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*Douglas C. Deschenes  
Kathryn Lorah Farrell  
Melissa E. Robbins\**

*\*Admitted in MA and NH*

February 3, 2021

Town of Newbury  
Town Clerk  
12 Kent Way  
Byfield, MA 01922

**RE: Definitive Subdivision Application  
Gadsden Lane, LLC – 217 & 221 High Road, Newbury**

Dear Ms. Taylor,

Please be advised that this office represents Gadsden Lane, LLC, Adam True, Manager, regarding the above referenced Application. Attached please find copies of the above referenced Subdivision Application and supporting documents which is being filed with the Newbury Planning Board.

Enclosed please find the following required documents:

1. Definitive Subdivision Application (1 copy);
2. Full Sized Plans (1 copy);
3. Reduced Sized Plans (1 copy).

Thank you very much for your time and consideration of this matter. Please contact me if any further information is needed or if there are any questions or concerns with this proposed Application Package.

Sincerely,  
Deschenes & Farrell, P.C.  


Douglas C. Deschenes

DESCHENES & FARRELL, P.C.

Attorneys at Law  
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*Douglas C. Deschenes*  
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February 3, 2021

Newbury Planning Board  
Attn: Martha Taylor  
12 Kent Way  
Byfield, MA 01922

**RE: Definitive Subdivision Application**  
**Gadsden Lane, LLC – 217 & 221 High Road, Newbury**

Dear Ms. Taylor,

Please be advised that this office represents Gadsden Lane, LLC, Adam True, Manager, regarding the above referenced Application. Enclosed please find the Definitive Subdivision Application and supporting materials for a proposed 6-Lot subdivision off High Road, pursuant to the Town of Newbury Zoning Bylaw Article III, Section 117-18.

Enclosed please find the following required documentation:

1. Form C Application.
2. Environmental Analysis
3. Adequate Water Supply Information (see also the Environmental Analysis)
4. Waiver List
5. Schedule of Proposed Development
6. Form of Proposed Performance Guarantee (Tripartite Agreement)
7. Abutter List
8. Plans (Full Sized and Reduced)

Additionally, enclosed please find:

1. Property Owner Information (including deeds and probate information)
2. Authorization Letter
3. Assessor's Map and cards
4. Assent for Payment

Please note, that an electronic copy of all materials will be forwarded to the Planning Board by e-mail, under separate cover. Additionally, copies of this Application are being filed with the Newbury Board of Health and Town Clerk.

Thank you very much for your time and consideration of this matter. Please contact me if any further information is needed or if there are any questions or concerns with this proposed Application Package.

Sincerely,  
Deschenes & Farrell, P.C.

A handwritten signature in black ink, appearing to read "Doug Deschenes", written over the printed name.

Douglas C. Deschenes

NEWBURY PLANNING BOARD

FORM C

Application for Approval of a Definitive Plan

Three copies\* of this form, filled out and signed, should be submitted with 14 copies of the plan\*\* together with all information and fees required under § 117-18.

January 13, 2021  
(Date of Filing)

To the Planning Board:

The undersigned applicant being the owner or agent or representative of all the land included within a proposed subdivision shown on a plan entitled

"Definitive Subdivision in Newbury, Massachusetts at 217 & 221 High Road"

by The Morin-Cameron Group, Inc. dated January 2, 2021

being land bounded and described as follows:

See attached Property Owners Information Sheet and Property Deeds.

hereby submits said plan as a DEFINITIVE Subdivision Plan in accordance with the Rules and Regulations of the Newbury Planning Board and makes application to the Board for approval of said Plan.

The Owner's deed of the property is recorded in the:

Essex South District Registry of Deeds, Book 15698, Page 182, or

Land Court Certificate of Title No. -----, registered in Essex South Land

Registry District, Book -----, Page -----.

Name of Owner: Please see Attached

Owner's Address: Please see Attached

Name and Address of Applicant (if different from Owner):

Douglas C. Deschenes

515 Groton Road, Suite 204, Westford, MA

Please see Attached Authorization

Owner's Signature

Applicant's Signature

Douglas C. Deschenes

Attorney for Gadsden Lane, LLC

Application Fee received from the Applicant (in accordance with the Newbury Planning Board Fee Schedule):

Amount Received: \$ -----, accepted for the Board by -----

I (we) agree to submit a check or money order to the Board for consultant review fees in the amount of \$ -----.

