

SITE PLAN REVIEW "PLUM ISLAND SUNSET CLUB" 2 OLD POINT RD NEWBURY, MASSACHUSETTS

PREPARED FOR:
PLUM ISLAND PROPERTIES, LLC
14 PLUM ISLAND BLVD.
NEWBURY, MA 01951

PROJECT LOCATION

2 OLD POINT RD - NEWBURY MAP U02, LOT 153 MAP U02, LOT 154

OWNER OF RECORD

MAP U02, LOT 153: VINCENT GODIN 8R OLD POINT RD, NEWBURY, MA

MAP U02, LOT 154
THE COTTAGES COMMERCIAL LLC
2 OLD POINT RD,
NEWBURY, MA



2 OLD POINT ROAD MAP U02 - LOT 154

ZONING DISTRICT RA-G / PIOD			
	ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	21,636 SF	21,626 SF
FRONTAGE	125'	268.9'	268.9'
SETBACK (SIDE/REAR)	10'	4.9'	62.0'
SETBACK (STREET)	20'	13.5'	13.5' n.c.
MAX. HEIGHT	35'	20' +/-	15' +/- n.c.
LOT COVERAGE	20%	16.7%	0.7%
FAR	25%	15.2%	0.7%

8R OLD POINT ROAD MAP U02 - LOT 153

ZONING			
	ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	21,442 SF	21,442 SF
FRONTAGE	125'	143.2'	143.2'
SETBACK (SIDE/REAR	10'	21.8'/*0	21.8' n.c./*0 n.c
SETBACK (STREET)	20'	20.7'/*10.5	20.7'n.c./*10.5 n.c.
MAX. HEIGHT	35'	22' +/-	22' +/- n.c.
LOT COVERAGE	20%	11.4%	11.4% n.c.
FAR	25%	13.2%	13.2% n.c.
* OFFSETS TO RESIDENTIAL STRUCTURE TO REMAIN			

* THE SITE IS LOCATED WITHIN A PLUM ISLAND OVERLAY DISTRIC

	PARKING	
REQUIRED	164 SEATS X 0.3 = 49.3	2 (50 PARKING SPACES
	5 EMPLOYEES REQ.	(5 PARKING SPACES)
PROVIDED	54 SP.	ACES

SHEET INDEX

SHEET NO.	<u>TITLE</u>
T1	TITLE SHEET
C100	EXISTING CONDITIONS PLAN
C101	LAYOUT & MATERIALS PLAN
C201	EROSION CONTROL PLAN
C501	CIVIL DETAILS
C502	CIVIL DETAILS
A110	FLOOR PLAN
A112	ARCHITECURAL SITE PLAN
A200	EXTERNAL ELEVATION
A210	BUILDING SITE/SECTIONS
L1	MATERIALS, PLANTING & LIGHTING PLAN
L2	PHOTOMETRIC PLAN
L3	SITE DETAILS

THIS IS TO CERTIFY THAT ON / / , I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

CLERK DAT

NORTH



OWNER:
THE COTTAGES COMMERCIAL, LLC
14 PLUM ISLAND BLVD.

ARCH: JOE THE ARCHITECT 343 MEDFORD ST, SUITE 4C SOMERVILLE, MA 02145

LANDSCAPE:
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLO
732 EAST BROADWAY #3
BOSTON, MA 02127
PROJECT TEAM

2 OLD POINT RD NEWBURY, MA.

PROJECT INFO

REV DESCRIPTION DATE



AMP:

TITLE SHEET

HEET NAME:

T1

SHT NO:

DR BY: MH

CHK BY: SBS

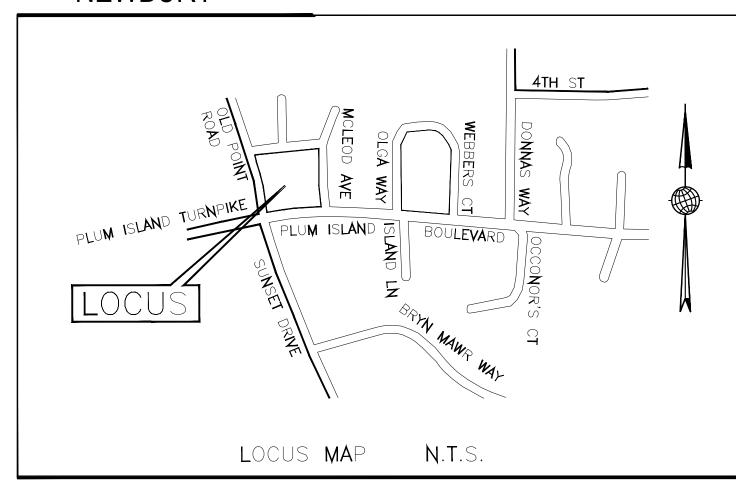
PROJ NO: 20-067

DATE: 1/6/21

SCALE: NTS

SCALE: 1" = 20'

NEWBURY



GENERAL NOTES

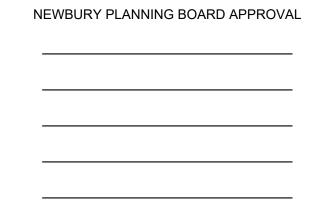
THE EXISTING CONDITIONS PLAN WAS PROVIDED BY PLUM ISLAND PROPERTIES AND COMPLETED BY HANCOCK ASSOCIATES DATED AUGUST 20, 2020. THE SURVEY WAS PROVIDED TO PLUM ISLAND PROPERTIES FOR OBTAINING PERMITS AND LOCAL APPROVALS ONLY. PLUM ISLAND PROPERTIES IS USING THIS EXISTING CONDITIONS PLAN FOR THESE PURPOSES ONLY.

UNDERGROUND WATER AND SEWER INFORMATION WAS ADDED TO THE PLAN BY DESIGN CONSULTANTS INC. BASED UPON CITY OF NEWBURYPORT PLAN INFORMATION AND SURFACE FEATURES.

THE SUBJECT PROPERTY LIES WITHIN ZONE AE13 OF THE FEMA FLOOD HIGH HAZARD ZONE AS SHOWN ON FEMA MAP 25009C0137G, EFFECTIVE DATE JULY 16, 2014.

THE OWNERSHIP OF ABUTTING PARCELS WERE UPDATED BASED UPON THE TOWN OF NEWBURY GIS AND ASSESSOR'S RECORDS

THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 EXISTING DWELLING #10 LOCATION WAS ADDED TO THE PLAN BY DCI APPROXIMATED FROM 2019 USGS COLOR ORTHO IMAGERY



DATE

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Somerville - Quincy - Newburyport www.dci-ma.com OWNER: THE COTTAGES COMMERCIAL, LLC 14 PLUM ISLAND BLVD.

