







LOT AREA	40,000 SF
FRONTAGE	200 FT
REQUIRED SETBACKS	
FRONT	50 FT
SIDE	25 FT
REAR	25 FT
LOT COVERAGE	50% MAX

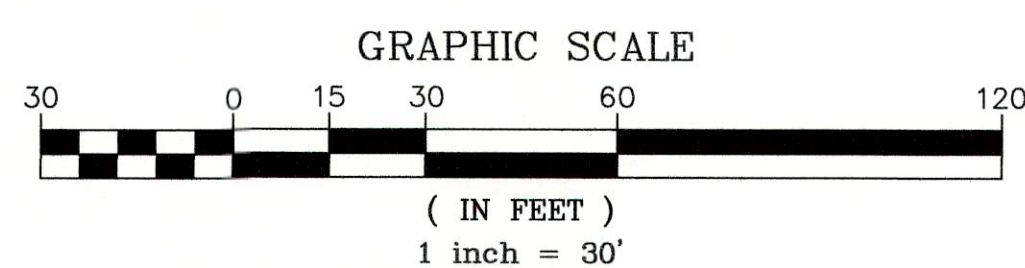
**OWNER OF RECORD**  
SLED ROAD, LLC  
E.S.D.R.D. BK. 37857 PG. 348

**BASIS OF BEARING**  
PLAN BOOK 433 PLAN 69

**PLAN REFERENCES**  
PLAN BOOK 471 PLAN 2




T.B.M.	TEMPORARY BENCHMARK
-- 22 --	EXISTING ELEVATION CONTOUR
D29 	WET FLAG & DESIGNATION
● D.H.	DRILL HOLE
	UTILITY POLE
	GUY WIRE
TP#05-20 	TEST PIT LOCATION & DESIGNATION
FND.	FOUND
N/F	NOW OR FORMERLY
	ASSESSORS MAP#
	PARCEL#



PREPARED FOR

K & R CONSTRUCTION COMPANY LLC

P.O.BOX 163  
BOXFORD, MA 01921

					<div><div><b>MILLENNIUM ENGINEERING, INC.</b> ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528</div></div>		
1	9/30/20	ADDRESS TOWN COMMENTS	C.M.Y.	SCALE: 1"=30'	CALC. BY: P.D.B.	PROJECT: M193680	
NO.	DATE	DESCRIPTION	BY	DATE: JULY 20, 2020	CHKD. BY: J.S.H.		

**PLAN OF LAND**  
IN  
**NEWBURY, MA**

---

SHOWING  
EXISTING CONDITIONS  
AT  
**84 BOSTON ROAD**  
(MAP R-36 LOT 23A)

