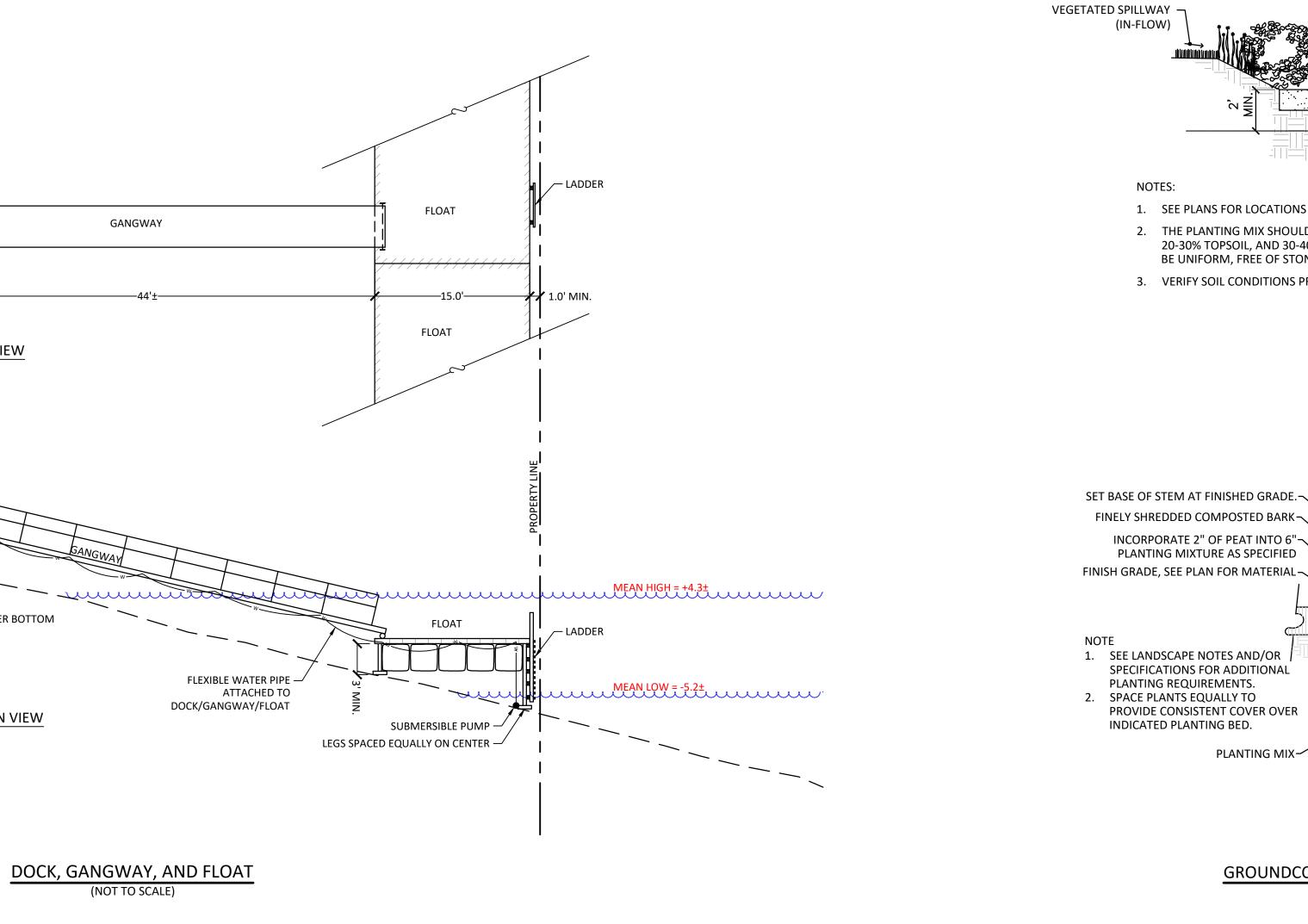
NOTE

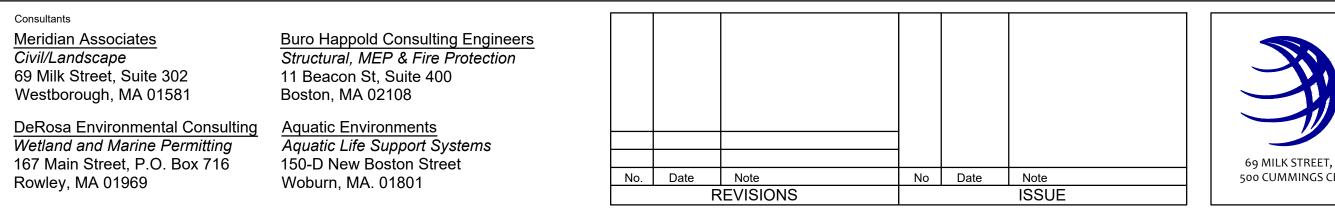
SEE SUMMIT GEOENGINEERING FOR DOCK PLANS AND DETAILS