ARCH: JOE THE ARCHITECT 343 MEDFORD ST, SUITE 4C SOMERVILLE, MA 02145

NEWBURY, MA 01951

LANDSCAPE: MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC 732 EAST BROADWAY #3 BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD NEWBURY, MA

PROJECT INFO

REV	DESCRIPTION	DATE
	•	



EXISTING CONDITIONS PLAN

SHEET NAME:

DR BY: MCH CHK BY: SBS

PROJ NO: 20-067 DATE: 1/6/21 SCALE: 1" = 20'

8R OLD POINT ROAD MAP U02 - LOT 153

ZONING			
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2 OLD POINT ROAD MAP U02 - LOT 154

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	5 EMPLOYEES REQ. (5 PARKING SPACES)		
PROVIDED	54 SPACES		

<u>LEGEND</u> EXISTING:

-cs-	COMBINED SEWER & DRAIN	₩ ₩	CATCH BASIN	
— s —	SANITARY SEWER	£ 53	DECIDUOUS TREE	
— D —	 DRAIN LINE		CONIFEROUS TREE	
	 WATER LINE	7/10	PLANTER	
-OHW-	ELECTRIC LINE		FIRE HYDRANT	
— G —	GAS LINE	o WG	WATER GATE	
— T —	 TELEPHONE LINE	o GG	GAS GATE	
— ST —	 STEAM LINE	WB	WASTE BASKET	
S	SANITARY MANHOLE	O PM	PARKING METER	
	DRAIN MANHOLE	□МВ	MAIL BOX	
	UNKNOWN MANHOLE	⊕ TS	TRAFFIC SIGNAL	
E	ELECTRIC MANHOLE		UTILITY POLE	
\bigcirc	TELEPHONE MANHOLE	× 20.85	SPOT GRADE	

GENERAL NOTES

ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE TOWN OF NEWBURY, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

PROPOSED:

——GAS—— GAS LINE

TW,BW

WATER GATE
GAS GATE
TEST PIT
STOCKADE

——DOM—— DOMESTIC WATER LINE
——FIRE—— FIRE SUPRESSION LINE

——ETC—— ELECTRIC, TEL. & CABLE LINE

TOP OF CURB, BOTTOM OF CURB

TOP OF WALL, BOTTOM OF WALL

DRAIN LINE SPOT GRADE

CLEAN OUT

ROOF DRAIN

UTILITY & DRAINAGE NOTES

- 1. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
- 2. CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION. THE TOWN OF NEWBURY MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE TOWN OF NEWBURY FOR THE MARKING OF NEWBURY MUNICIPAL UTILITIES.
- 3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 4. ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. CUTTING AND CAPPING OF DESIGNATED WATER AND SEWER SERVICES SHALL OCCUR AT THE MAIN IN THE STREET, BY THE CONTRACTOR, IN ACCORDANCE WITH THE TOWN OF NEWBURY STANDARDS. THE PROPOSED GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
- 5. FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
- 6. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED
- 8. TEST PITS SHALL BE REQUIRED TO DETERMINE SUBSURFACE SOILS AND ESTABLISH MEAN HIGH GROUNDWATER ELEVATION PRIOR TO ORDERING AND INSTALLATION OF STORMWATER MANAGEMENT SYSTEM COMPONENTS. ADJUSTMENTS TO SYSTEM MAY BE REQUIRED PER TEST RESULTS.
- 9. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
- 10. TOWN OF NEWBURY RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE TOWN OF NEWBURY DRAIN AND SEWER SYSTEMS. A DYE TEST SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF AN OCCUPANCY
- 11. PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 12. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 13. TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE TOWN OF NEWBURY MUNICIPAL STANDARDS.
- 14. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- 15. NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.

PROPOSED GRAVEL

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NORTH



Somerville - Quincy - Newburyport www.dci-ma.com OWNER: THE COTTAGES COMMERCIAL, LLC

ARCH:
JOE THE ARCHITECT
343 MEDFORD ST, SUITE 4C

14 PLUM ISLAND BLVD.

NEWBURY, MA 01951

SOMERVILLE, MA 02145

<u>LANDSCAPE:</u>
MICHAEL D'ANGELO

LANDSCAPE ARCHITECTURE LLC 732 EAST BROADWAY #3 BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD NEWBURY, MA.

PROJECT INFO

REV DESCRIPTION DATE



STAMP:

LAYOUT &
MATERIALS
PLAN

SHEET NAME:

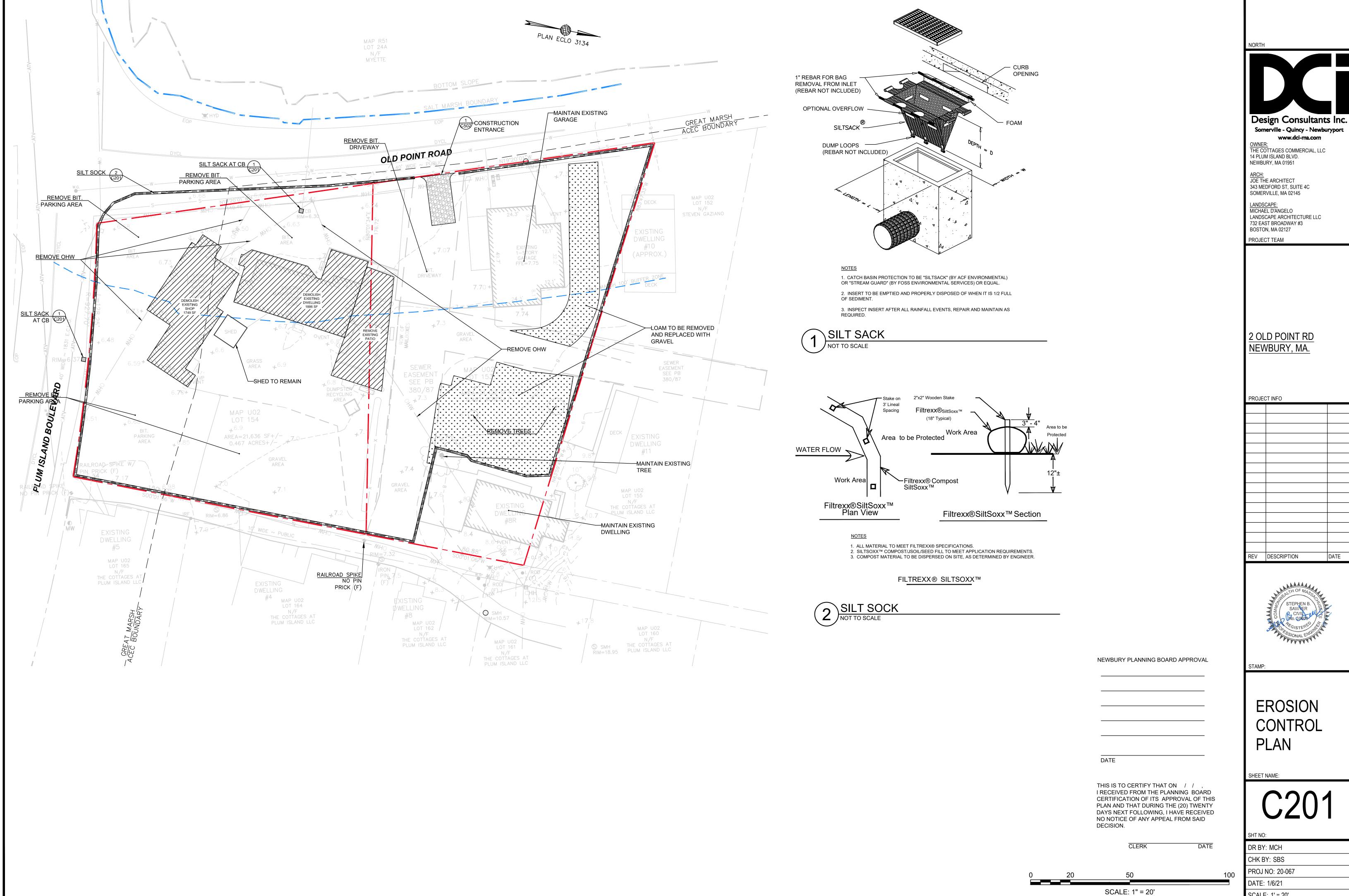
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DD DV: MOI