**EXISTING  
CONDITIONS**

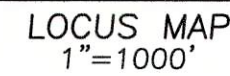
SHEET: 1 OF 5



9/30/20

PROFESSIONAL LAND SURVEYOR DATE

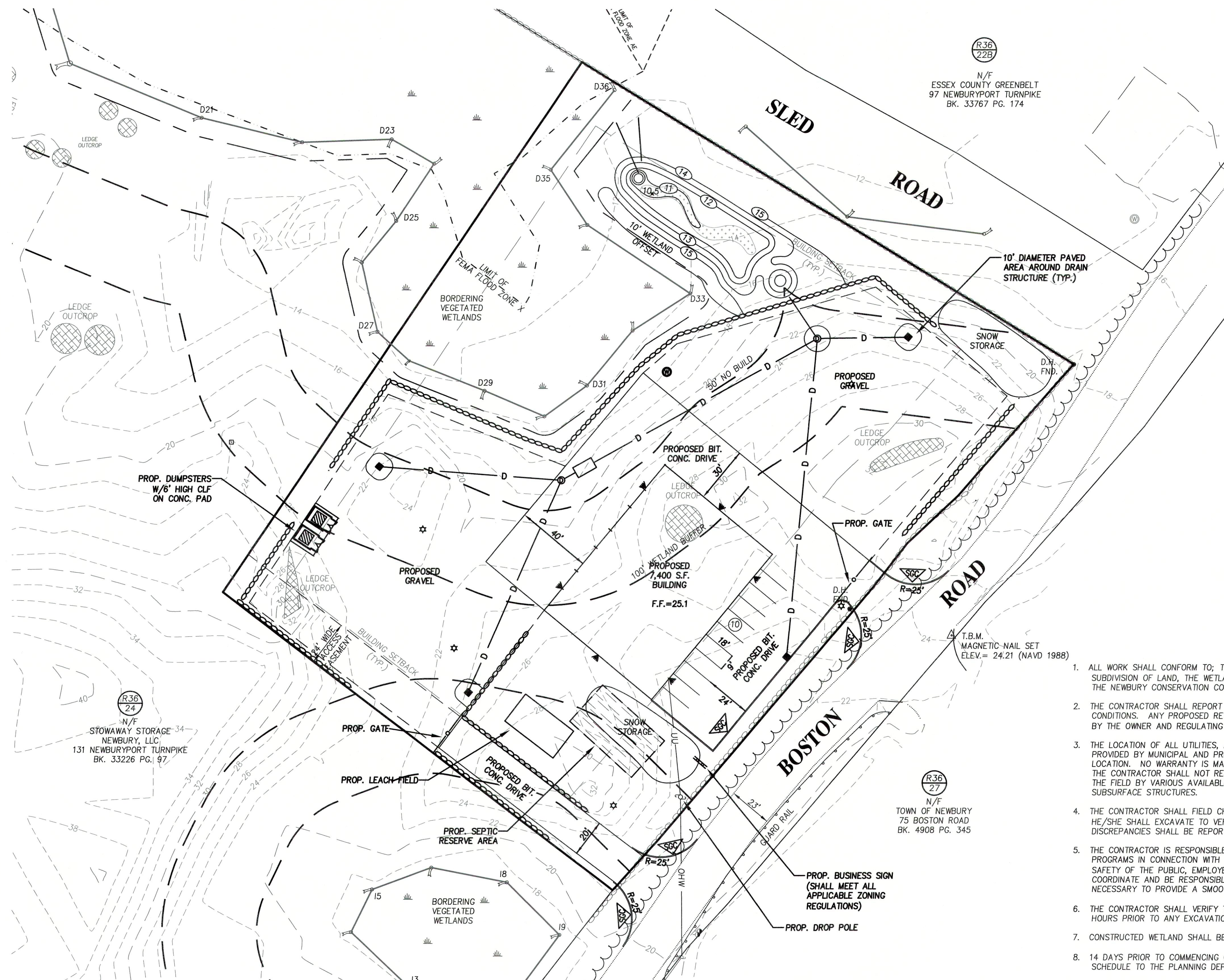




*M.S.P.C.S.*

ZONING DISTRICT – BUSINESS / LIGHT INDUSTRIAL

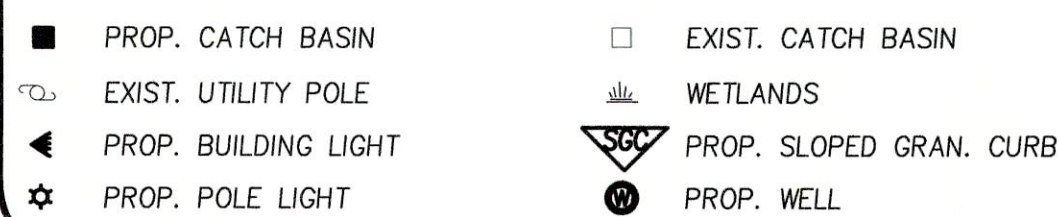
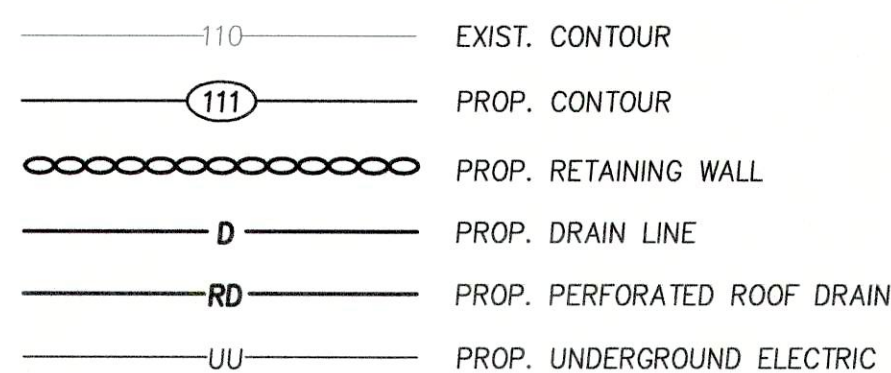
LOT AREA 40,000 SF  
FRONTAGE 200 FT  
REQUIRED SETBACKS  
FRONT 50 FT  
SIDE 25 FT  
REAR 25 FT  
LOT COVERAGE 50% MAX



GENERAL NOTES

1. ALL WORK SHALL CONFORM TO: TO THE NEWBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE NEWBURY CONSERVATION COMMISSION, AND THESE PLANS.
2. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING MUNICIPAL AND/OR STATE AGENCIES.
3. THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
4. THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
5. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
7. CONSTRUCTED WETLAND SHALL BE INSTALLED AND FUNCTIONING PRIOR TO BINDER INSTALLATION.
8. 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
9. TWO HARD COPIES OF AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
10. ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
11. A PORTION OF THE NORTHWEST CORNER OF THE PROPERTY ALONG SLED ROAD (OUTSIDE THE AREA OF WORK) LIES WITHIN ZONE AE ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C 0119G.
12. ELEVATIONS ARE BASED UPON 1988 NAV DATUM.

LEGEND

WAIVERS

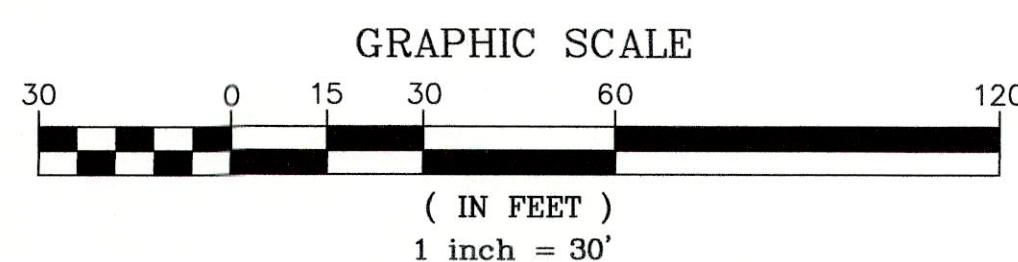
SECTION  
A.4.b.8

## REGULATION

TREES OVER 8" IN CALIPER

WAIVER REQUESTED

PROPOSED TREELINE IS SHOWN IN  
LIEU OF ALL 8" CALIPER TREES

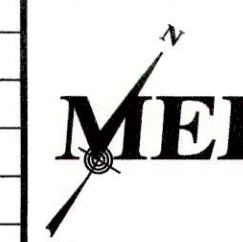


PREPARED FOR

K & R CONSTRUCTION COMPANY LLC

P.O. BOX 163  
BOXFORD, MA 01921

1	9/30/20	ADDRESS TOWN COMMENTS	C.M.Y
NO.	DATE	DESCRIPTION	BY



**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'	CALC. BY: Z.T.J.	PROJECT: M193680
DATE: JUL. 20, 2020	CHKD. BY: E.W.B.	

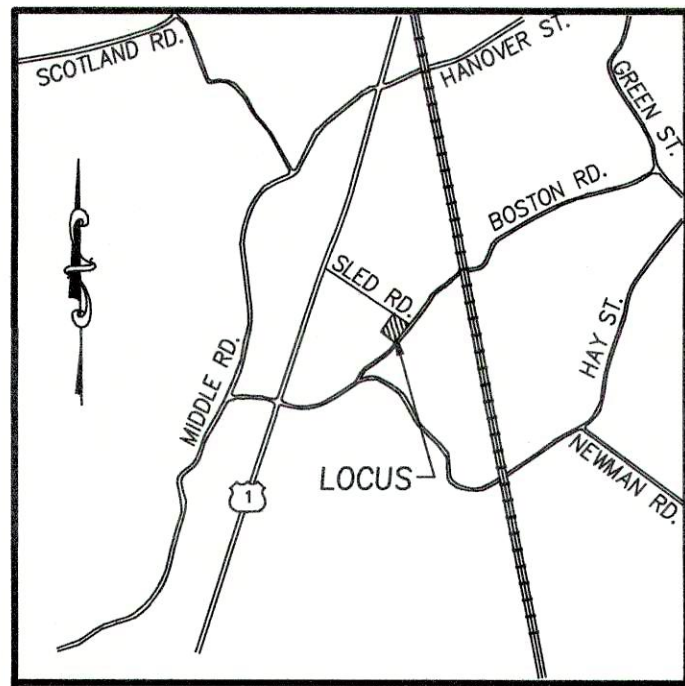
PLAN OF LAND  
IN  
NEWBURY, MA

SHOWING  
PROPOSED CONDITIONS  
AT  
84 BOSTON ROAD  
(MAP R-36 LOT 23A)