Applicant's Signature: -----

Planning Board Acceptance of Definitive Plan Application.

Signed: ----- for the Newbury Planning Board

Date: ----- 20-----

\* 1st Copy to Planning Board  
2nd Copy to Board of Health  
3rd Copy to Town Clerk

\*\* 12 Copies of the Plan to the Planning Board  
2 Copies of the Plan to the Board of Health



**NARRATIVE and ENVIRONMENTAL ANALYSIS for a DEFINITIVE SUBDIVISION  
217 & 221 High Road – Newbury, Massachusetts  
January 6, 2021**

**I. Executive Summary**

Gadsden Lane, LLC, the applicant, proposes to construct 4 new single-family dwellings and preserve 2 existing dwellings at 217 and 221 High Road in Newbury, Massachusetts. This analysis has been prepared in the support of the 4 new homes as part of a definitive subdivision application, filed with the Newbury Planning Board. There are four (4) parcels included with the application and they are shown on the Town of Newbury Assessors Map R27 as Lots 51, 53, 54, and 56. All of the real estate is situated within the agricultural residential zoning district (R-AG). The project does not fall within any jurisdictional buffer zones, flood plains or Areas of Critical Environmental Concern (ACEC) however the proposed road curb cut will require a permit from the Mass Department of Transportation.

The preservation of the existing 2 dwellings on High Road will also include upgrading the lots to meet the minimum area requirement of 40,000 square feet (SF) where presently they are undersized. The four (4) new dwelling lots will enjoy access from the new road (Gadsden Lane) and will fully comply with the other dimensional requirements of the Zoning Bylaw. The new dwellings will be situated behind the existing dwellings and lower in elevation than High Road. This configuration screens the new dwellings from the High Road, resulting in a minimal aesthetic change at the public street interface. The project was also designed to have minimal environmental impacts using low-impact development techniques and through select waivers that have been requested from the Subdivision Regulations to minimize the environmental footprint of the project.

The proposed dwellings will be served by individual wells and on-site sanitary disposal systems, which are shown on the Definitive Subdivision plans. New electric, telephone and communication conduits will be extended underground into the subdivision from High Road. Stormwater will be managed by surface swales and existing ground cover and vegetation will be preserved to the extent possible.

The project was previously reviewed by the Planning Board in a preliminary subdivision approval with conditions dated November 19, 2020. This decision preliminary confirms the Planning Boards accepted the following waivers: the right of way width from 53' to 40', pavement width down to 20' for 1-way traffic, elimination of sidewalks and a modified road cross section with the swale on one side only. The decision qualifies that the road design is subject to review by the Fire Department and a fire truck turning analysis was included herewith.

## **II. Existing Site Description**

The project site consists of four (4) parcels with an aggregate land area of 317,817 SF± (7.3 acres). The site is partially wooded with the two (2) single family dwellings and residential lawn areas located at 217 and 221 High Road (lots 51 & 53) and two (2) rear parcels that are undeveloped (lots 54 & 56). The site is partially cleared about 500' back from High Road. Select trees are preserved in this area including a distinctive black walnut tree near High Road and several white oaks of 8"-10" caliper. The wetland resource areas (bordering vegetated wetland which drains to a salt marsh and bordering land subject to coastal storm flowage) located in the rear of lots 54 and 56 and were delineated by Derosa Environmental Consulting, Inc on February 27, 2020. The Great Marsh ACEC is located towards the rear of the parcel and defined by elevation 10.0.

Grades on the site are moderate with an average slope of 5% from High Road to the middle of the property in the southeast direction. Continuing in the southeast direction from the middle of the property to the wetland resource area, the average slope increases to 7%. The site has a high elevation of approximately 62 ft. (NAVD88) at the northwest corner of the property line at High Road to a low of 6 ft. in the wetland at the northeast corner on the boundary line. The entire property slopes towards the Great Marsh, a tidally influenced coastal wetland system.