DR BY: MCH
CHK BY: SBS

PROJ NO: 20-067 DATE: 1/6/21

SCALE: 1" = 20'



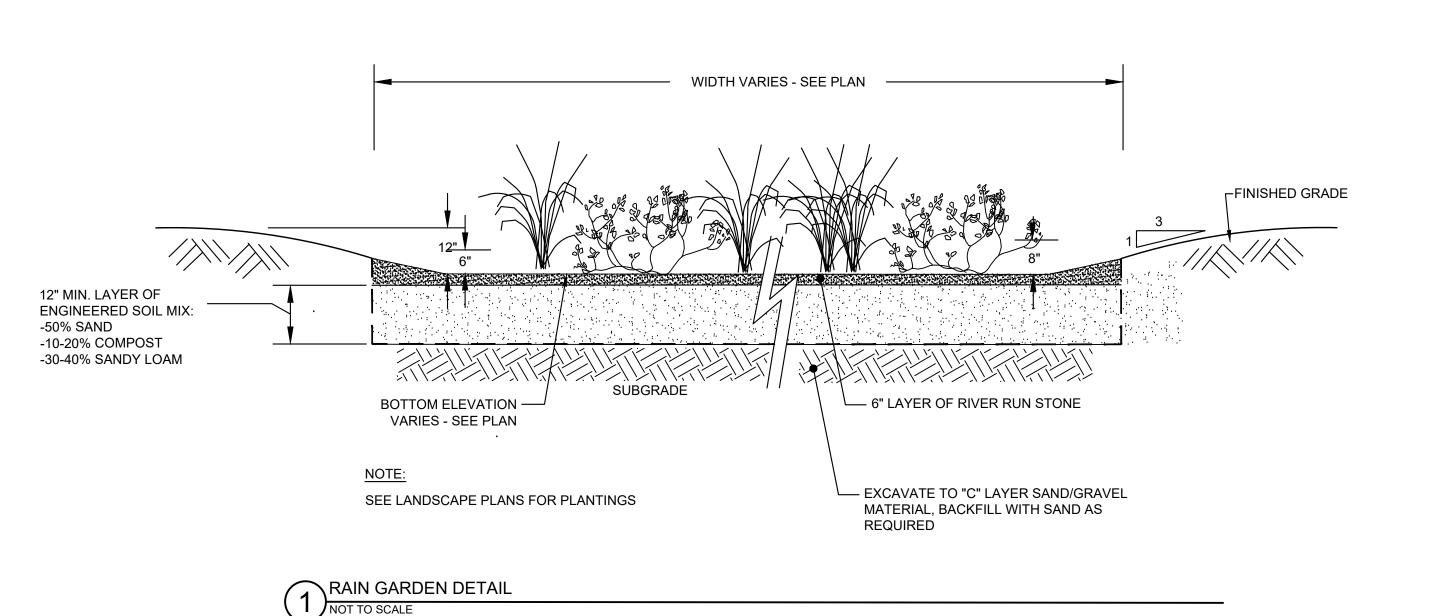
Somerville - Quincy - Newburyport www.dci-ma.com

DATE



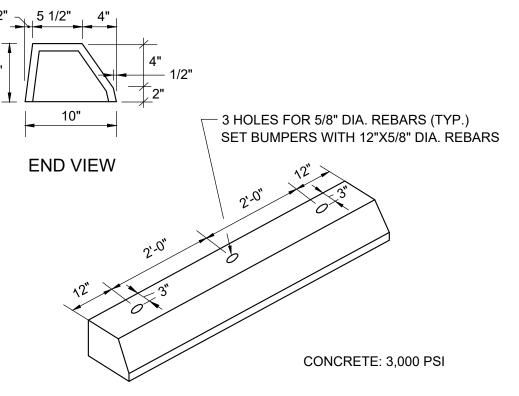
EROSION CONTROL

SCALE: 1' = 20'



1½" TOP COURSE MHD M3.11.03 _ 2" BINDER MHD M3.11.03 -8" GRAVEL OR PROCESSED **ROADWAY BASE** -COMPACTED SUBGRADE (STRIP LOAM AND ORGANICS) - COMMON FILL NOTE: 1. SEE SITE LAYOUT PLAN FOR PAVEMENT WIDTH AND LOCATION. 2. SEE GRADING PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.

\BITUMINOUS CONCRETE PAVEMENT NOT TO SCALE



3 PRE-CAST CONCRETE WHEEL STOP

GROUT & SLOT

——24" DIA.—

OPENINGS

4" PRECAST

BAFFLE

REINFORCEMENT PER ASTM

POUR IN-PLACE - 3000 PSI

CEMENT CONCRETE

SUPPORT COLLAR

BSMT FLOOR

96" DIA. OUTLET

1" TAPER -

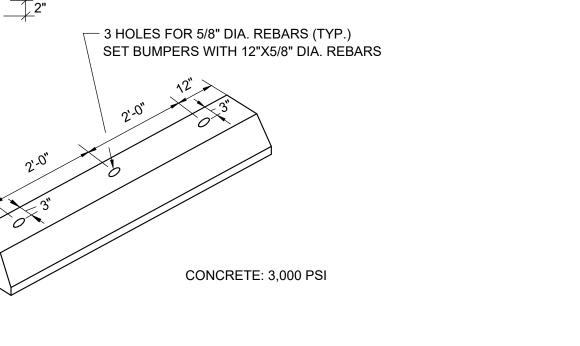
CONC —

- 6" SANITARY

SEE NOTE 4

TEES

<u>PLAN VIEW</u>



—1/3 LENGTH-

C1227-93.

FRAME &

COVER PER

L GROUT & SLOT

— BWSC TYPE-B5 / ADJUST TO GRADE WITH

5'-11"

TYPE SM BRICK MASONRY

- 6" MIN TOP OF TEE TO

6" DIA. INLET

CEILING OF CHAMBER

BOSTON, MA 02127 PROJECT TEAM

Design Consultants Inc.