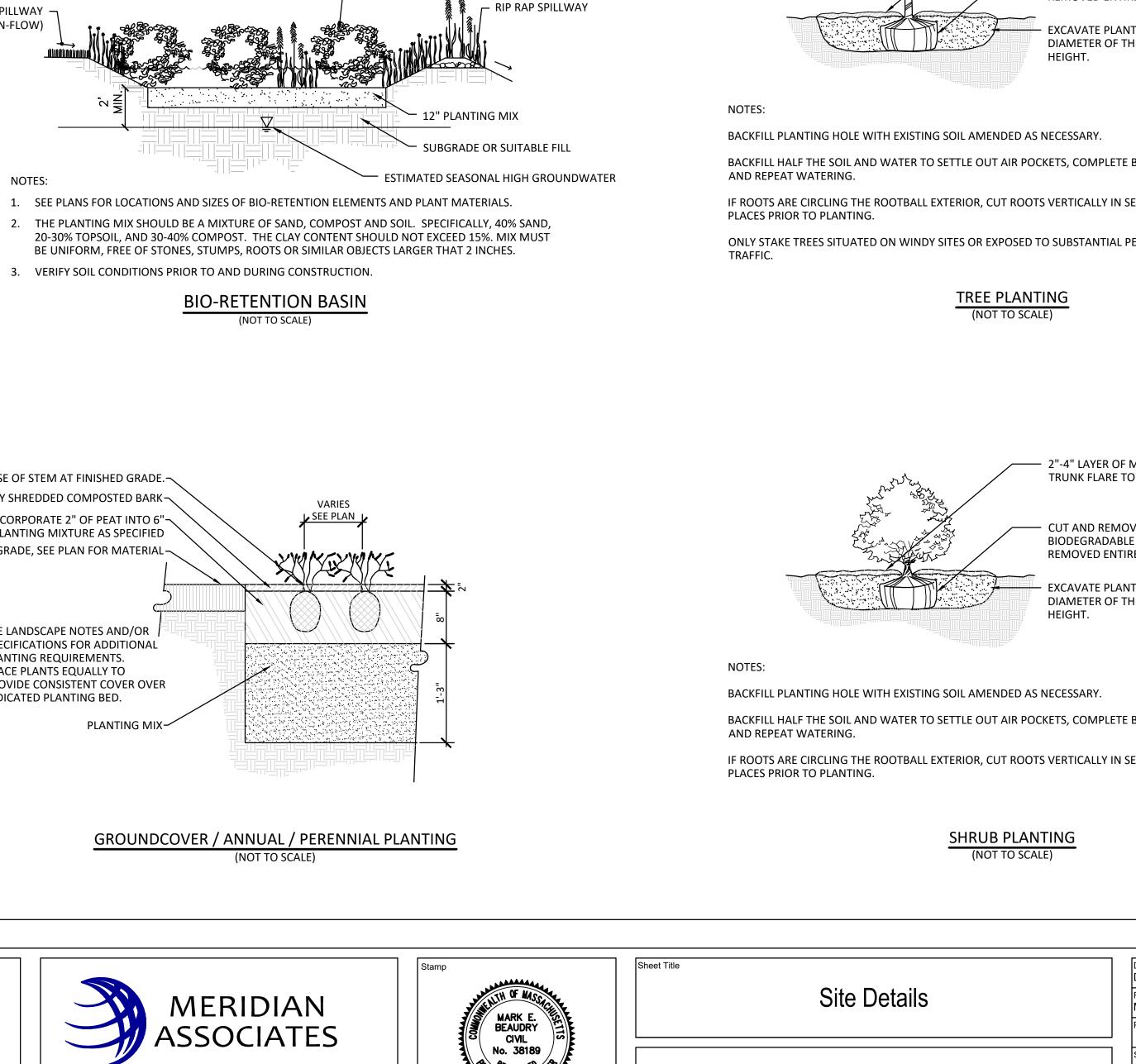
ZONE X ZONE AE/ACEC EL. 10.0

77 NORTH WASHINGTON STREET









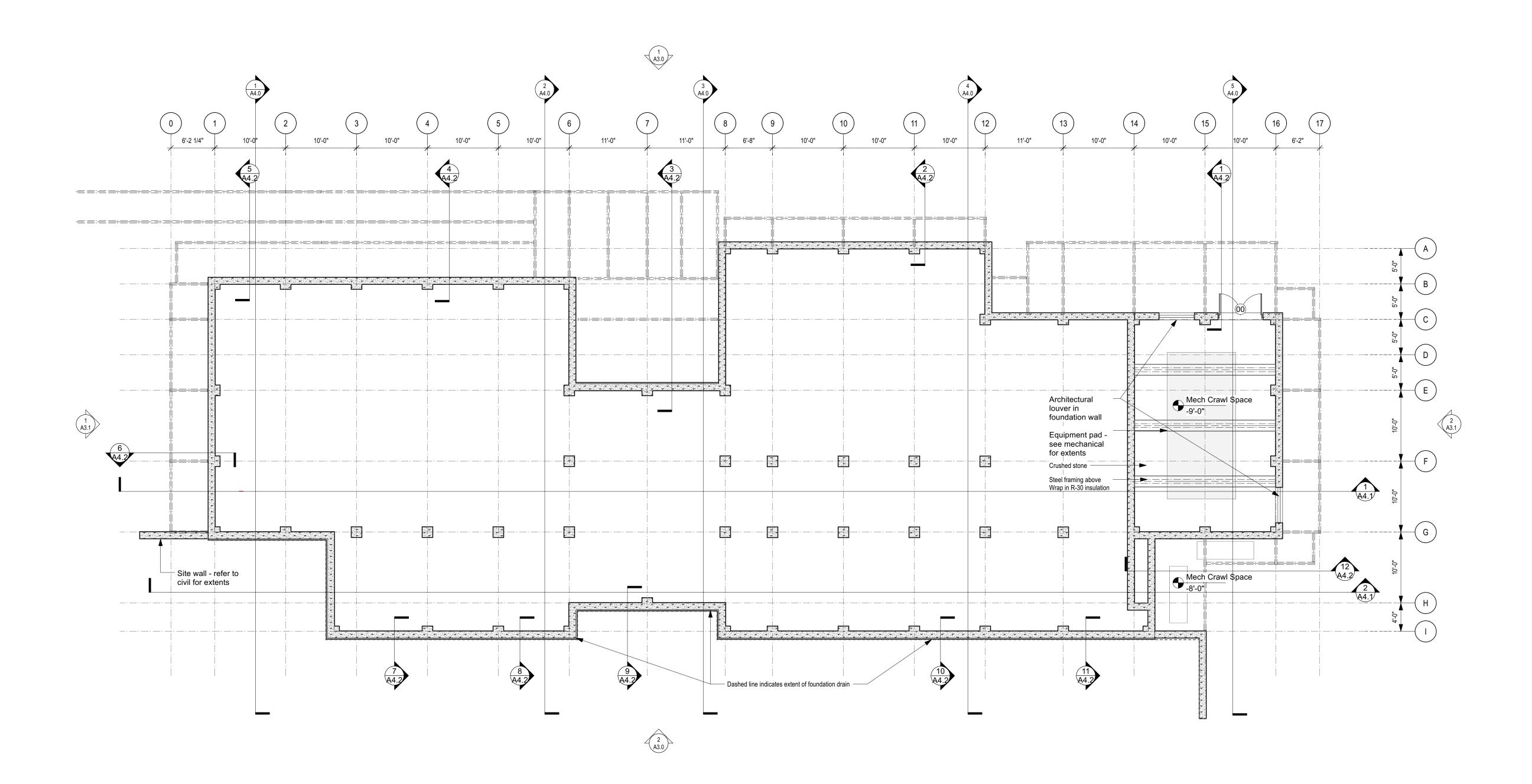
— SPECIFIED PLANT MATERIALS

69 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 508.871.7030 500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MA 01915 | 978.299.0447