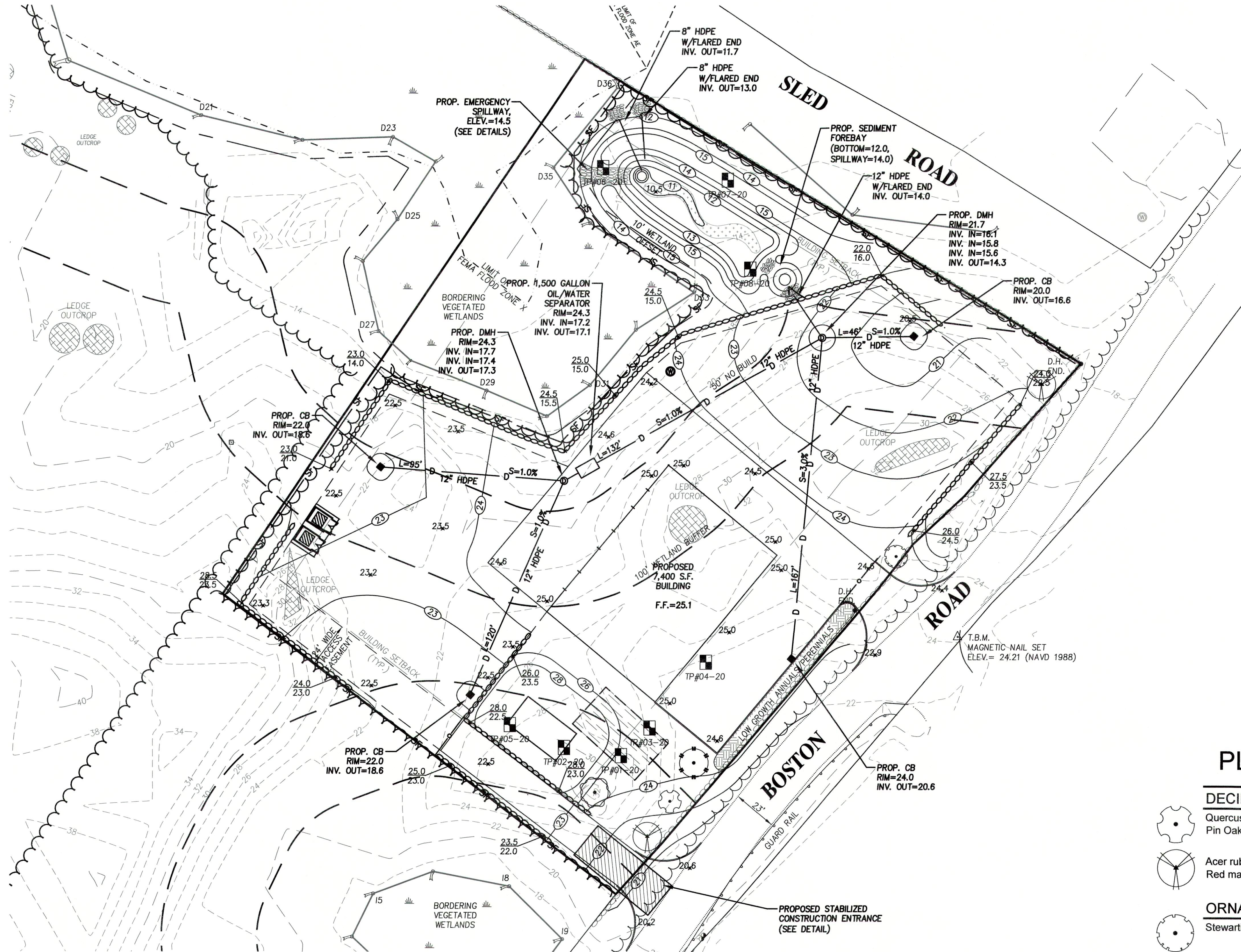
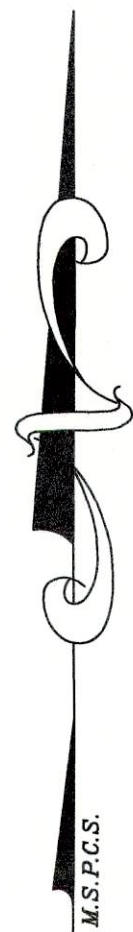
## SITE PLAN

SHEET: 2 OF 5





LOCUS MAP  
1"=1000'

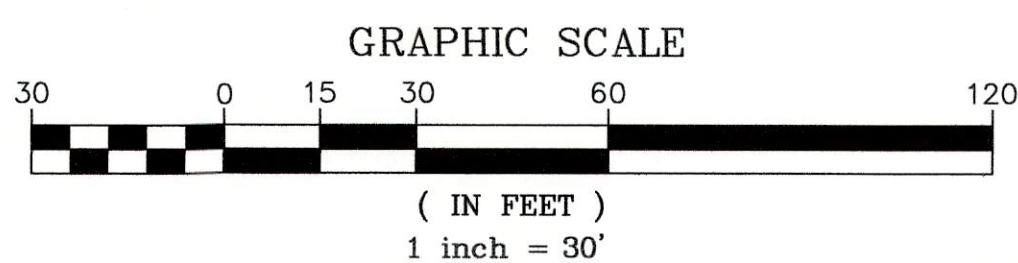


**LEGEND**

- |  |                        |  |                     |
|--|------------------------|--|---------------------|
|  | EXIST. CONTOUR         |  | EXIST. CONTOUR      |
|  | PROP. CONTOUR          |  | EXIST. UTILITY POLE |
|  | PROP. TREELINE         |  | WETLANDS            |
|  | PROP. RETAINING WALL   |  | EXIST. TEST PIT     |
|  | PROP. SILT FENCE       |  |                     |
|  | PROP. CATCH BASIN      |  | EXIST. CATCH BASIN  |
|  | PROP. SPOT GRADE       |  |                     |
|  | PROP. OUTLET STRUCTURE |  |                     |