Soils on site are classified within the Charlton and Hollis series, both of which are well-drained and suitable for both on-site sanitary disposal systems as well as stormwater infiltration systems. These soils are also commonly associated with shallow bedrock conditions. Soil testing conducted on the property by MCG confirmed the presence of well drained soils and shallow bedrock conditions in certain areas. Percolation rates were approximately 5 minutes per inch on average. The rear of the project site is located within FEMA Flood Zone AE (Elevation 13.0) as shown on map 25009C0139G (effective date July 16, 2014) and adjusted based upon a Letter of Map Revision, attached as supplemental information to this application.

## **III. Environmental Analysis**

The construction of the road is intended to serve access to four (4) new single-family homes. The two (2) existing homes located at addresses #217 and #221 High Road will remain. The total land disturbance associated with the road is approximately 0.9 acres. Care was taken during the design development of the subdivision to work around the existing natural landscape to preserve trees, existing ledge outcrops, and to match existing grades to the extent possible. These design parameters were discussed with the Planning Board during the preliminary subdivision deliberations. The Subdivision Regulations Section 117-18.C(2) requires applicants to provide a narrative Environmental Analysis to support the plans. There are seven (7) criteria outlined in this section and discussed below.

### *a) Impact upon surface water quality and level:*

Surface water quality will be managed by a stormwater system that will capture runoff from the new road and portions of the dwelling lots including the driveways. The stormwater system will consist of a 9-foot-wide swale along the left shoulder of the proposed road. The swale will direct runoff along the road to a level spreader situated between lots 3 and 4. Other portions of the road will be directed to the center cul-de-sac island. This area will allow for passive treatment across the existing topography as a vegetated filter strip. A culvert will carry stormwater runoff under the road to the same level spreader between lots 3 and 4. The level spread will spread the stormwater



runoff out into a sheeted condition to provide further treatment as it flows overland towards the bordering vegetated wetland. Street sweeping will also be recommended each spring following the winter sanding season.

As a small project comprised of 4 or fewer new single-family homes and under 1-acre of disturbance for the road construction subject to review herein, the project is not required to comply with the Massachusetts Stormwater Management Handbook or the Newbury Stormwater Bylaw (collectively referred to as the "stormwater standards" herein). Water quality is measured in this area by removal of total suspended solids (TSS). Ideally, 80% of TSS is removed from the stormwater runoff. However, full compliance with this standard would result in significantly more clearing of trees in the rear of the property and fill import which has far greater environmental impact than the current, low-impact design. Since full compliance is not required, efforts were made to comply to the extent practicable while maintaining the original design intent of low-impact. The design will provide 73% TSS removal for most of the roadway and tributary lots draining to the swale and 51% for the small portion that goes through the cul-de-sac over the filter strip.

*b) Impact upon groundwater quality and level:*

Groundwater is protected using low-impact development techniques for managing stormwater runoff and through onsite wastewater disposal systems.

The primary stormwater management system for this project is a water quality swale. The swale was designed with check dams, spaced frequently along the length of the swale. The check dams will retain water, allowing it to infiltrate back into the ground. Stormwater calculations have been included herewith demonstrating the capacity and groundwater recharge rate of the swale. In total, the area tributary to the swale consists of approximately 19,385 square feet of impervious area (portions of roofs, driveways and the road). The stormwater standards require 0.65" of stormwater runoff to be infiltrated for a hydrologic soil type A soil, found on this site. However, the water quality volume, due to the nearby presence of an ACEC and the rapidly draining soil, requires 1" of stormwater runoff to be mitigated. For 1" of runoff and the impervious area of the site, the stormwater measure must retain approximately 1,615 cubic feet of water. The swale has a volume of approximately 2,700 cubic feet.

\*\*the attached stormwater calculations also assume a slower infiltration rate of 2.41 inches/hour to account for the various bedrock outcroppings throughout the site. An A soil was assumed for the larger required infiltration volume and a B soil was assumed for the infiltration rate, both conservative measures. In addition to the stormwater measures designed to protect groundwater quality and quantity, the project will also feature onsite wastewater disposal systems for managing the house effluent.