Somerville - Quincy - Newburyport

www.dci-ma.com

OWNER: THE COTTAGES COMMERCIAL, LLC

14 PLUM ISLAND BLVD.

NEWBURY, MA 01951

ARCH: JOE THE ARCHITECT

<u>LANDSCAPE:</u> MICHAEL D'ANGELO

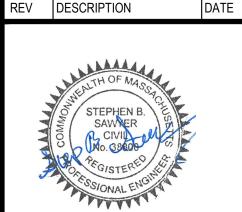
732 EAST BROADWAY #3

343 MEDFORD ST, SUITE 4C SOMERVILLE, MA 02145

LANDSCAPE ARCHITECTURE LLC

2 OLD POINT RD NEWBURY, MA

PROJECT INFO



CIVIL **DETAILS**

SHEET NAME:

DR BY: MCH CHK BY: SBS PROJ NO: 20-067

DATE: 1/6/21

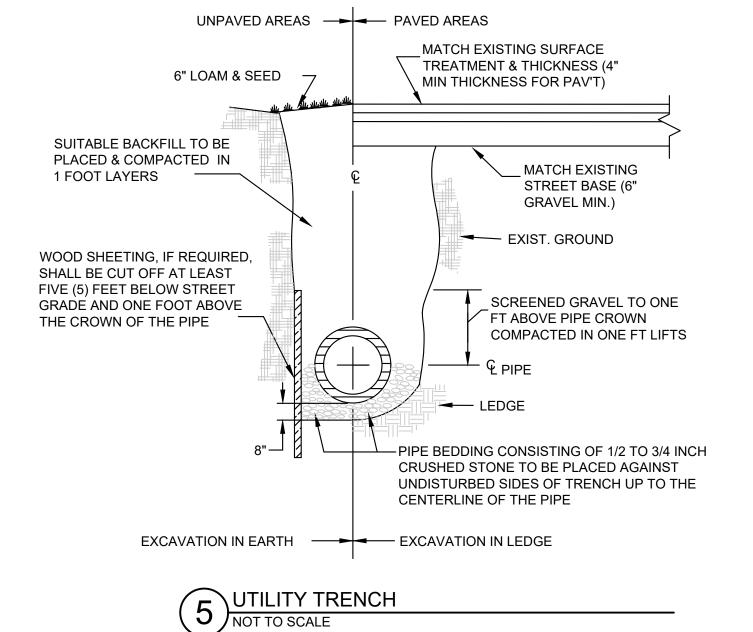
SCALE: NTS

HANDICAP SYMBOL **INSTALL R7-8** (SYMBOL PAINTED WHITE, (AS SHOWN ON THE PLAN) BLUE IN BACKGROUND) TO BE CENTERED IN SPACE 2'-0" (TYP) 6" WIDE PAINTED WHITE LINES (TYP) 4" WIDE PAINTED WHITE LINES, 45° ANGLE (TYP) 9.00' 9.00' STANDARD HANDICAP 8' FOR VAN PARKING STALL PARKING STALL

1. ALL PAINT SHALL BE FAST DRYING WHITE TRAFFIC PAINT, MEET THE REQUIREMENTS OF AASHTO M248-TYPE N. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.

2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT.

HANDICAP PARKING STALL



NEWBURY PLANNING BOARD APPROVAL

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_ 3/4" CRUSHED <u>SECTION VIEW</u> NOTES: 1. INSTALLATION OF THE GREASE TRAP SHALL COMPLY WITH TITLE 5 OF THE STATE ENVIRONMENTAL CODE 310 CMR 15.230, AND ALL APPLICABLE REGULATIONS OF THE BOSTON WATER & SEWER COMMISSION. THE TANK SHALL BE DESIGNED FOR H-20 LOADING.

2. THE GREASE TRAP SHALL BE INSTALLED ON A STABLE LEVEL BASE THAT HAS BEEN MECHANICALLY COMPACTED ONTO WHICH 6 INCHES OF CRUSHED STONE HAS BEEN PLACED.

3. SANITARY TEES SHALL BE SCHEDULE 40 PVC PROPERLY SUPPORTED BY A HANGER STRAP OR OTHER DEVICE. 4. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN. PARGE INSIDE AT THE JOINT AND THE INLET AND

OUTLET PIPES WITH A 1/4" LAYER OF CEMENTITIOUS TYPE WATERPROOFING MATERIAL. 5. TEST THE TANK FOR WATERTIGHTNESS BEFORE BACKFILLING: MAINTAIN FULL WITH NO DROP IN 24 HOURS.

6. PROVIDE TANK EXTENSIONS, RISERS AND MANHOLE FRAMES AND COVERS TO GRADE OVER THE INLET AND OUTLET TEES.

7. SUITABLE ARRANGEMENTS TO BE MADE WITH ARCH TO ALLOW CLEANING TRUCK HOSE ACCESS DIRECT THROUGH BSMT WALL TO TRUCK PARKED OUTSIDE ON BOYLESTON STREET. PUMP LOCATED IN TANK MAY BE REQUIRED.

2500 GALLON GREASE TRAP (H-20 DESIGN)

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED:

- 1. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
- 2. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
- 3. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 60 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:

- a. TEMPORARY SEEDING.
- b. MULCHING.
- c. JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED.

TIMING OF CONTROLS/MEASURES

OF AT LEAST THREE FEET.

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE INLET SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

SPILL CLEAN-UP & NOTIFICATION PROCEDURES

BE PREPARED TO CONTAIN SPILLS TO PREVENT SPREADING. SPILL KITS ARE RECOMMENDED TO BE KEPT ON HAND BY ANYONE WORKING ON SITE. SPILL CLEANUP MATERIALS RECOMMENDED TO BE KEPT ON HAND MAY INCLUDE; SORBENT MATERIALS SUCH AS CLAY (KITTY LITTER), POLYPROPYLENE BOOMS AND PADS, RAGS AND SAWDUST TO CONTAIN SPILLS IMMEDIATELY.

THE FOLLOWING ACTIONS ARE TO BE TAKEN IF A SPILL OCCURRENCE:

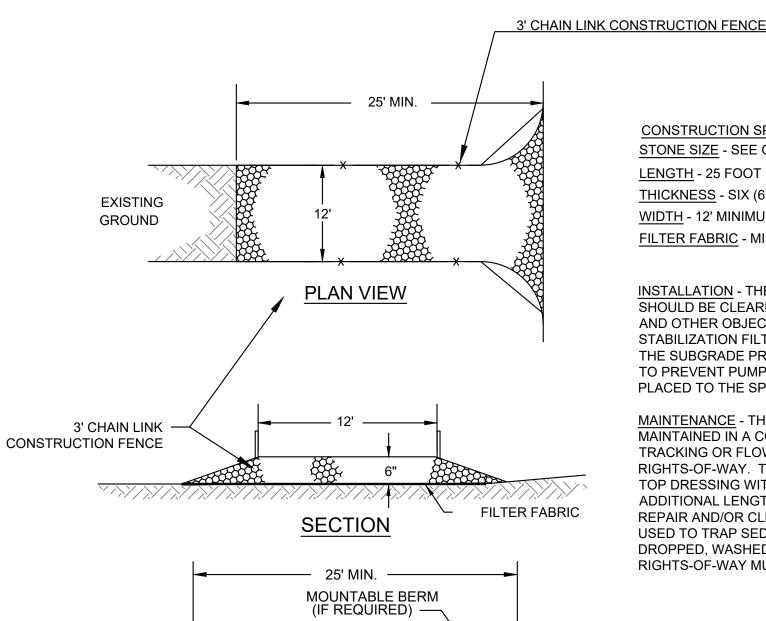
- 1. CONTAIN THE SPILL IMMEDIATELY, IF SAFE TO DO SO.
- WEAR PERSONAL PROTECTIVE EQUIPMENT (PPE), IF NECESSARY & WHEN TIME ALLOWS.
- 3. CONTAIN THE SPILL USING ABSORBENT SOCKS OR BOOMS TO MINIMIZE THE EXTENT OF THE SPILL.
- 4. PROTECT SENSITIVE RECEPTORS SUCH AS DRAINS, STORM DRAINS, SURFACE WATER BODIES, AND MINIMIZE THE AMOUNT
- 5. BLOCK OFF THE SPILL AREA WITH "CAUTION" TAPE. THE AREA SHOULD CONSIST OF THE ENTIRE SPILL AREA PLUS A BUFFER
- 6. FOR SPILLS LESS THAN 5 GALLONS ON AN IMPERVIOUS SURFACE, ATTEMPT TO CONFINE AND CLEAN THE SPILL.
- 7. FOR SPILLS GREATER THAN 5 GALLONS, ATTEMPT TO CONFINE AND CALL A REMEDIATION CONTRACTOR IF ASSISTANCE IS REQUIRED WITH PRODUCT RECOVERY AND CONTAINMENT.
- 8. CORROSIVE SPILLS SHOULD BE NEUTRALIZED USING AN APPROPRIATE NEUTRALIZING AGENTS.
- 9. CLEAN UP THE SPILL FROM THE PERIMETER INWARD USING AN APPROPRIATE ABSORBENT (CLAYS, PADS, PILLOWS, ETC).
- 10. COLLECT ALL CONTAMINATED MEDIA IN DRUMS, IF QUANTITIES PERMIT.
- 11. CLEAN ALL REUSABLE EQUIPMENT USING RAGS AND CLEANERS APPROPRIATELY.
- 12. DISPOSE OF ALL DISPOSABLE EQUIPMENT (e.g. PPE) IN DRUMS.
- 13. WASH HANDS AND OTHER BODY SURFACES THAT MAY HAVE CONTACTED THE SPILLED MATERIAL.
- 14. AFTER THE SPILL HAS BEEN CLEANED UP, PROVIDE WRITTEN DOCUMENTATION OF THE SPILL AND REPORT TO THE CITY, IF REQUIRED.