**PLANT LEGEND**

DECIDUOUS TREES	SIZE	NOTES	QTY
Quercus palustris Pin Oak	2.0" - 2.5" Cal.	Zone: 2 Salt: Medium	1
Acer rubrum Red maple	1.5" - 2.0" Cal.	Zone: 3 Salt: Tolerant	2
ORNAMENTAL TREES	SIZE	NOTES	QTY
Stewartia	1" - 1.5" Cal.	Zone: 4 Salt: Tolerant	1
Cornus Kousa Kousa Dogwood	1" - 1.5" Cal	Zone: 5 Salt: Medium	1
River Birch Single Stem	1" - 1.5" Cal	Zone: 5 Salt: Medium	1



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BOXFORD, MA 01921

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1	9/30/20	ADDRESS TOWN COMMENTS	C.M.Y.

**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=30'	CALC. BY: Z.T.J.	PROJECT: M193680
DATE: JUL. 20, 2020	CHKD. BY: E.W.B.	

**PLAN OF LAND**  
IN  
**NEWBURY, MA**  
SHOWING  
**PROPOSED CONDITIONS**  
AT  
**84 BOSTON ROAD**  
(MAP R-36 LOT 23A)

**GRADING  
PLAN**

SHEET: 3 OF 5





1. WETLAND BERMS SHALL BE CONSTRUCTED OF FILL MATERIAL FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE BERM SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION CC, SC, CH, OR CL AND HAVE AT LEAST 30% PASSING THE #200 SIEVE. MATERIALS USED IN THE OUTER SHELL OF THE BERMS SHALL BE CAPABLE OF SUPPORTING THE VEGETATION SPECIFIED ON THE PLANS.
2. FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED WITH A MINIMUM REQUIRED DENSITY OF NOT LESS THAN 95% OF MAXIMUM DRY DENSITY.
3. PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE MATERIAL (I.E. LEDGE) SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
4. EROSION CONTROL MATTING SHALL BE INSTALLED ON ALL OUTSIDE SLOPES OF STORMWATER BASINS. MATTING SHALL BE A WOVEN JUTE MESH MANUFACTURED BY MACCAFERRI COMPANY, OR APPROVED EQUAL.
5. ALL PIPING WITHIN CONSTRUCTED WETLAND BERMS SHALL INCLUDE ANTI-SEEPAGE COLLARS.



- NOTES:**
1. PLACE SONOTUBES AT GUARD RAIL POST LOCATIONS. CUT GEOGRID AROUND SONOTUBES.
  2. GROUT GUARD RAIL POST INTO SONOTUBES.
  3. PRIOR TO INSTALLATION CONTRACTOR SHALL PROVIDE A STRUCTURAL DESIGN OF THE WALL WHEN GREATER THAN 4' IN HEIGHT. DESIGN SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER CERTIFIED IN MASSACHUSETTS.

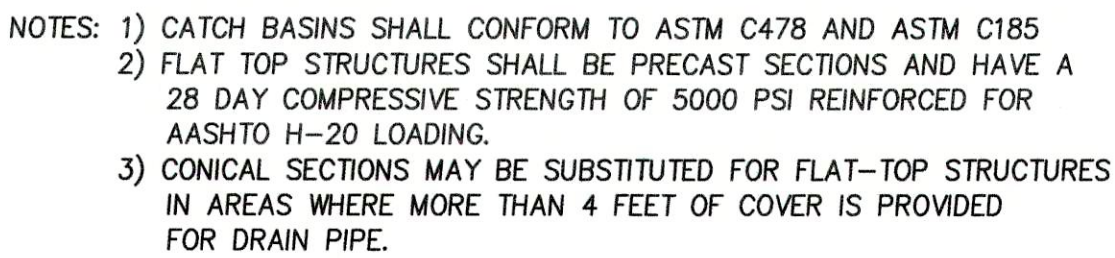
## GRAVITY RETAINING WALL/ GUARDRAIL DETAIL



- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- 2.) PAVEMENT SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- 4.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH A FERTILIZER MATERIAL AND BROUGHT UP TO GRADE, WITH GRAVEL BROWSPAD CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- 5.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE TRACK WILL EFFECTIVELY BE DRAINED.
- 6.) THE CONTRACTOR SHALL REFER TO THE NEWBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, ARTICLES I - VIII.



## PRECAST DRAIN MANHOLE DETAIL



## PRECAST CATCH BASIN DETAIL





- ## STABILIZED CONSTRUCTION

**ENTRANCE**

N.T.S.

## GENERAL EROSION CONTROL NOTES

- ## CONSTRUCTION SEQUENCE

- 
- 1 TO 2 INCH  
WASHED STONE
- FOREBAY OUTLET
- VOLUME OF SEDIMENT FOREBAY
- | DRAINAGE AREA<br>(ACRES) | VOLUME<br>(CU. YD) | VOLUME<br>(CU. FT) | DIMENSIONS<br>(L x W x H) | OUTLET<br>LENGTH |
|--------------------------|--------------------|--------------------|---------------------------|------------------|
| 1.26                     | 17.0               | 459                | 16'x16'x2.0'              | 6.0'             |

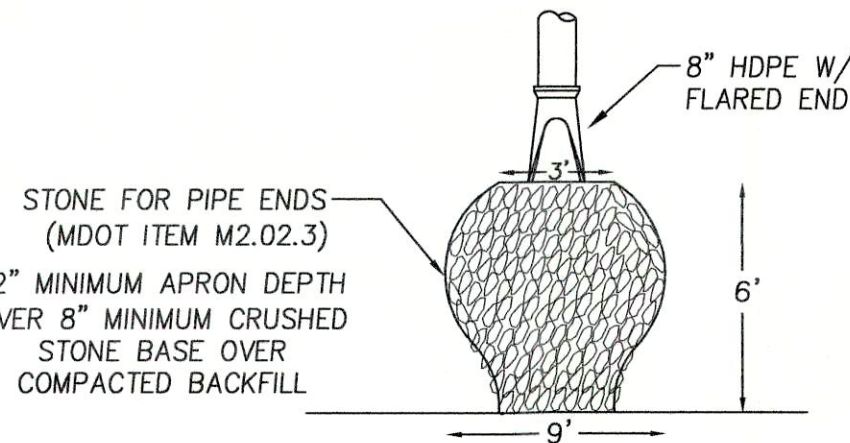


N.T.S.