The septic systems will be designed in accordance with 310 CMR 15.00 Title 5. Compliance with this strict state statute ensures that the systems will function in a manner to properly treat household wastewater and not contaminate the groundwater supply. The systems will be designed with 4 to 5' of separation to the groundwater, using the soil media as a filter in accordance with Title 5. The "clean" wastewater is then suitable to re-enter the groundwater supply, after passing through the treatment system. Potable water sourced from private onsite wells will be directly recharged

back to the ground through the septic systems. On average, 80-90% of well water from single-family dwellings is recharged directly back into the ground.

The groundwater protection measures to be implemented for this project will protect the groundwater levels and quality.

*c) Effects on important wildlife habitats, outstanding botanical features, scenic or historic sites or buildings:*

The site contains bordering vegetated wetland, salt marsh, the Great Marsh ACEC, flood plain and priority habitat of rare species. To protect these critical resources, no road work is proposed within the buffer zone to the bordering vegetated wetland. Further, all the dwellings and driveways on the house lots can be situated outside of the buffer zone. Only minor grading, lawn and single-family yards may occur within the buffer zone. Any work proposed in the buffer zone would come under the strict scrutiny of the Newbury Conservation Commission through a possible Notice of Intent application, currently not anticipated for the project.

Further, using select geometric waivers from the subdivision regulations, the size, configuration and scale of the proposed roadway has been designed to minimize grading, clearing of remaining mature trees and preservation of the natural ledge outcrops while ensuring safe vehicular and emergency access along the road. The waivers have been specifically designed to minimize the environmental footprint of the project, reduce the need for clearing of trees and existing vegetation in the rear portion of the property, and minimize grading and need for importing soil materials which also carry an indirect impact to air quality. In other words, by reducing the need for diesel engine truck soil importing, the project will minimize it's carbon footprint during construction.

There are no historic buildings on site. However, the existing homes on High Road will be preserved.

*d) Capability of soils, vegetative cover, and proposed erosion control measures to support proposed development without erosion, silting or other instability. This statement shall be a required part of the Definitive Plan whether or not the Board waives the balance of the Environmental Analysis requirements:*

As discussed above, the soil type on this site is a sandy, well drained soil. As such, managing stormwater runoff during construction will require perimeter controls (silt fence or mulch sock) and monitoring of runoff. The coarseness of the soil type at this property reduces the need for large sediment forebays, use of flocculants and other measures that may be necessary for a silt/clay soil type. This will not be overlooked during construction. However, construction runoff quality is not anticipated to be difficult to manage during construction of this project. As noted above, vegetation has been preserved to the extent practicable, the need for soil import has been minimized to the extent practicable and the duration of construction is expected to be less than 4-months for the road. The short duration will help avoid exposed soil conditions during the winter months when heavier rainfall is ordinarily expected.

*e) Relationship to G.L. c. 131 §§ 40 (Land Bordering Waters) and 40A (Inland Wetlands),*



*and c. 130, § 105 (Coastal Wetlands).*

As discussed above, there is no work proposed within a jurisdictional wetland or buffer zone and no filing under these statutes is anticipated for the road.

- f) Anticipated traffic flow and impact of the proposed subdivision on the roadway(s) giving access to the subdivision; and

The project will be accessed from High Road, a State Highway Route 1A. As such, review of the intersection will be subject to review and approval by Mass Department of Transportation.

The project is not anticipated to generate any measurable traffic impacts on High Road. According to the MassDOT GIS database, for 2019, High Road experiences approximately 3,260 average weekday trips with about a 51% north bound to 49% south bound distribution. The peak AM hour is between 8-9AM with approximately 223 vehicles NB/SB and the peak PM hour is between 5-6pm with approximately 350 vehicles NB/SB. High Road experiences on average a 1% growth rate in vehicle trips since 2016.

To anticipate the vehicle trips generated from the 4-new house lots, the Institute for Traffic Engineering (ITE) Trips Generation Manual, 10<sup>th</sup> Edition was referenced. This Manual is an industry accepted database for projecting anticipated vehicular traffic for a given land use. For four (4) single-family homes in a suburban location (land use code 210), will generate 37.76 vehicle trips per weekday with about a 50/50 split of exiting/entering vehicles. This represents a 1.1% increase in vehicles on High Road which is consistent with the growth rate on High Road since 2016 according to MassDOT. Using the same ratios for the peak hour on High Road, the project is anticipated to generate only 2.63 vehicles in the peak AM hour or about 1 car every 23 minutes and 4.13 vehicles in the peak PM hour or about 1 car every 15 minutes. These impacts will not be noticeable to existing vehicle operators on High Road.

