



**MILLENNIUM ENGINEERING, INC.**  
*Land Surveyors and Civil Engineers*

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December 28, 2020

Ms. Martha L. Taylor, Town Planner  
Town of Newbury  
12 Kent Way  
Byfield, MA 01922

Re: 84 Boston Road  
Site Plan Review

Dear Ms. Taylor:

In response to design review comments provided by Joseph Serwatka, P.E. dated December 14, 2020, we have prepared the following responses and revised Site Plans for the Board's consideration.

Existing Conditions, Sheet 1 of 5

1. The plan should note whether the depicted wetland delineations have been reviewed and approved by the conservation commission.  
**The response states that "the plans are currently being reviewed by the conservation commission". The board may want to make any approvals conditional upon conservation review/approval.**

*Response: We are agreeable to that condition.*

Site Plan, Sheet 2 of 5

1. The board may want parking calculations on the plan for the proposed use. The building appears to contain contractor's bays and a 2-story office area.  
**The response states that the parking spaces are for employees only.**

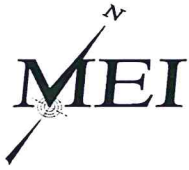
*Response: No response required.*

2. The proposed parking spaces are against the proposed building, which is unusual. The architectural plans appear to depict two sets of doors on the front of the building, presumably opening out, which could be an issue with cars parked along the front. The board may want to see a sidewalk along the front of the building to provide adequate access.  
**The response states that there is only one door on the front NE corner of the building. It also states that a sidewalk will be discussed with the board.**

*Response: We don't believe a sidewalk in front of the building is necessary but we will discuss this with the Planning Board.*

3. The engineer should address whether a handicap parking space and/or a designated loading area should be shown on the plans.  
**A handicap space has been added to the parking lot. The response states that loading will occur at the back of, or inside, the building.**

*Response: No response required.*



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5. Two driveways are proposed, one 20' wide, and one is without a dimension. The 20' driveway appears to service the contractor's yard at the rear of the site, while the other driveway leads directly to the proposed building. The board may want the engineer to propose signage at each driveway to avoid confusion.

**The response states that signage will be discussed with the board.**

*Response: We don't believe signage is required but we'll discuss this with the Planning Board.*

6. The engineer should label whether the proposed gates across the driveways are sliding, swinging, etc. **The gates are labelled as "swinging". It would be important for the left side gate to swing 180 degrees so as not to block access to the parking spaces.**

*Response: We agree with the reviewer's concern.*

Grading Plan, Sheet 3 of 5

1. The engineer should provide a proposed treeline along Boston Road to address whether existing vegetation along Boston Road will remain. **The response indicates that the majority of the trees along the front of the site will be removed. This would appear to include trees within the town right-of-way.**

*Response: Any trees removed with the Town ROW will require approval from the Tree Warden.*

3. Retaining walls up to 9.5' high are depicted. Wall design plans stamped by a structural engineer will be required to be submitted to the town. The board may want to make this a condition of any approvals. **The response is agreeable to this condition.**

*Response: No response required.*

5. A total of six smaller trees are proposed for the site landscaping. The board may want a combination of trees/shrubs/perennials, as well as areas designated for lawn/mulch. **The response states that this will be discussed with the board.**

*Response: We'll discuss landscaping at the Planning Board hearing. In addition to the trees proposed along the front of the site we are also proposing a mix of low growth annuals & perennials in front of the building.*

6. The proposed wall abutting Boston Road has bottom of wall elevations of 23.5 and 24.5 feet, where the existing grade is 26-28 feet respectively. The engineer should address how this will occur without extending grading/blasting into Boston Road. **The wall has been removed, but the response indicates that the hill in Boston Road will be removed. This appears to contradict the response to number 2 above which indicates all proposed grading in Boston Road has been removed. This may not be an issue as long as the town (i.e. DPW) allows it.**

*Response: We've asked the Town Planner if she has received any input from the DPW.*



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7. The board may want the area along the northeasterly property line designated as access to the constructed wetland, in order to perform the required maintenance/inspections.  
**The response is agreeable to this condition, but it would be advisable to indicate it on the plan so that access is maintained.**

*Response: A notation has been added to the plan (see sheet C-2).*

We trust the above information provides the necessary details required for the Board's review and ultimate approval. If you have any questions or comments on the above information please feel free to contact our office.

Sincerely,

Millennium Engineering, Inc.

Christopher M. York, P.E.  
Project Manager