Proposed Site Development Plans

Site Details	Drawn By DG Reviewed By MEB As Shown
CKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESS, CKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, C D REPEAT WATERING. COOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTION CES PRIOR TO PLANTING. SHRUB PLANTING	COMPLETE BACKFILLING TCALLY IN SEVERAL
TES:	HT.
BIODE REMO EXCAV	AND REMOVE AS MUCH BURLAP AS POSSIBLE, IF NON EGRADABLE REMOVE ENTIRELY. WIRE BASKETS TO BE OVED ENTIRELY. WATE PLANTING HOLE TO A WIDTH THREE TIMES THE METER OF THE ROOTBALL AND A DEPTH EQUAL TO THE
TRUNI	' LAYER OF MULCH. KEEP MULCH 2" BACK FROM TRUN NK FLARE TO REMAIN 1"-2" ABOVE FINISH GRADE. AND REMOVE AS MUCH BURLAP AS POSSIBLE. IF NON
TREE PLANTING (NOT TO SCALE)	
CKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESS, CKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, C D REPEAT WATERING. ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTIC ACES PRIOR TO PLANTING. LY STAKE TREES SITUATED ON WINDY SITES OR EXPOSED TO SUBS AFFIC.	COMPLETE BACKFILLING TCALLY IN SEVERAL
	IETER OF THE ROOTBALL AND A DEPTH EQUAL TO THE
BIODE REMO EXCAV	AND REMOVE AS MUCH BURLAP AS POSSIBLE, IF NON EGRADABLE REMOVE ENTIRELY. WIRE BASKETS TO BE OVED ENTIRELY. WATE PLANTING HOLE TO A WIDTH THREE TIMES THE
TRUN	' LAYER OF MULCH. KEEP MULCH 2" BACK FROM TRUN NK FLARE TO REMAIN 1"-2" ABOVE FINISH GRADE. AND REMOVE AS MUICH BURLAP AS POSSIBLE. IE NON
NATU	NE ONLY INJURED OR BROKEN BRANCHES. RETAIN JRAL FORM OF TREE. DO NOT TRIM LEADER, WHEN ACENT TO A SIDEWALK PRUNE BRANCHES TO SIX FEET.
EVERGREEN TREE PLAN (NOT TO SCALE)	<u>ITING</u>
LY STAKE TREES SITUATED ON WINDY SITES OR EXPOSED TO SUBS AFFIC.	
CKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, C D REPEAT WATERING. ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTIC ACES PRIOR TO PLANTING.	
TES: CKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESS.	HT.
BIODE REMO EXCAV	AND REMOVE AS MUCH BURLAP AS POSSIBLE, IF NON EGRADABLE REMOVE ENTIRELY. WIRE BASKETS TO BE OVED ENTIRELY. WATE PLANTING HOLE TO A WIDTH THREE TIMES THE METER OF THE ROOTBALL AND A DEPTH EQUAL TO THE
	' LAYER OF MULCH. KEEP MULCH 2" BACK FROM TRUNH NK FLARE TO REMAIN 1"-2" ABOVE FINISH GRADE.
ANCH	BER HOSE AROUND WIRE AT TREE. LOCATE WOOD HOR STAKE 18" AWAY FROM TRUNK ON SIDE OF AILING WIND. STAKE FIRMLY AT 3' MIN. DEPTH.
	NE ONLY INJURED OR BROKEN BRANCHES. RETAIN JRAL FORM OF TREE. DO NOT TRIM LEADER.



1 Elm St Byfield, MA 01922 77 NORTH WASHINGTON STREET BOSTON, MA 02114-1910 FLANSBURGH.COM

Consultants <u>Meridian Associates</u> *Landscape / Civil* 500 Cummings Center Beverly, MA 01915

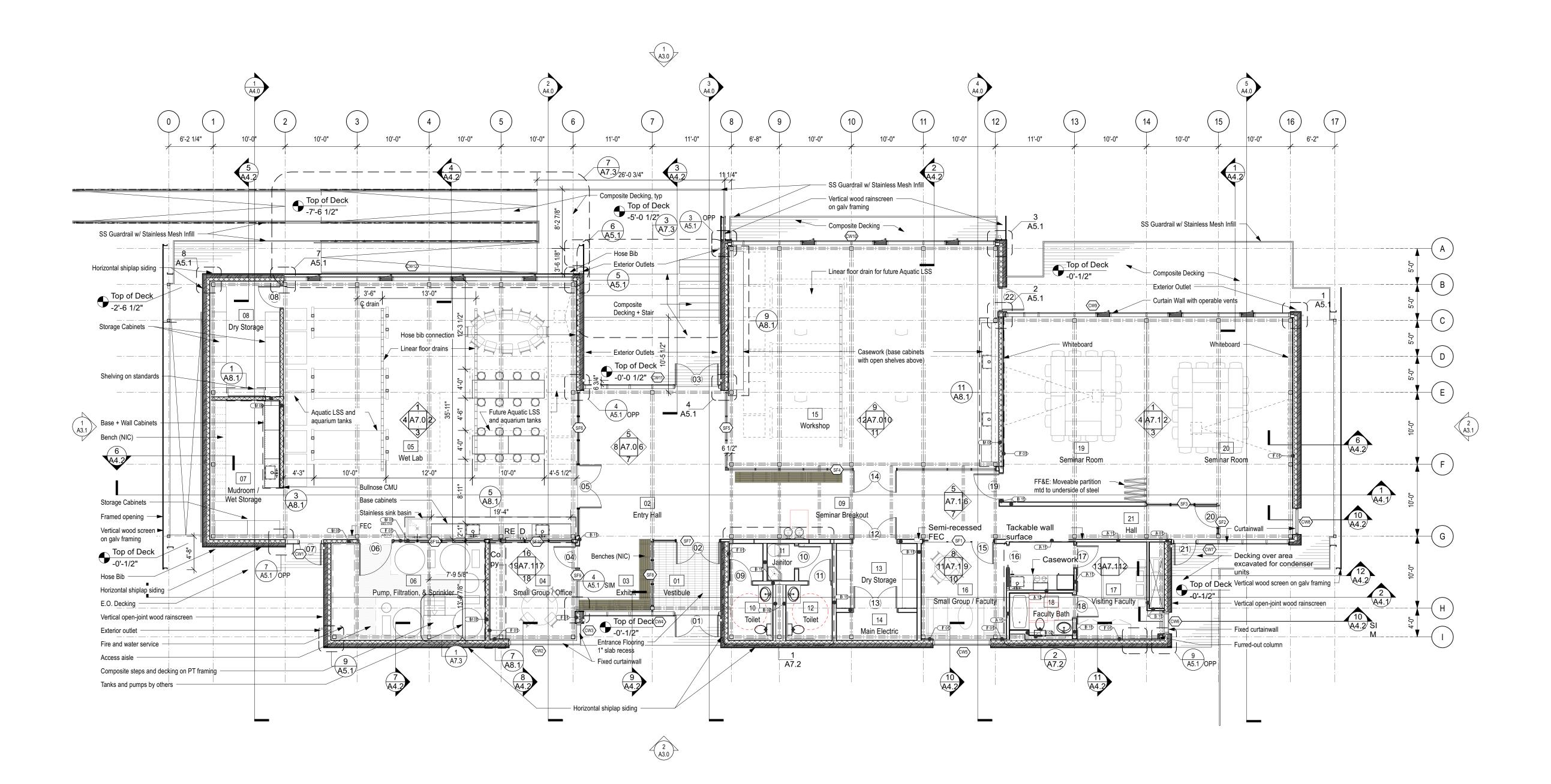
DeRosa Environmental Consulting Wetland and Marine Permitting 167 Main Street, P.O. Box 716 Rowley, MA 01969