Sight distance was also measured for the proposed intersection. High Road has a posted speed of 40 MPH heading southbound and 45 MPH heading northbound. Intersection sight distance the distance a stopped vehicle needs to see an oncoming vehicle on the main road to make a safe maneuver onto the road. Stopping sight distance is the distance a moving vehicle needs to see a stopped vehicle on the side street. In this case, intersection sight distance is greater than stopping sight distance, so intersection sight distance was evaluated. For a 40 MPH design speed, the intersection sight distance required is 445 feet to make a left-hand turn from a stopped position. For a 45 MPH design speed, the intersection sight distance required is 430 feet to make a right-hand turn from a stopped position. The greater distance for the left turn accounts for the additional time it takes a vehicle to cross the travel lane. These measurements are calculated in accordance with the American Association of State Highway and Transportation Officials (AASHTO), "A Policy on Geometric Design of Highways and Streets, 2018 7<sup>th</sup> Edition", the industry accepted design manual.

As seen on Figure 5, the available sight distance looking south for the 45 MPH design speed is 530 feet which is more than the minimum recommended sight distance of

430 feet. Figure 6 shows the available sight distance looking south for the 40 MPH design speed is 580 feet which is more than the minimum recommended distance of 445 feet. Based on these findings, there is adequate intersection sight distance for the proposed intersection.

- g) The estimated number of inhabitants of the subdivision and the effect of the project on public services such as water, sewer, schools, police, fire and waste disposal.*

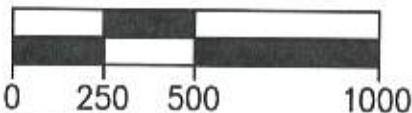
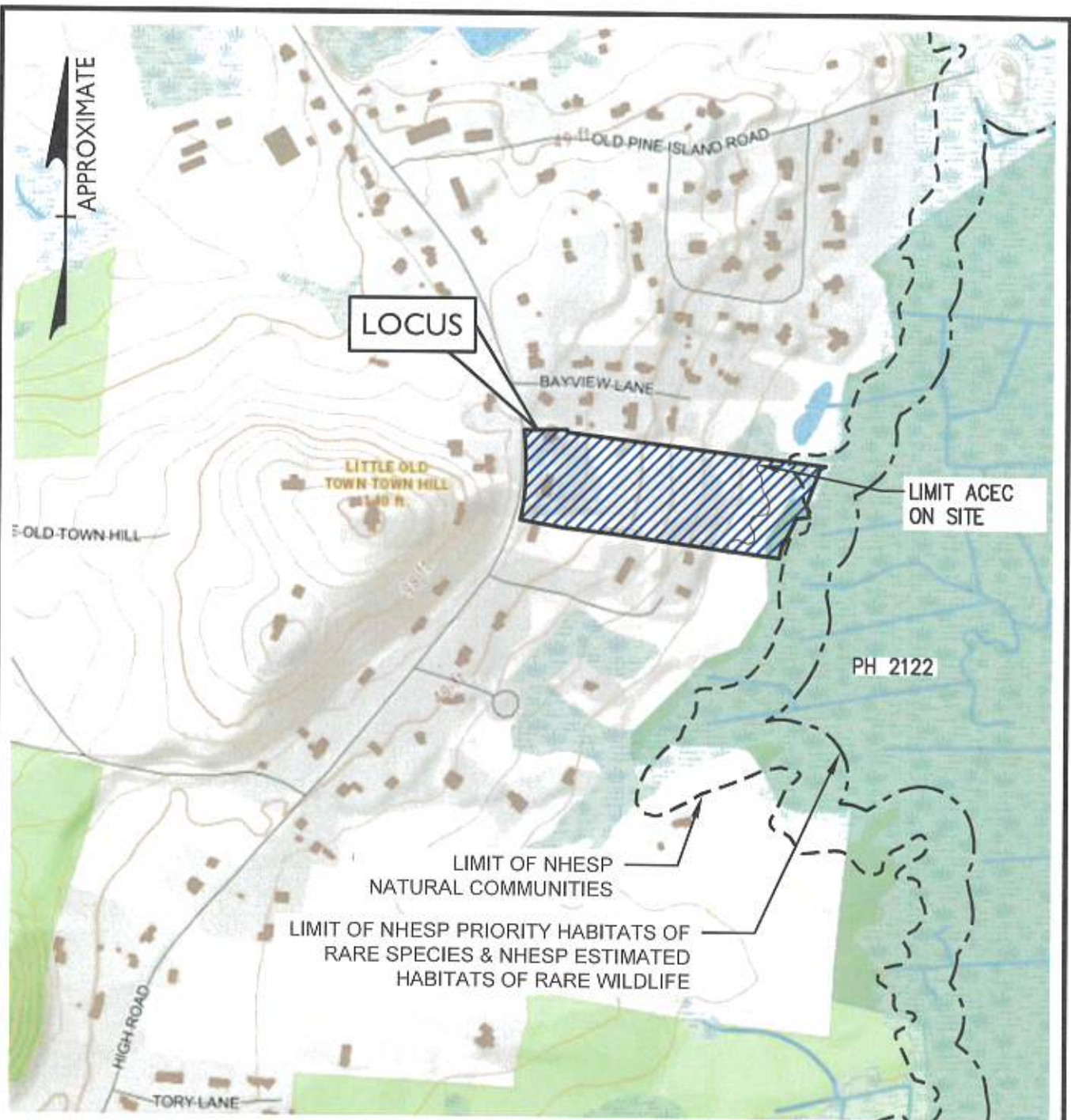
As there are only four (4) new single-family dwellings proposed, the number of new residents is expected to increase by eight (8) to sixteen (16) people depending on family size. This modest increase in Newbury residents will not measurably impact public services such as schools, police, fire and waste disposal. The proposed dwellings will be served by individual wells and on-site sanitary disposal systems, so there will be no increased demand on the public water and sewer systems. The project is not expected to have any impact on emergency services as it is primarily intended to serve young families who rely less on these services compared to other uses. Additional tax revenue generated by the project will offset the potential minimal impacts on community services.