### PLAN VIEW

N.T.S.



NOTE: GEOSYNTHETIC EROSION CONTROL MAT SHALL BE UNDER ALL RIP-RAP

### TYPICAL RIP-RAP APRON DETAIL

N.T.S.



## DETAIL

N.T.S.



1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
2. TO RESTRICT FLOW OF DEBRIS TO BE MORE VISIBLE, THE SACK CAN BE FULL AND SHOULD BE EMPTIED.
3. TO REMOVE SILTSACK, REMOVE TWO PIECES OF ONE INCH DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
4. TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL POSITION AND PLACE BACK IN CATCH BASIN.
5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

## SILT SACK

## DETAIL

N.T.S.



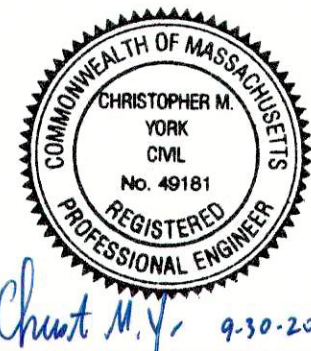
1. POSTS SHALL BE DOUBLED AND COUPLED AT FILTER CLOTH SEAMS.
2. FILTER CLOTH TO BE FASTENED SECURELY TO SUPPORT NETTING WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.

## MAINTENANCE

1. SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON THE SILT FENCE SHALL DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHALL BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.


## SILT FENCE/ HAYBALE INSTALLATION

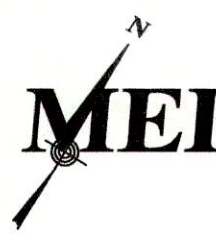
N.T.S.



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1	9/30/20	ADDRESS TOWN COMMENTS	C.M.Y.	SCALE: AS NOTED	DESG. BY: C.M.Y.	PROJECT: M193680	
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ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528


# PLAN OF LAND IN NEWBURY, MA

SHOWING  
PROPOSED SITE IMPROVEMENTS  
AT  
84 BOSTON ROAD  
(MAP R-36 LOT 23A)

## DRAINAGE & EROSION CONTROL DETAILS

SHEET: 5 OF 5





**d#series**

### D-Series Size 0

LED Area Luminaire

Catalog Number

Notes

Type

Hit the tab key to move into the page to see all technical details.

**Introduction**

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

**Specifications**

EPA: 0.95 ft<sup>2</sup> (0.09 m<sup>2</sup>)

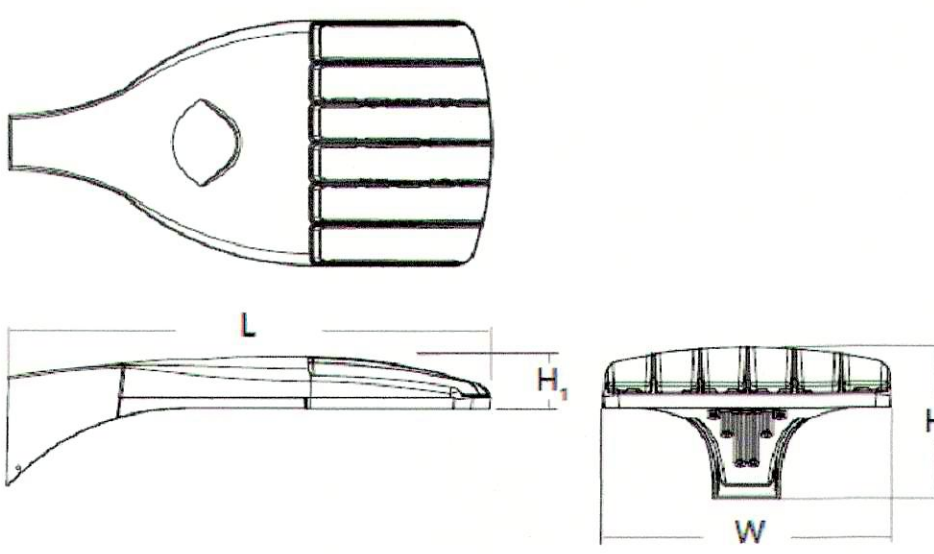
Length: 26" (66.0 cm)

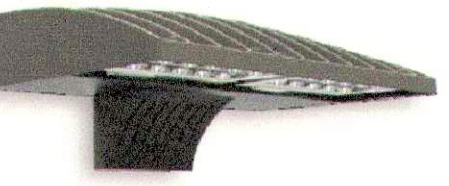
Width: 13" (33.0 cm)

Height<sub>1</sub>: 3" (7.62 cm)

Height<sub>2</sub>: 7" (17.8 cm)

Weight (max): 16 lbs (7.25 kg)





**d#series**

### D-Series Size 1

LED Wall Luminaire

Catalog Number

Notes

Type

Hit the tab key to move into the page to see all technical details.