<u>Buro Happold Consulting Engineers</u> <i>Structural, MEP & Fire Protection</i> 11 Beacon St, Suite 400 Boston, MA 02108							Key	/ Plan	
 <u>Aquatic Environments</u> Aquatic Life Support Systems 150-D New Boston Street Woburn, MA. 01801 	No.	Date	Note	No	Date	Note			

GENERAL NOTES

- Refer to Civil drawings for grade elevations.
 Refer to Structural drawings for footing elevations and steel framing.

Sheet Ti		Drawn By EFG	Project ID 1710
	Crawl Space Plan	Reviewed By DAC	Scale 1/8"=1'-0"
		Plot Date 01/31/2020	Issue Date 01/31/2020
		Sheet No.	1.0
	100% Construction Documents		



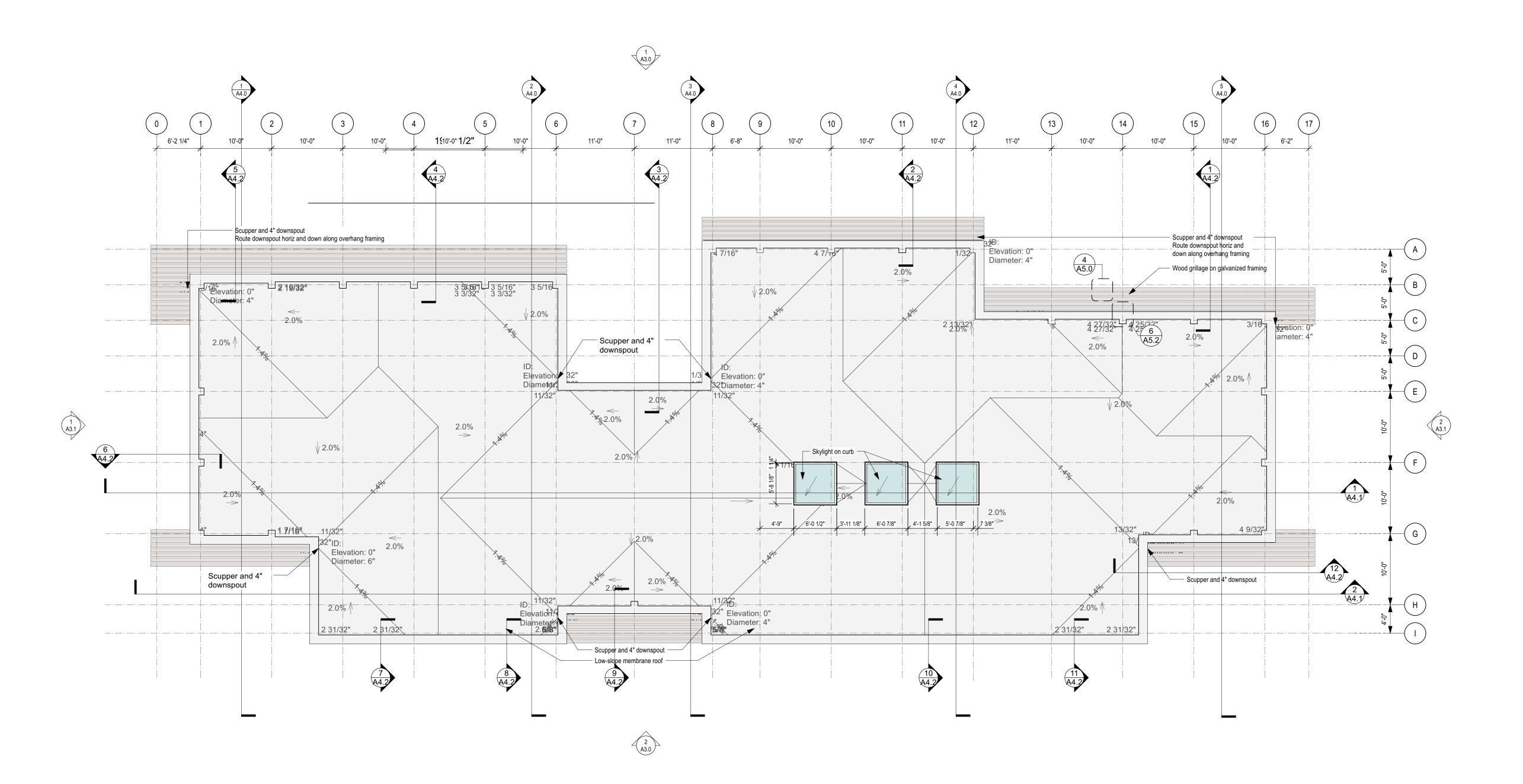
1 Elm St Byfield, MA 01922

77 NORTH WASHINGTON STREET BOSTON, MA 02114-1910 FLANSBURGH.COM

^{Consultants} <u>Meridian Associates</u> *Landscape / Civil* 500 Cummings Center Beverly, MA 01915