ADDITIONAL NOTES FOR WINTER CONSTRUCTION

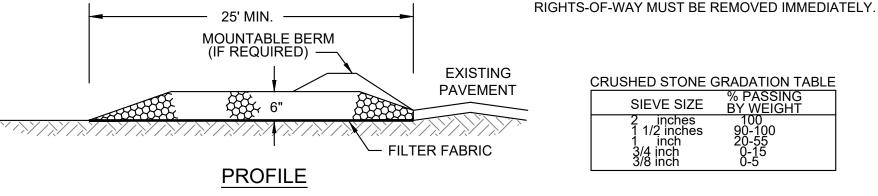
- 1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.
- 2. AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

WASTE DISPOSAL

- 1. WASTE MATERIALS
 - A. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- 2. HAZARDOUS WASTE
 - A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- 3. SANITARY WASTE
 - A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.



CONSTRUCTION SPECIFICATIONS STONE SIZE - SEE GRADATION TABLE <u>LENGTH</u> - 25 FOOT MINIMUM. THICKNESS - SIX (6) INCHES (MINIMUM). <u>WIDTH</u> - 12' MINIMUM FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL. **INSTALLATION** - THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SUBGRADE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES





STABILIZED CONSTRUCTION ENTRANCE

1. SPECIFICATIONS

- A. AGGREGATE SIZE: USE 1.5-INCH TO 3-INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- B. AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
- C. WIDTH: TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS. D. LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET.
- GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.

MAINTENANCE

A. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED,

DROPPED, WASHED OR TRACKED ONTO PUBLIC

WASTE DISPOSAL

- WASTE MATERIALS
 - A. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- 2. HAZARDOUS WASTE
 - A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.

SANITARY WASTE

A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

2 OLD POINT RD NEWBURY, MA

Design Consultants Inc.

Somerville - Quincy - Newburyport

www.dci-ma.com

THE COTTAGES COMMERCIAL, LLC

14 PLUM ISLAND BLVD.

NEWBURY, MA 01951

JOE THE ARCHITECT

SOMERVILLE, MA 02145

732 EAST BROADWAY #3

LANDSCAPE: MICHAEL D'ANGELO

BOSTON, MA 02127

PROJECT TEAM

343 MEDFORD ST, SUITE 4C

LANDSCAPE ARCHITECTURE LLC

PROJECT INFO



DATE

REV DESCRIPTION

CIVIL

SHEET NAME:

THIS IS TO CERTIFY THAT ON / / , I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED

CLERK

NO NOTICE OF ANY APPEAL FROM SAID

NEWBURY PLANNING BOARD APPROVAL

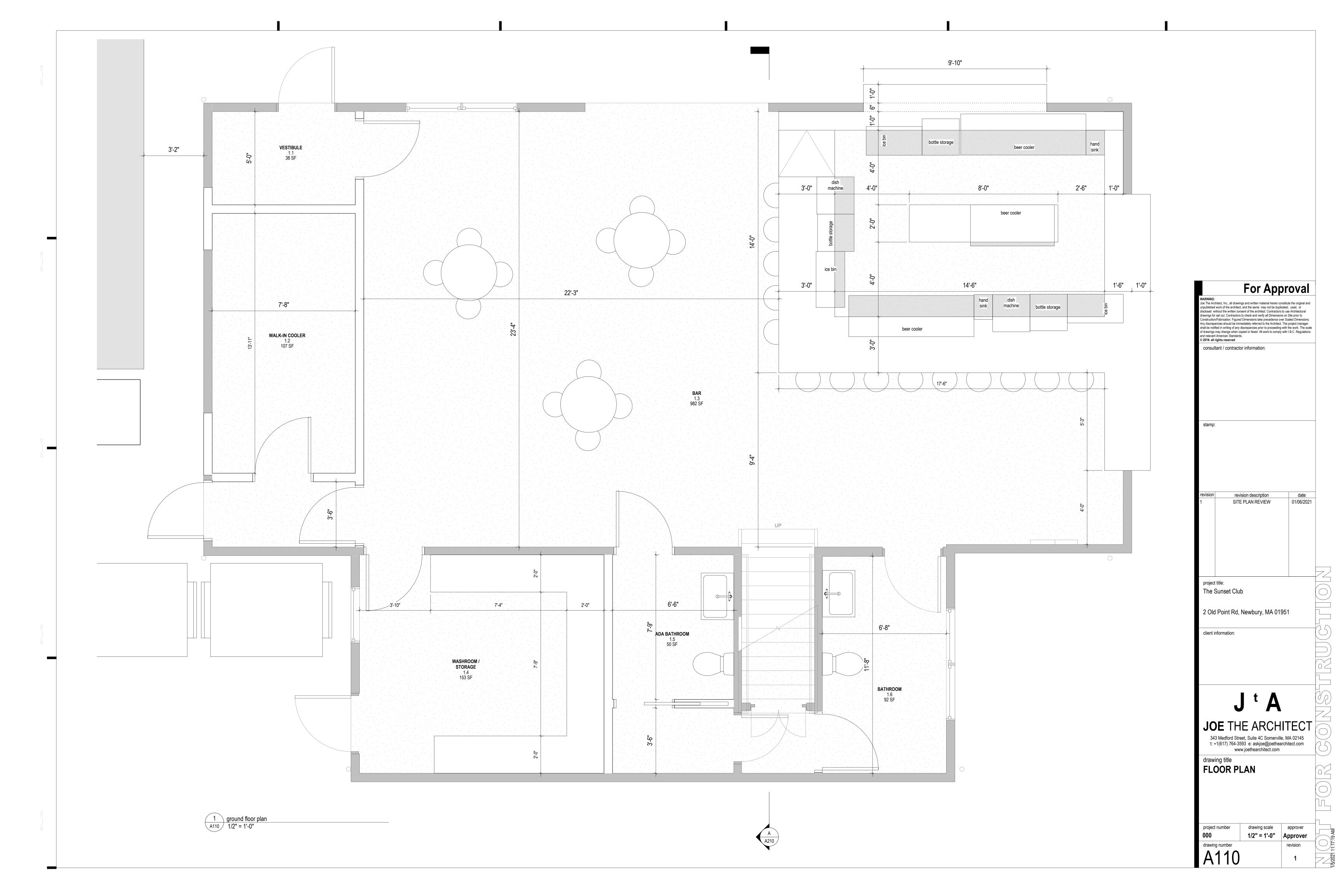
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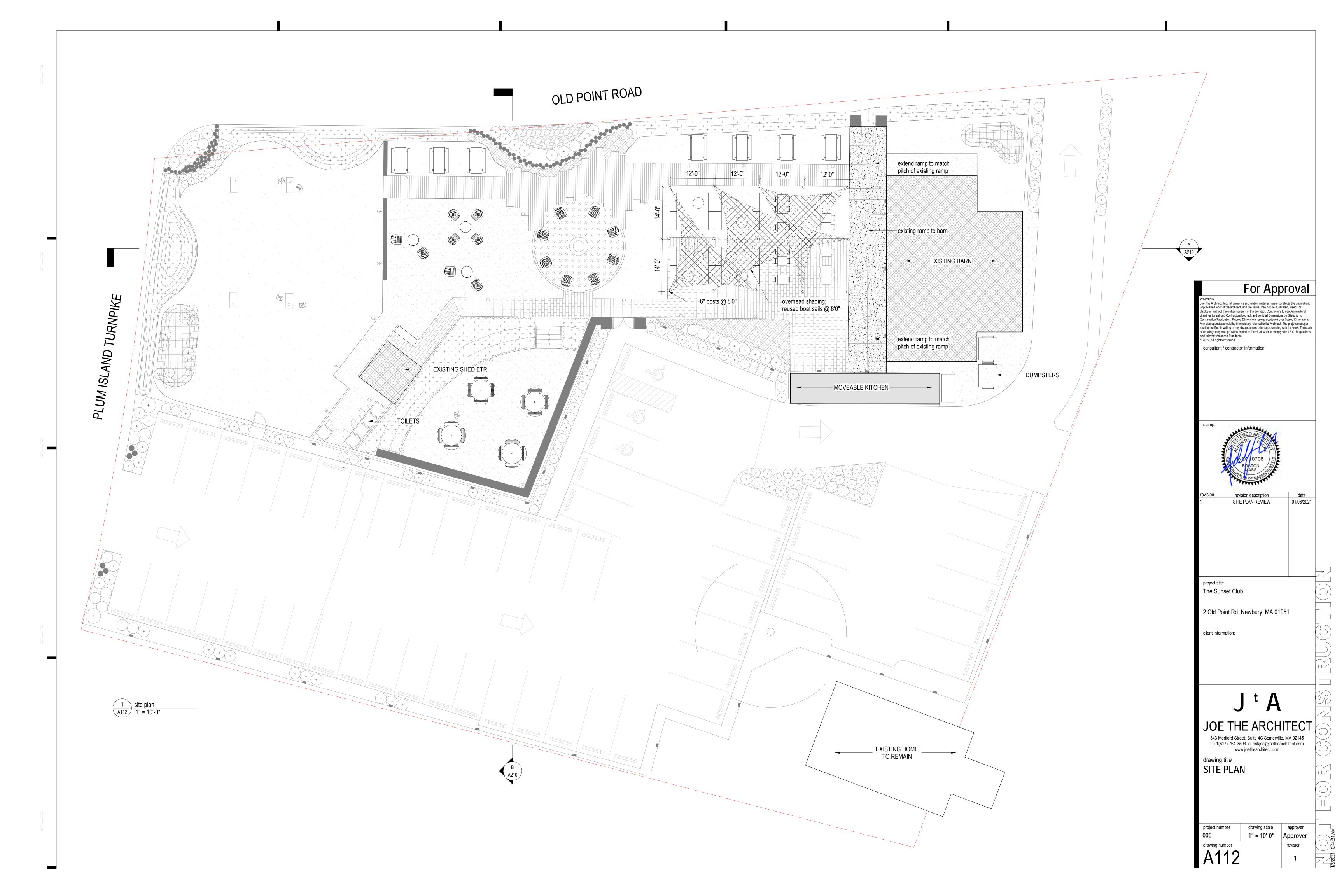
DECISION.