**Introduction**

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

**Specifications Luminaire**

Width: 13-3/4" (34.9 cm) Weight: 12 lbs (5.4 kg)

Depth: 10" (25.4 cm)

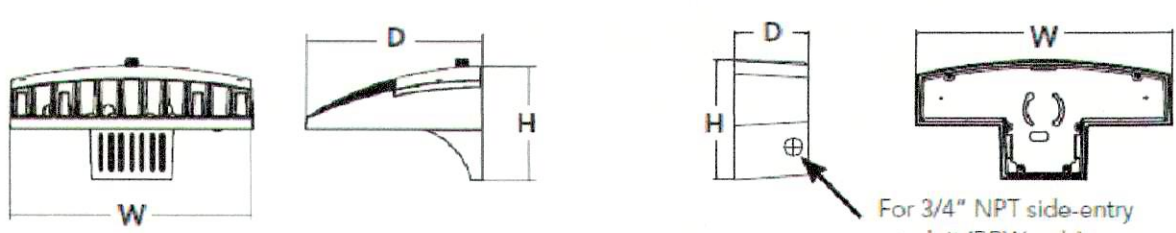
Height: 6-3/8" (16.2 cm)

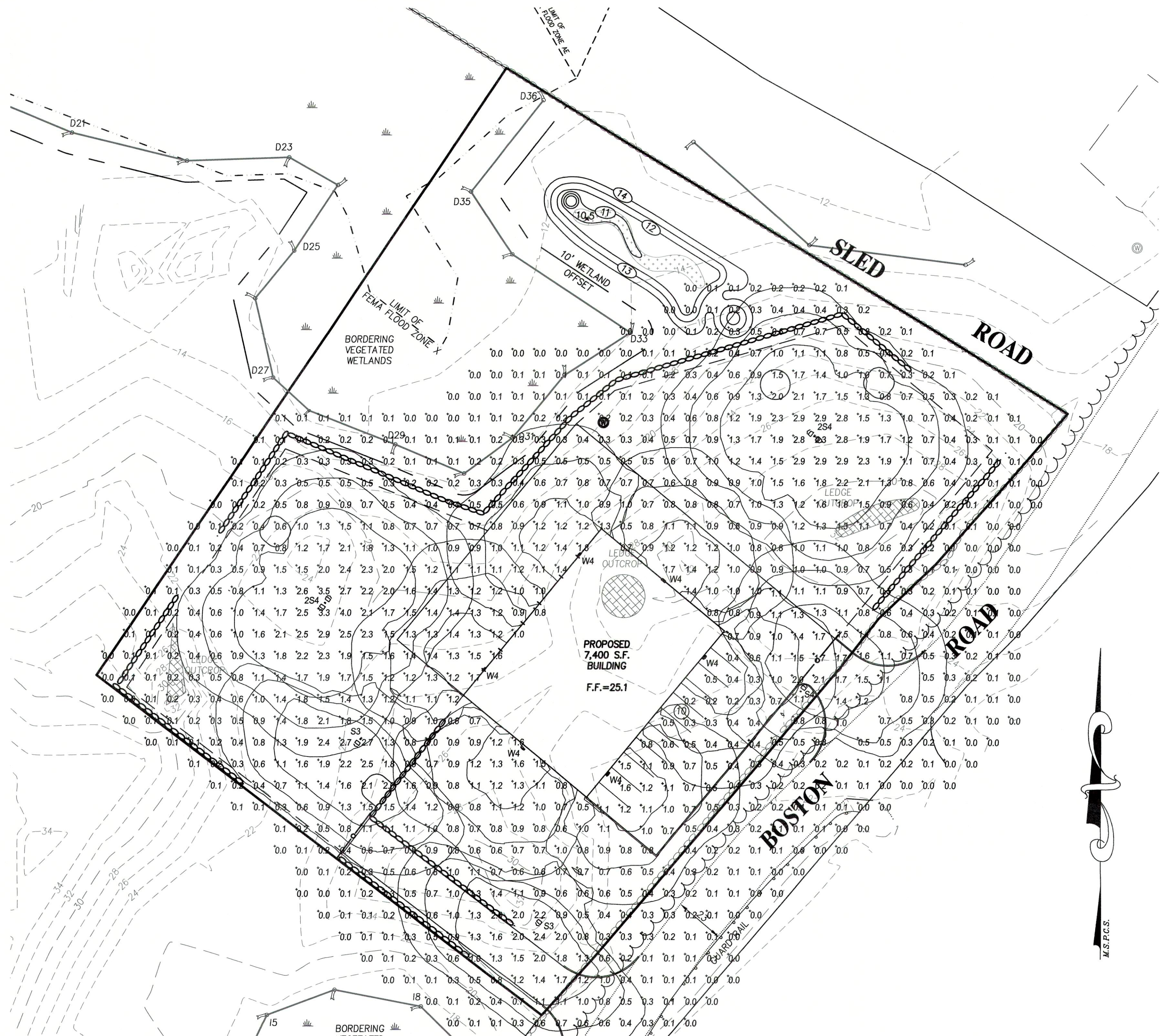
**Back Box (BBW, ELCW)**



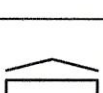

Width: 13-3/4" (34.9 cm) BBW Weight: 5 lbs (2.3 kg)

Depth: 4" (10.2 cm) ELCW Weight: 10 lbs (4.5 kg)

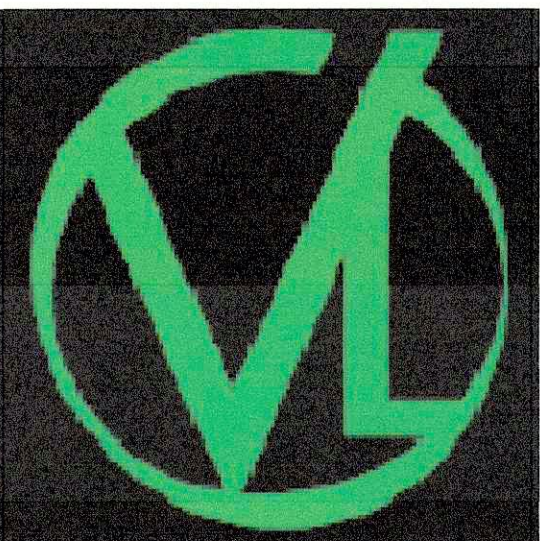
Height: 6-3/8" (16.2 cm)





Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	S3	2	Lithonia Lighting	DSX0 LED P3 40K T3M MVOLT SPA DDBXD with SSS 18 4C DM19AS DDBXD	DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base)	LED	1	DSX0_LED_P3_40K_T3M_MVOL T.ies	8205	0.9	71
	S4	1	Lithonia Lighting	DSX0 LED P3 40K TFTM MVOLT SPA DDBXD with SSS 18 4C DM19AS DDBXD	DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base)	LED	1	DSX0_LED_P3_40K_TFTM_MVO LT.ies	8447	0.9	71
	W4	6	Lithonia Lighting	DSXW1 LED 20C 700 40K TFTM MVOLT DDBXD	DSXW1 LED Wall Pack; mounted at 18ft	LED	1	DSXW1_LED_20 C_700_40K_TFT M_MVOLT.ies	5554	0.9	45.7
	2S4	2	Lithonia Lighting	DSX0 LED P3 40K TFTM MVOLT SPA DDBXD with SSS 18 4C DM28AS DDBXD	DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base)	LED	1	DSX0_LED_P3_40K_TFTM_MVO LT.ies	8447	0.9	142

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Main Parking	+	0.6 fc	4.0 fc	0.0 fc	N/A	N/A
Parking Lot/Main Drive	+	0.9 fc	2.1 fc	0.2 fc	10.5:1	4.5:1



SALISBURY SQUARE CONDOS  
Site Lighting Layout  
At  
84 BOSTON ROAD

Designer  
Heidi G. Connors  
Visible Light, Inc.  
24 Stickney Terrace  
Suite 6  
Hampton, NH 03842  
Date  
7/20/2020  
Scale  
1"=30'  
Drawing No.