#### **IV. STORMWATER MANAGEMENT**

As the project consists of four (4) new single-family homes, compliance with the Massachusetts Department of Environmental Protection Stormwater Management Handbook and the Town of Newbury Stormwater Management and Illicit Discharge and Erosion Control By-Law is not required. The design approach for the project was to reduce the environmental footprint of the development by reducing pavement, preserving natural features, and minimizing import of fill and other materials. As documented above, water quality has been met to the maximum extent practicable through incorporation of low-impact water quality swales and vegetated filter strips. Groundwater recharge is met through these same measures. Mitigation of stormwater runoff is not necessary as the site is entirely tributary to a tidally influenced coastal salt marsh. Erosion control measures and operation and long-term maintenance plans have been prepared. The project does not include any illicit discharges as part of the design. While not required, the project is close to fully complying with the stormwater standards.

#### **V. CONCLUSION**

The project, as designed will create four (4) new single-family homes and maintain two (2) existing homes with a design that emphasizes the natural features of the existing landscape, minimization of cutting or filling on site and maintenance of existing vegetation and ground covers to minimize development impacts to the site. For questions regarding this report, please contact The Morin-Cameron Group, Inc. between the hours of 8:30am to 4:30pm at (978) 777-8586.



# **THE MORIN-CAMERON GROUP, INC.**

66 ELM STREET, DANVERS, MA 01923

P | 978.777.8586 F | 978.774.3488

[WWW.MORINCAMERON.COM](http://WWW.MORINCAMERON.COM)