<u>DeRosa Environmental Consulting</u> *Wetland and Marine Permitting* 167 Main Street, P.O. Box 716 Rowley, MA 01969

Buro Happold Consulting Engineers			Key Plan	Stamp	Sheet Title	Drawn By EFG	Project ID 1710
Structural, MEP & Fire Protection 11 Beacon St, Suite 400					First Floor Plan	Reviewed By DAC	Scale 1/8"=1'-0"
Boston, MA 02108						Plot Date 01/31/2020	Issue Date 01/31/2020
Aquatic Environments Aquatic Life Support Systems 150-D New Boston Street Woburn, MA. 01801	No. Date Note REVISIONS	No Date Note ISSUE			100% Construction Documents	Sheet No.	1.1



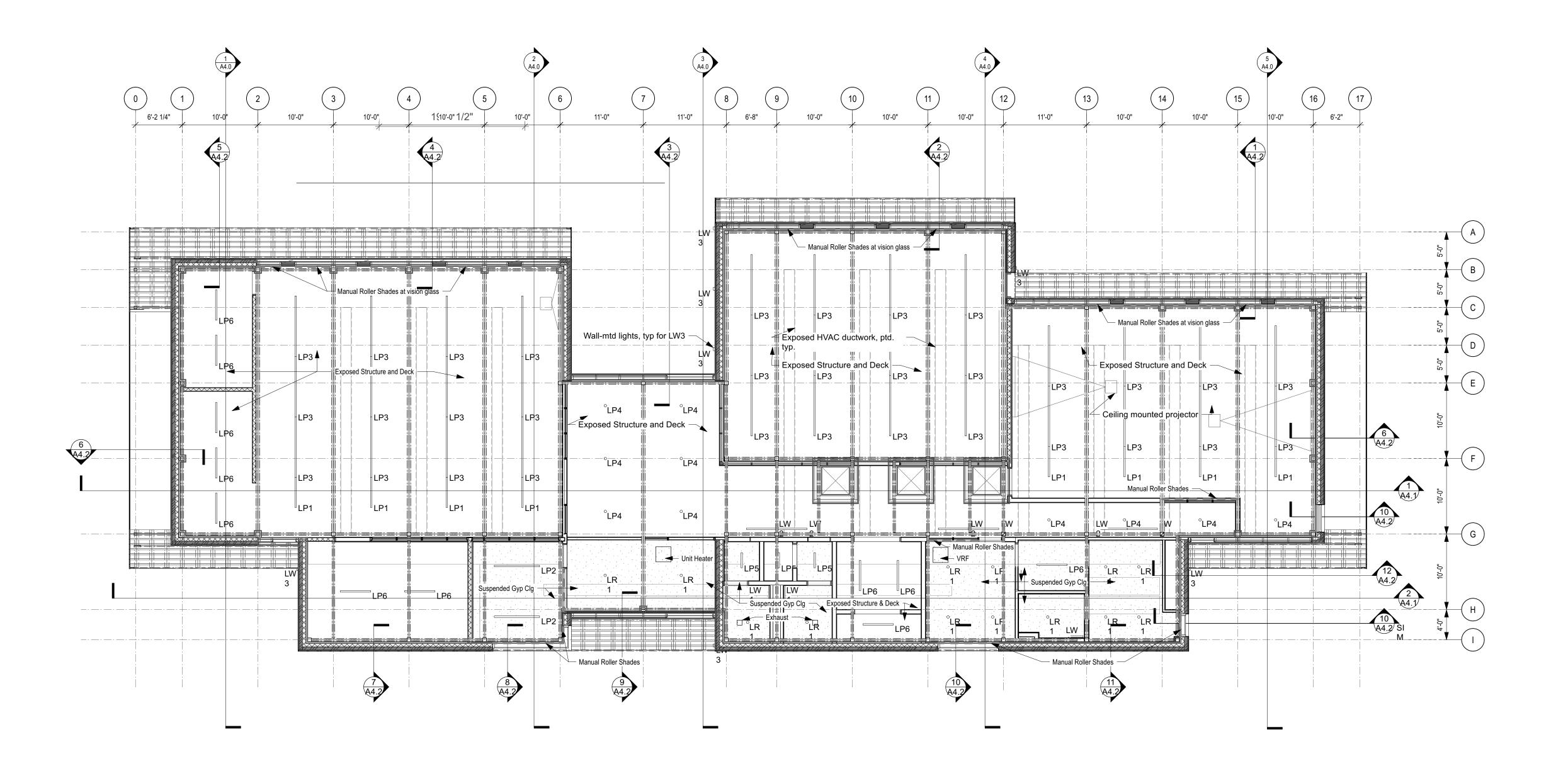
1 Elm St Byfield, MA 01922 77 NORTH WASHINGTON STREET BOSTON, MA 02114-1910

FLANSBURGH.COM

Consultants <u>Meridian Associates</u> *Landscape / Civil* 500 Cummings Center Beverly, MA 01915

DeRosa Environmental Consulting Wetland and Marine Permitting 167 Main Street, P.O. Box 716 Rowley, MA 01969

Buro Happold Consulting Engineers						Key Plan	N	Stamp	Sheet Title	Drawn By JHM	Project ID 1710
Structural, MEP & Fire Protection 11 Beacon St, Suite 400									Roof Plan	Reviewed By DAC	Scale 1/8"=1'-0"
Boston, MA 02108										Plot Date 01/31/2020	Issue Date 01/31/2020
<u>a</u> <u>Aquatic Environments</u> Aquatic Life Support Systems										Sheet No.	1 7
150-D New Boston Street Woburn, MA. 01801	No.	Note EVISIONS	No	Date	Note ISSUE				100% Construction Documents		



1 Elm St Byfield, MA 01922

77 NORTH WASHINGTON STREET BOSTON, MA 02114-1910 FLANSBURGH.COM

Consultants <u>Meridian Associates</u> *Landscape / Civil* 500 Cummings Center Beverly, MA 01915