Summary

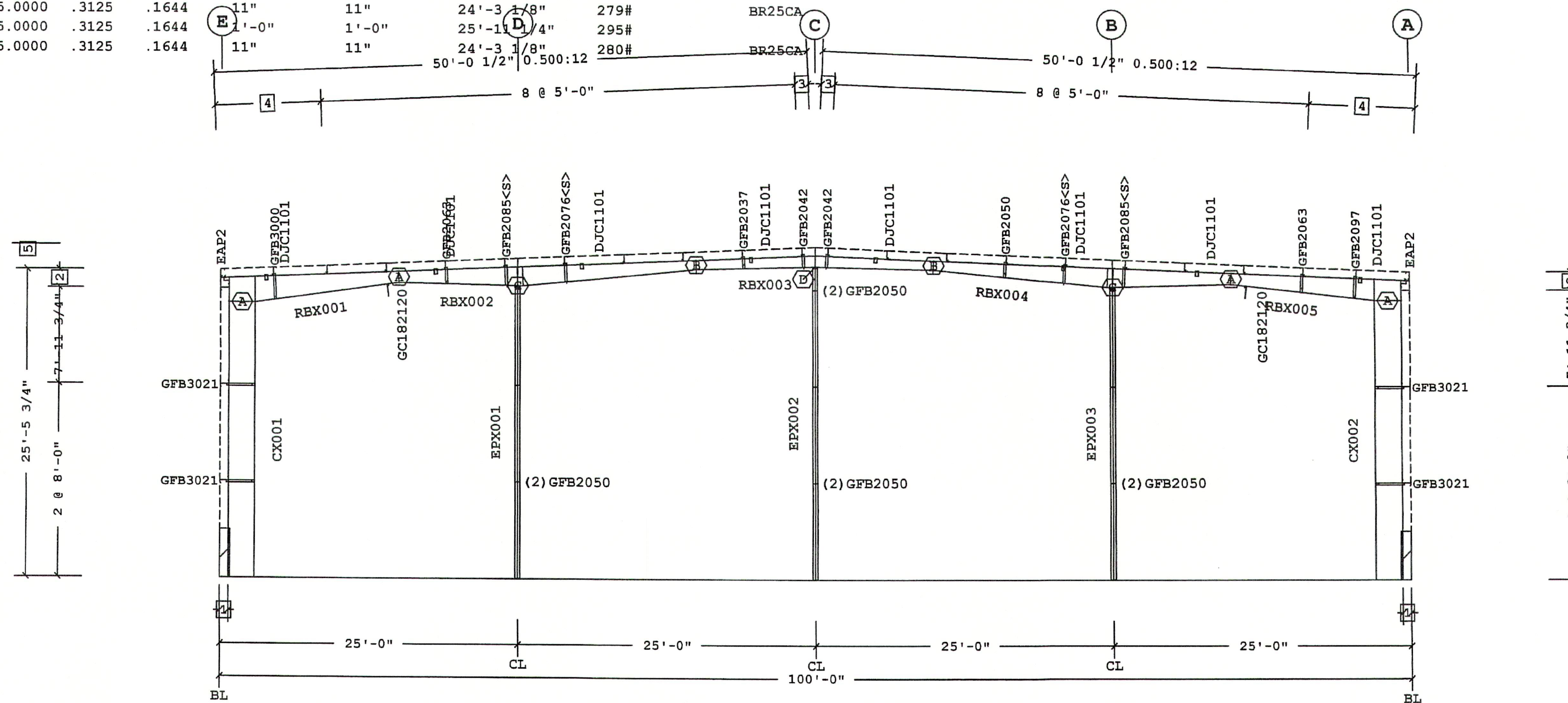


# Frame Member Schedule

Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx. Lgth	Approx. Weight	Detail
CX001	1	5.0000	.1875	.1345	2'-3"	2'-3"	22'-9 1/2"	466#	
RBX001	2	5.0000	.1875	.1345	2'-1"	11"	15'-0"	253#	
RBX002	3	5.0000	.1875	.1345	11"	1'-7"	25'-0 1/4"	343#	
	4	5.0000	.1875	.1345	1'-7"	9"			
RBX003	5	5.0000	.1875	.1345	9"	11"	20'-0"	235#	
	6	5.0000	.1875	.1345	11"	9"			
RBX004	7	5.0000	.1875	.1345	9"	1'-7"	25'-0 1/4"	343#	
	8	5.0000	.1875	.1345	1'-7"	11"			
RBX005	9	5.0000	.1875	.1345	11"	1'-9"	15'-0"	235#	
CX002	10	5.0000	.1875	.1345	2'-3"	2'-3"	23'-1 1/2"	472#	
EPX001	11	5.0000	.3125	.1644	11"	11"	24'-3 1/8"	279#	
EPX002	12	5.0000	.3125	.1644	1'-0"	1'-0"	25'-11 1/4"	295#	
EPX003	13	5.0000	.3125	.1644	11"	11"	24'-3 1/8"	280#	

## Frame Clearances

Horiz. Clearance between members 1(CX001) and 10(CX002): 94'-1"  
 Vert. Clearance at member 1(CX001): 22'-9 1/2"  
 Vert. Clearance at member 10(CX002): 23'-1 1/2"  
 Vert. Clearance at member 11(EPX001): 24'-3 1/16"  
 Vert. Clearance at member 12(EPX002): 25'-11 1/4"  
 Vert. Clearance at member 13(EPX003): 24'-3 1/16"  
 Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



FRAME CROSS SECTION AT FRAME LINE(S) 1

- 5 27'-6 3/4" Ridge Ht.
- 4 2 @ 4'-5 9/16"
- 3 1'-1 3/8"
- 2 1'-6"
- 1 8 1/2"

Dimension Key

## Bolt Connection & Plate Schedule

Id	Qty	Grade	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	Washer	PartNo
A	4	A325	3/4"	2 1/2"	3/8"	1	1		0097284
B	6	A325	3/4"	2 1/2"	3/8"	1	2		0097284
C	4	A325	1/2"	1 1/2"	3/8"	1	1		49080
D	4	A325	1/2"	1 1/2"	3/8"	1	1	Yes	49080

<S> - (2) Washers (095872) req'd at Flange Brace to Secondary.