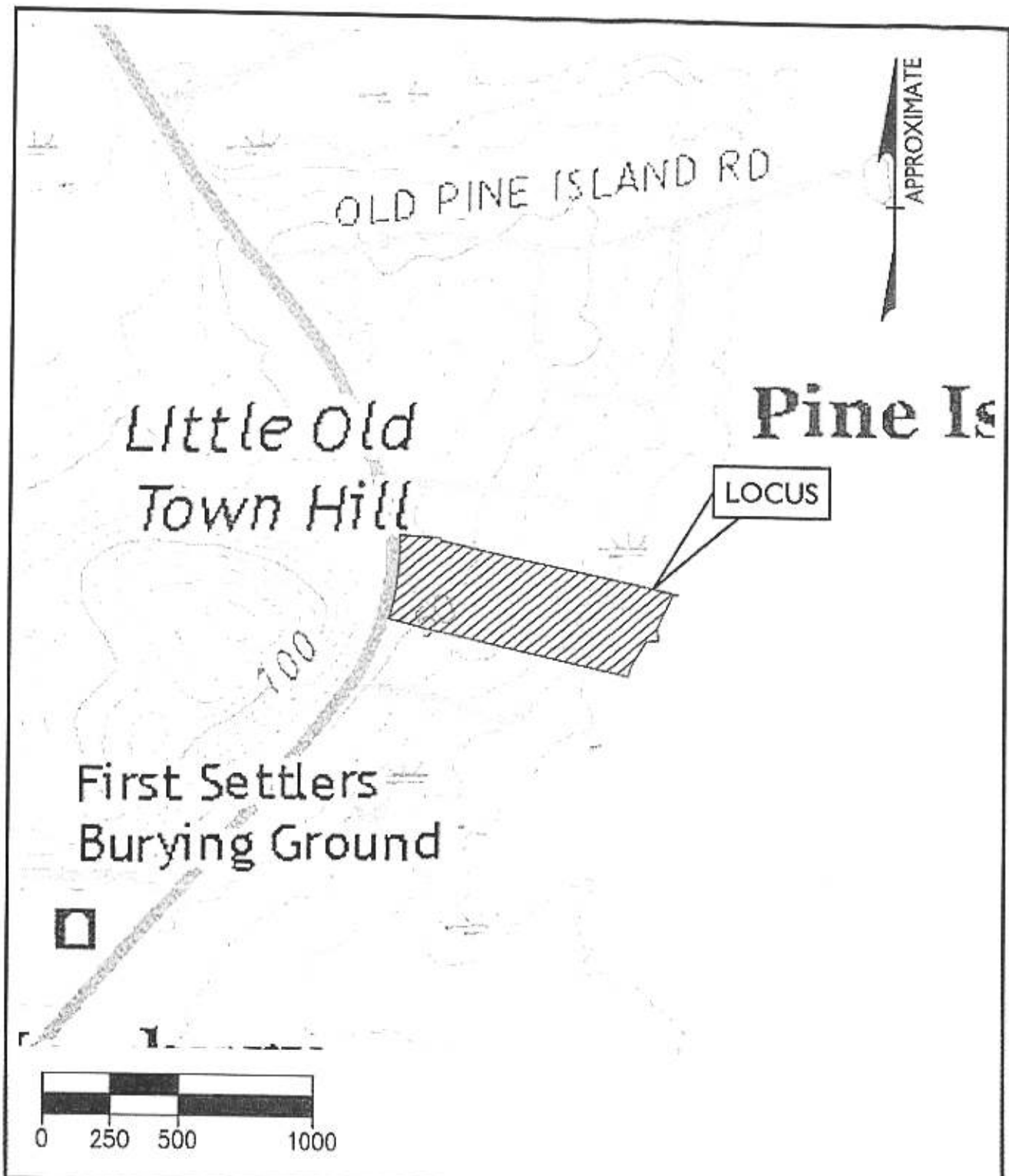
NATURAL HERITAGE &  
ENDANGERED SPECIES  
PROGRAM (NHESP) MAP  
217 & 221 HIGH ROAD  
IN  
NEWBURY, MA

DATE: FEBRUARY 1, 2021

Scale: 1" = 500'