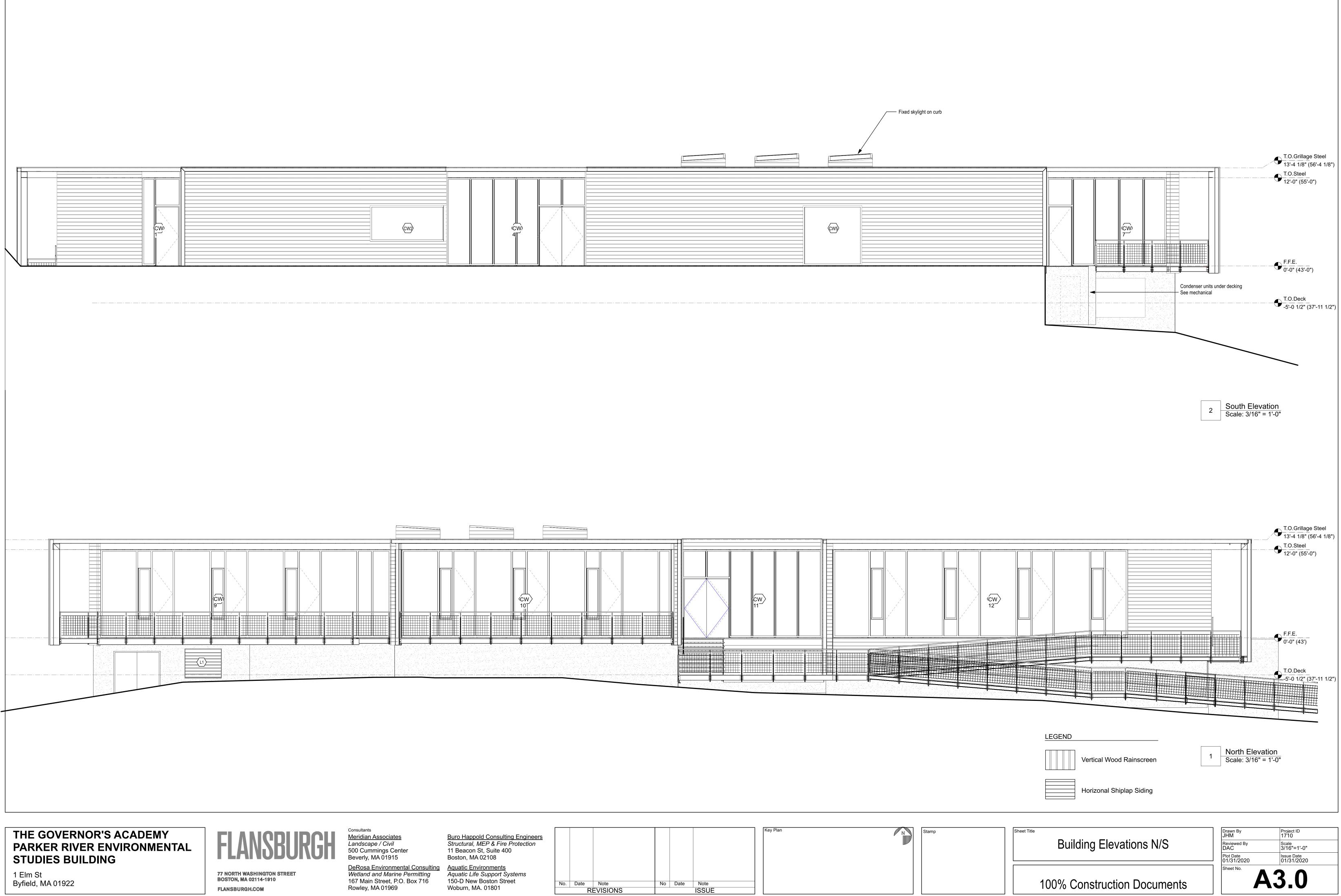
<u>DeRosa Environmental Consulting</u> *Wetland and Marine Permitting* 167 Main Street, P.O. Box 716 Rowley, MA 01969

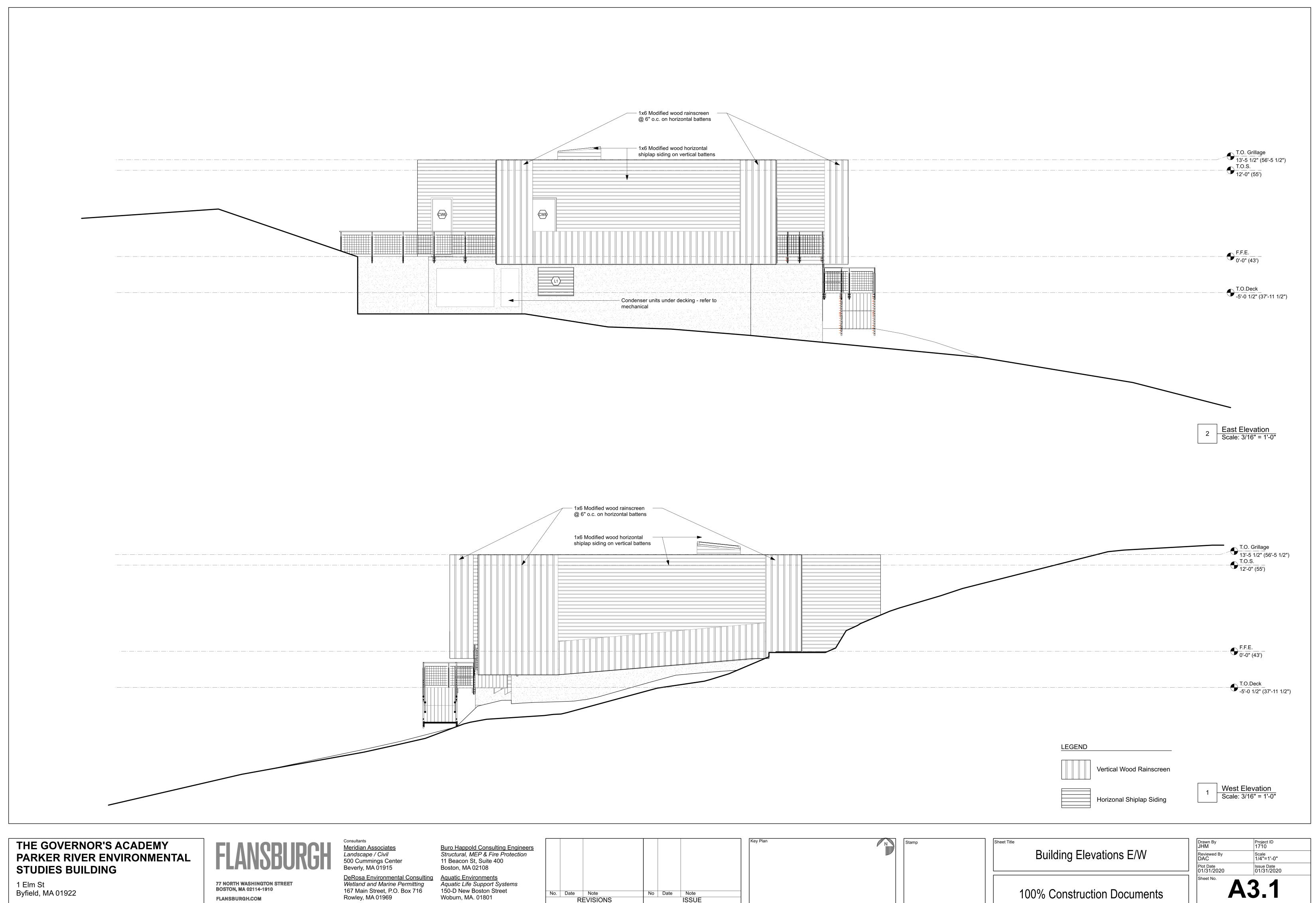
							 	2017 North	
<u>Buro Happold Consulting Engineers</u> <i>Structural, MEP & Fire Protection</i> 11 Beacon St, Suite 400 Boston, MA 02108							Key Plan		Stamp
<u>Aquatic Environments</u> Aquatic Life Support Systems 150-D New Boston Street Woburn, MA. 01801	No.	Date	Note EVISIONS	No	Date	Note ISSUE			