Shape Name = Garage Wall 4, Frame 1

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.  
 2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

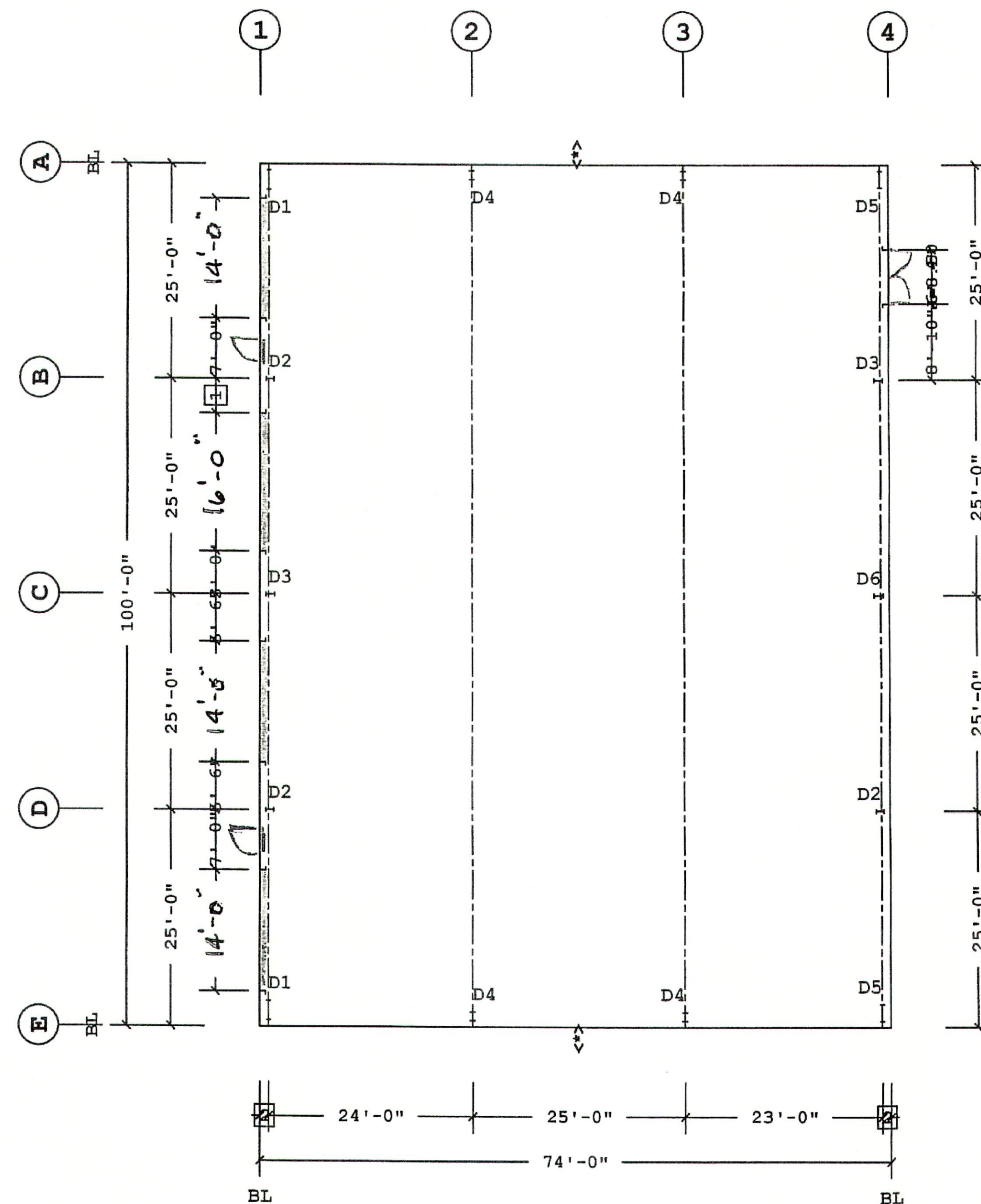
THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

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<b>B</b> BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		Garage-Frame at 1	
		BUILDER: Dutton & Garfield, Inc. CUSTOMER: LOCATION: Newbury, Massachusetts PROJECT: K&R Construction BUILDER'S PO#:	
REV	DATE	BY	DESCRIPTION
DRAWING SCALE: NTS		BUTLER Butler Manufacturing VPC VERSION: ADVNXT 3.8 a division of BlueScope Buildings North America, Inc.	





ANCHOR ROD PLAN

2 1'-0"  
1 4'-0"  
Dimension Key


Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)

<-> THE BUILDING IS DESIGNED WITH BRACING DIAGONALS IN THE DESIGNATED BAYS. COLUMN BASE REACTIONS, BASE PLATES AND ANCHOR RODS ARE AFFECTED BY THIS BRACING AND DIAGONALS MAY NOT BE RELOCATED WITHOUT CONSULTING THE BUILDING SUPPLIERS ENGINEER.

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BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102				ANCHOR ROD PLAN	
REV	DATE	BY	DESCRIPTION	BUILDER	Dutton & Garfield, Inc.
				CUSTOMER	
				LOCATION	Newbury, Massachusetts
				PROJECT	K&R Construction
				BUILDER'S PO#	
DRAWING SCALE				NTS	
				 Butler Manufacturing VPC VERSION: ADVNXT 3.8	
				JOB #:	
				DATE:	3/19/2020
				DRAWN/CHECK	/
				PAGE:	1