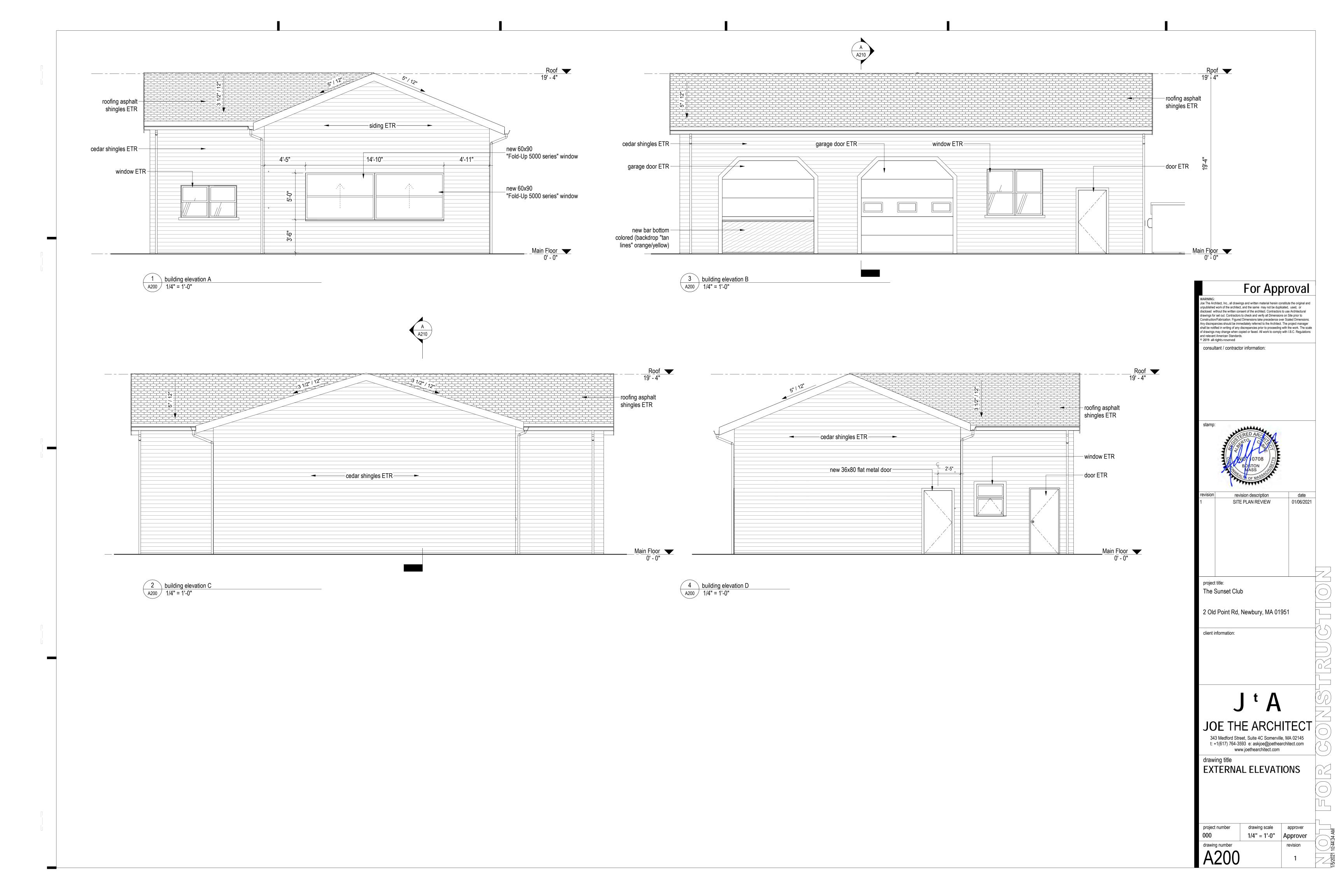
DR BY: MCH CHK BY: SBS

PROJ NO: 20-067 DATE: 1/6/21

SCALE: NTS



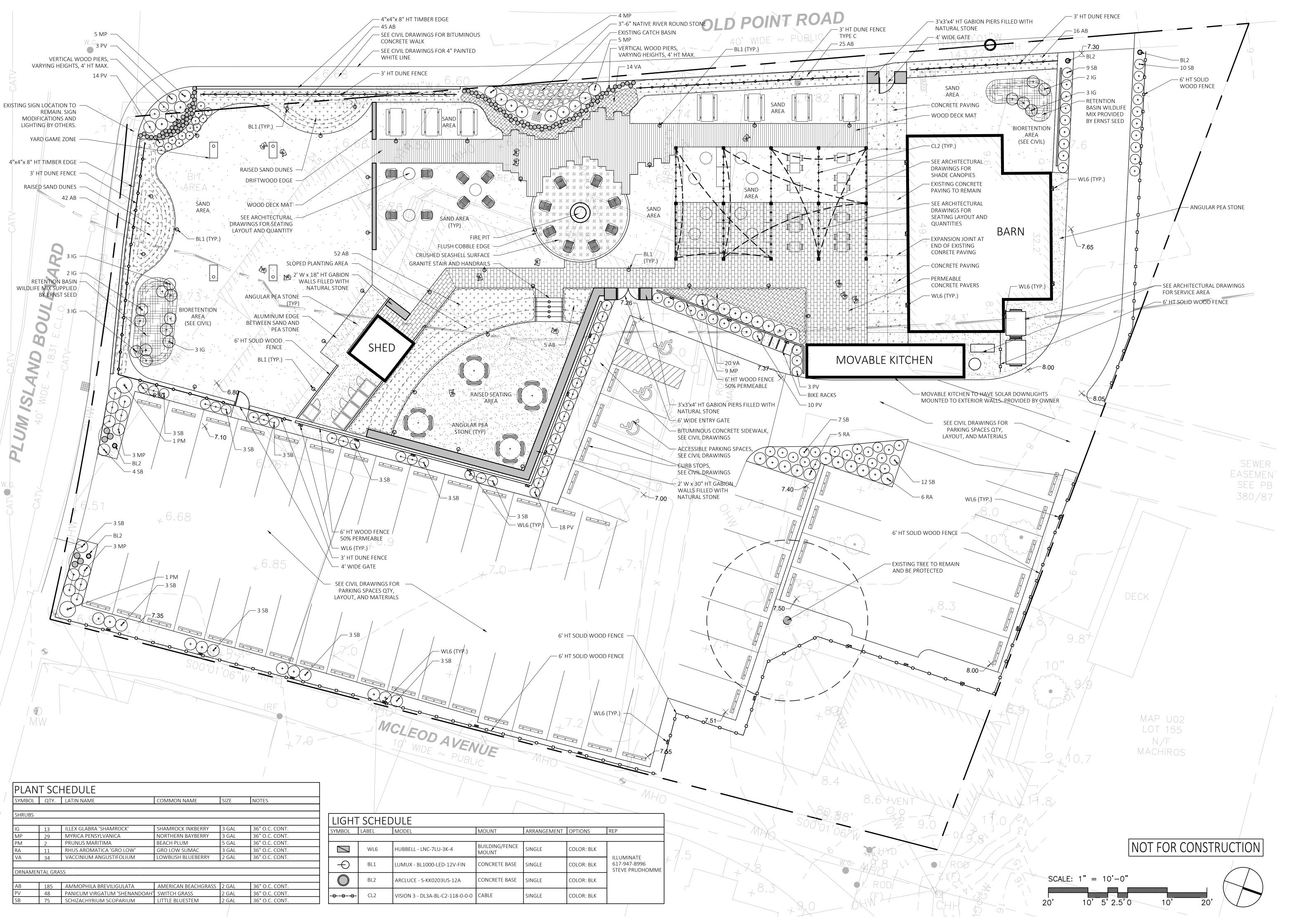






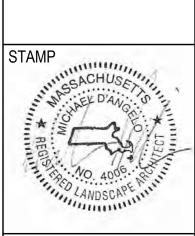
drawing scale approver 1/8" = 1'-0" | Approver drawing number A210