GENERAL NOTES

- Suspended gypsum board ceilings 8'-2".
 No roof fasteners to be exposed on underside of structural metal deck. 3. MEPFP for equipment shown only for reference.
- 4. Provide access panels in suspended gyp board ceilings for mechanical equipment.

Sheet Title	Drawn By JHM	Project ID 1710
First Floor RCP	Reviewed By DAC	Scale 1/8"=1'-0"
	Plot Date 01/31/2020	Issue Date 01/31/2020
100% Construction Documents	Sheet No.	2.1

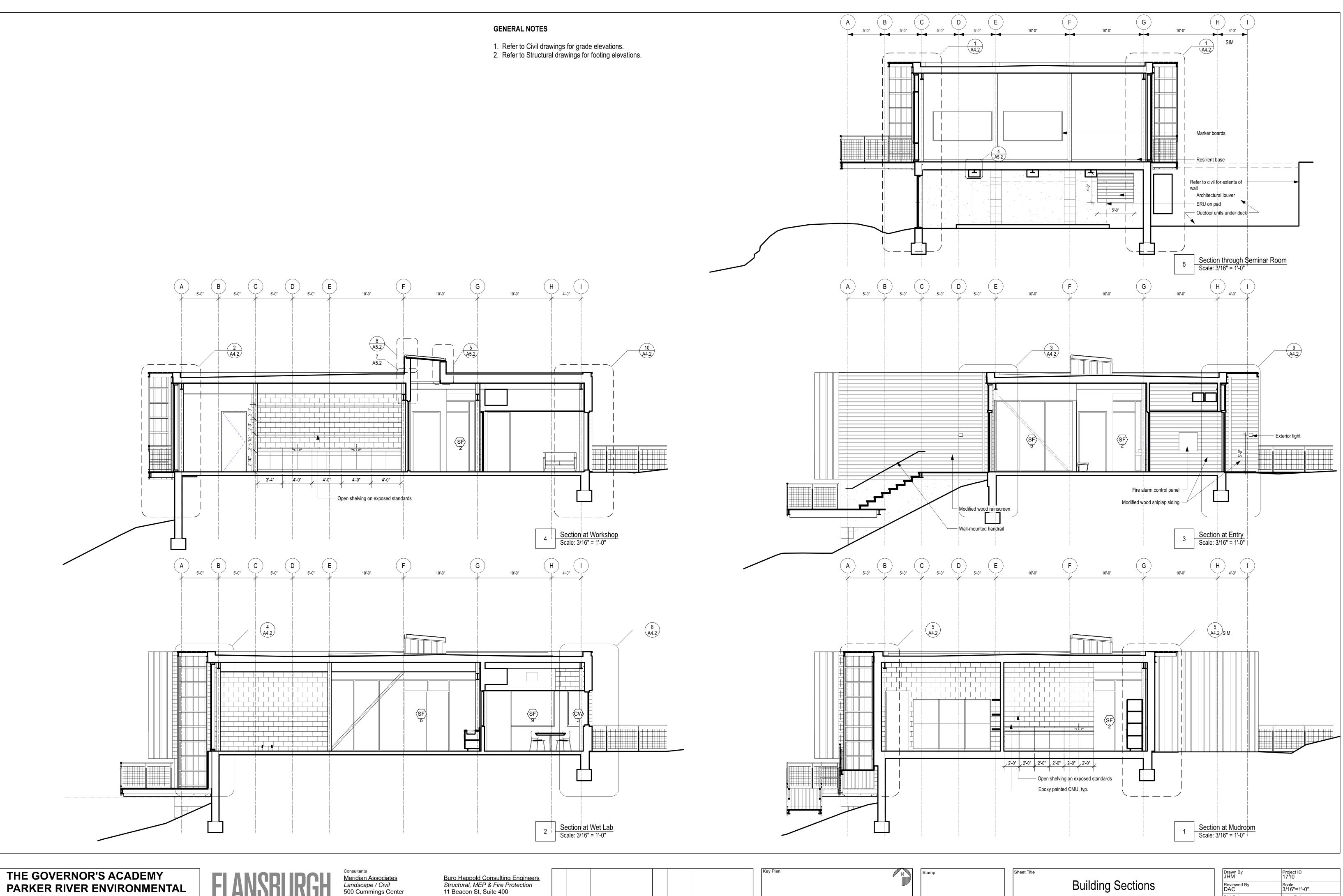




Byfield, MA 01922

FLANSBURGH.COM

Buro Happold Consulting Engineers Structural, MEP & Fire Protection 11 Beacon St, Suite 400 Boston, MA 02108							Key Plan
<u>Aquatic Environments</u> Aquatic Life Support Systems 150-D New Boston Street Woburn, MA. 01801	No.	Date	Note EVISIONS	No	Date	Note ISSUE	



1 Elm St Byfield, MA 01922 77 NORTH WASHINGTON STREET BOSTON, MA 02114-1910 FLANSBURGH.COM

500 Cummings Center Beverly, MA 01915

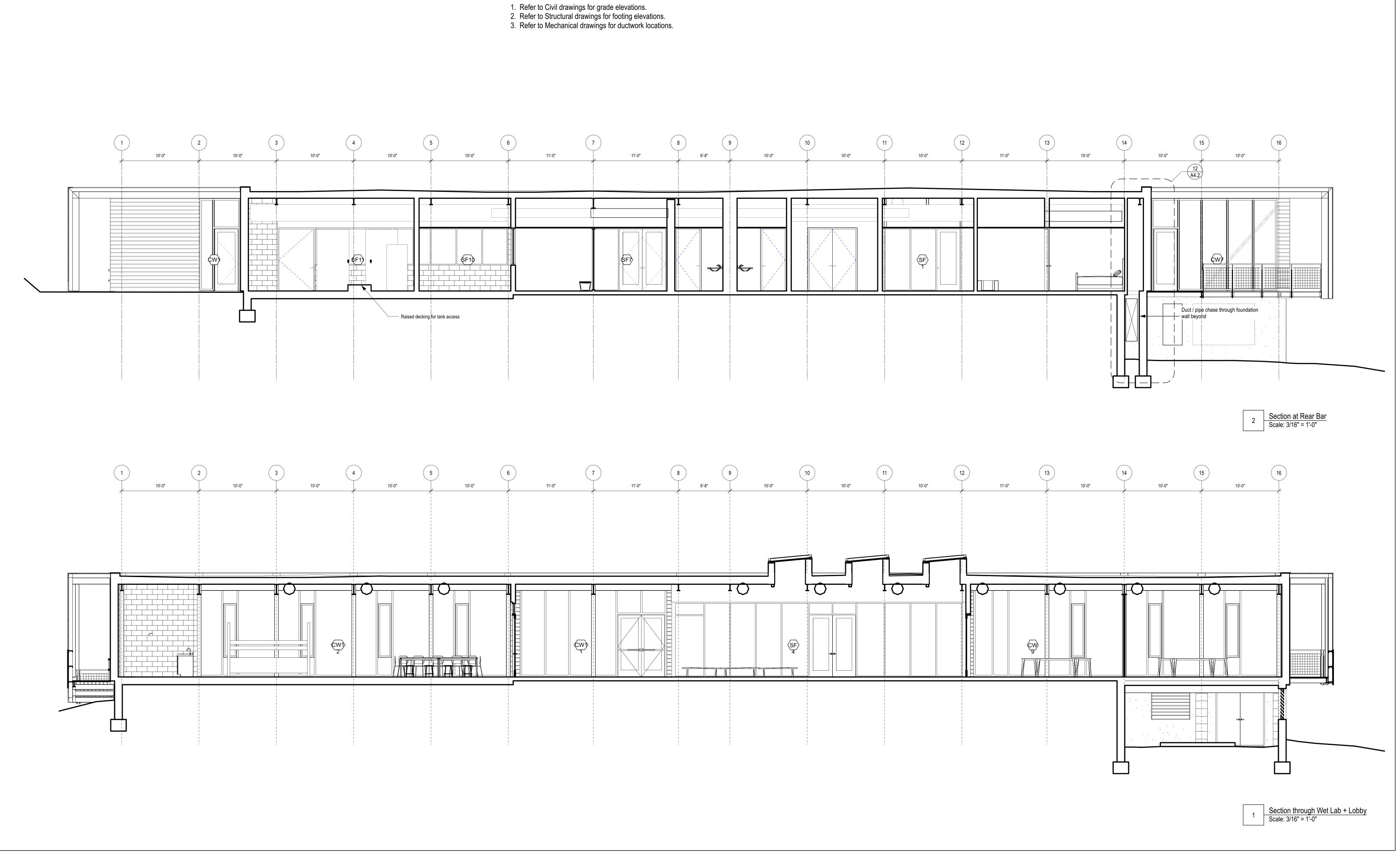
<u>DeRosa Environmental Consulting</u> *Wetland and Marine Permitting* 167 Main Street, P.O. Box 716 Rowley, MA 01969

g	<u>Aquatic Environments</u> Aquatic Life Support Systems 150-D New Boston Street				
		No.	Date	Note	
	Woburn, MA. 01801		R	EVISION	S

Boston, MA 02108



100% Construction Documents	Plot Date 01/31/2020 Sheet No.	1/31/2020	
Building Sections	Drawn By JHM Reviewed By DAC	Project ID 1710 Scale 3/16"=1'-0"	



1 Elm St Byfield, MA 01922 77 NORTH WASHINGTON STREET BOSTON, MA 02114-1910 FLANSBURGH.COM

^{Consultants} <u>Meridian Associates</u> *Landscape / Civil* 500 Cummings Center Beverly, MA 01915

DeRosa Environmental Consulting Wetland and Marine Permitting 167 Main Street, P.O. Box 716 Rowley, MA 01969

GENERAL NOTES

Buro Happold Consulting Engineers Structural, MEP & Fire Protection 11 Beacon St, Suite 400 Boston, MA 02108							Key Plan		N	Stamp
<u>Aquatic Environments</u> Aquatic Life Support Systems 150-D New Boston Street Woburn, MA. 01801	No.	Date	Note	No	Date	Note				
	No.		Note EVISIONS	No	Date	Note ISSUE				

Sheet Title	Drawn By JHM	Project ID 1710	
Building Sections	Reviewed By DAC	Scale 3/16"=1'-0"	
	Plot Date 01/31/2020	Issue Date 01/31/2020	
	Sheet No.		
100% Construction Documents		\4.1	