date 01/06/2021



MICHAEL D'ANGELO ANDSCAPE ARCHITECTURE L 732 EAST BROADWAY #3 BOSTON, MA 02127 t. 203.592.4788

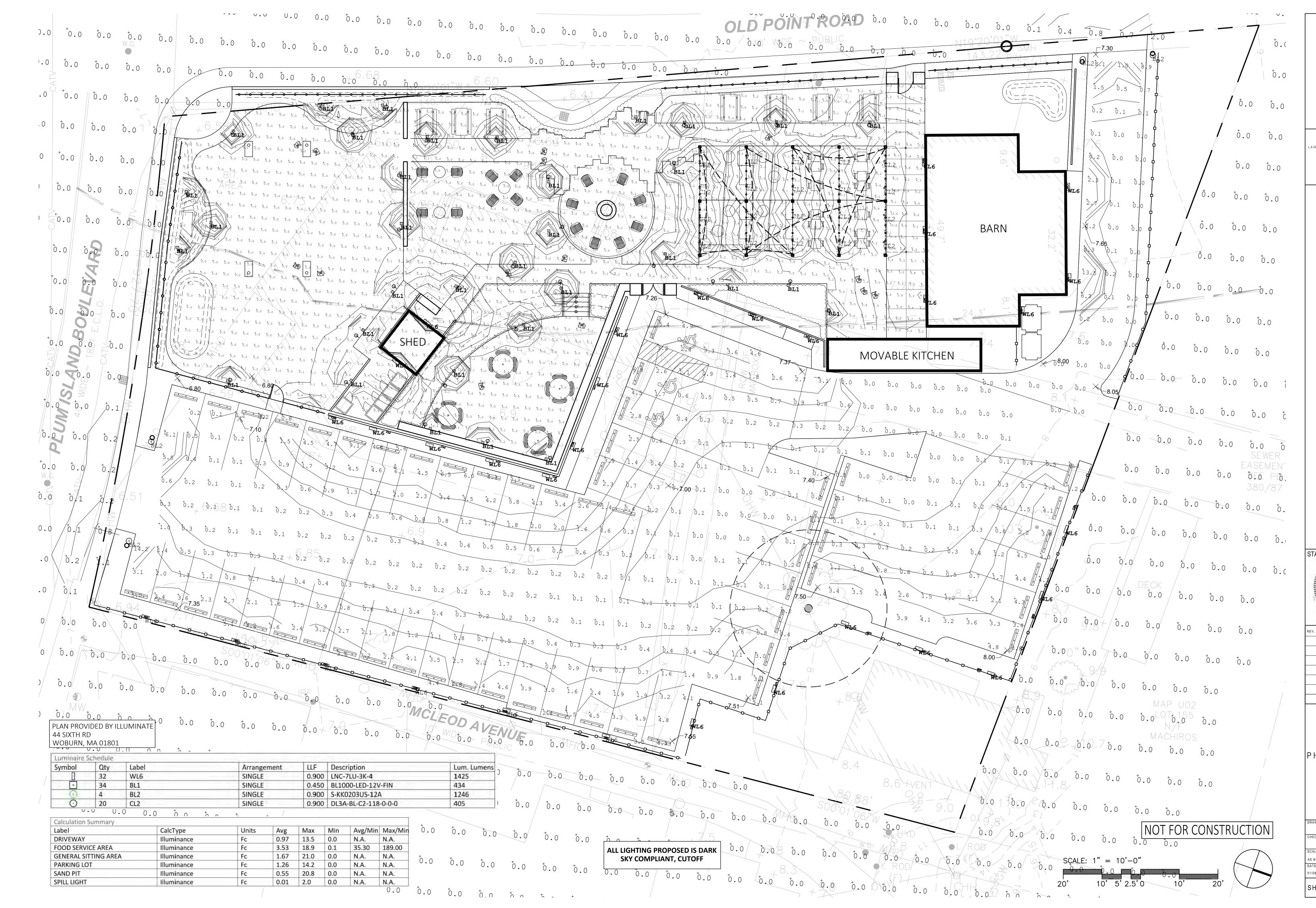
www.m-d-l-a.com

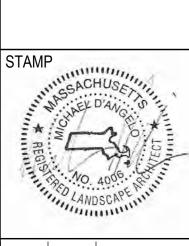


MATERIALS, PLANTING, AND LIGHTING PLAN

AS NOTED DATE

SHEET 1 OF 3 plot date: 12/30/2020



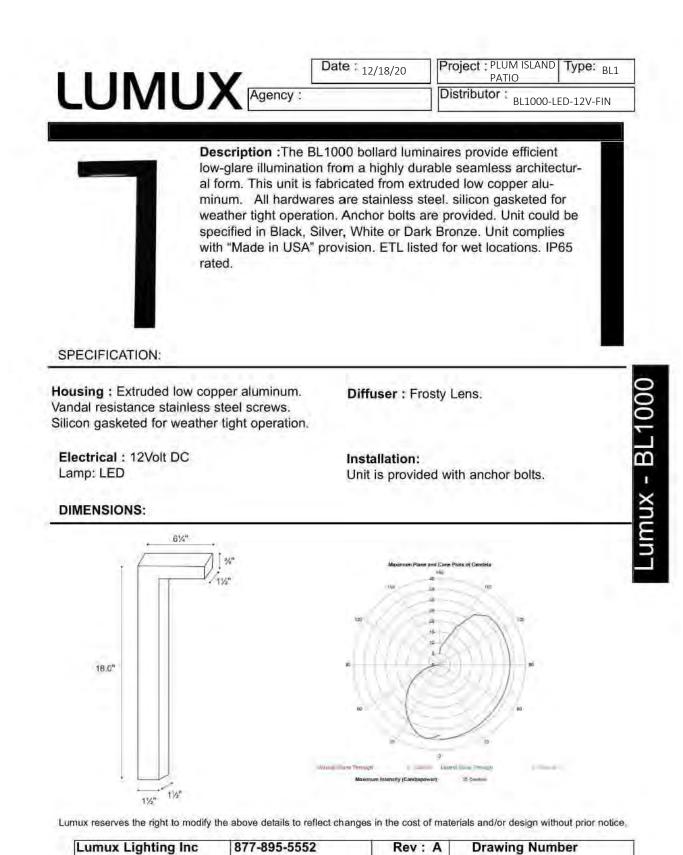


PHOTOMETRIC PLAN

SHEET 2 OF 3

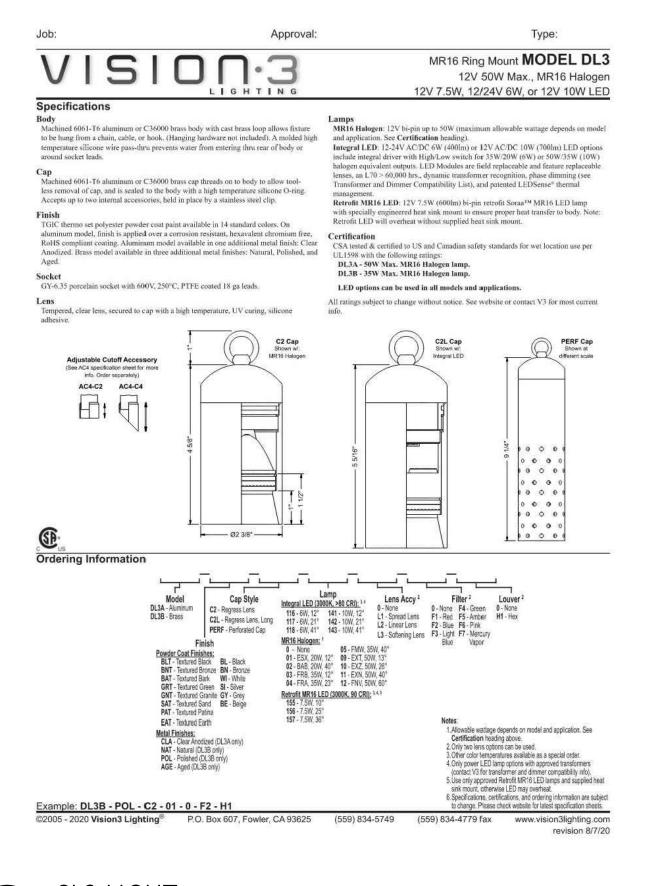


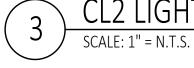
KEY DATA 800-2100 Lumen Range Wattage Range Efficacy Range (LPW) Weights lbs. (kg) 96 (24.5)



BL1000

BL1 LIGHT SCALE: 1" = N.T.S.







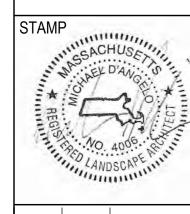
Arcluce North America Inc., 4000 MacArthur Blvd, Suite 600, Newport Beach, CA 92660, Mail: export@arcluce-us.com

SCALE: 1" = N.T.S.

PLANTING:

- 1. DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- 2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT. 3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE
- ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR. 4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO
- PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- 5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- 6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE. 7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- 8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND
- 9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- 10.LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- 11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUNDCOVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6"MIN.
- 12.PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

MICHAEL D'ANGELO ANDSCAPE ARCHITECTURE LI 732 EAST BROADWAY #3 BOSTON, MA 02127 t. 203.592.4788 www.m-d-l-a.com



REV. NO. DATE DESCRIPTION 01/06/21 PLANNING BOARD

> SITE DETAILS

AS NOTED DATE 01/06/21

SHEET

NOT FOR CONSTRUCTION

OF 3 plot date: 12/30/2020