**FIGURE #1**





**THE MORIN-CAMERON GROUP, INC.**

66 ELM STREET, DANVERS, MA 01923

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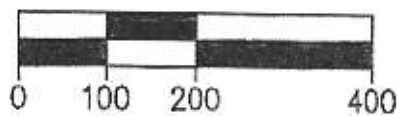
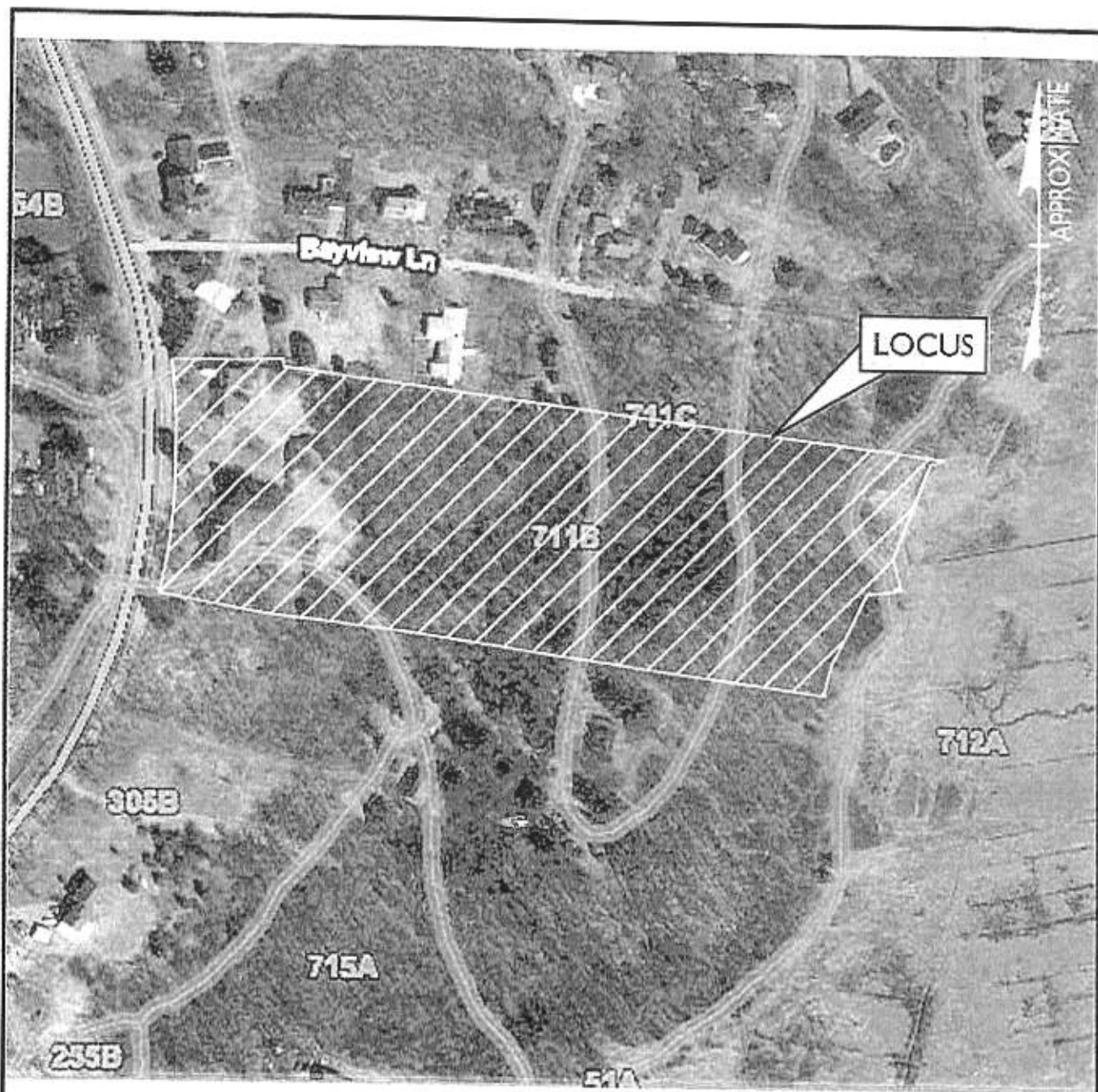
[WWW.MORINCAMERON.COM](http://WWW.MORINCAMERON.COM)

USGS LOCUS MAP  
217 & 221 HIGH ROAD  
IN  
NEWBURY, MA

DATE: JANUARY 6, 2021

Scale: 1" = 500'

**FIGURE #2**



THE MORIN-CAMERON GROUP, INC.

66 ELM STREET, DANVERS, MA 01923

P | 978.777.8586 F | 978.774.3488

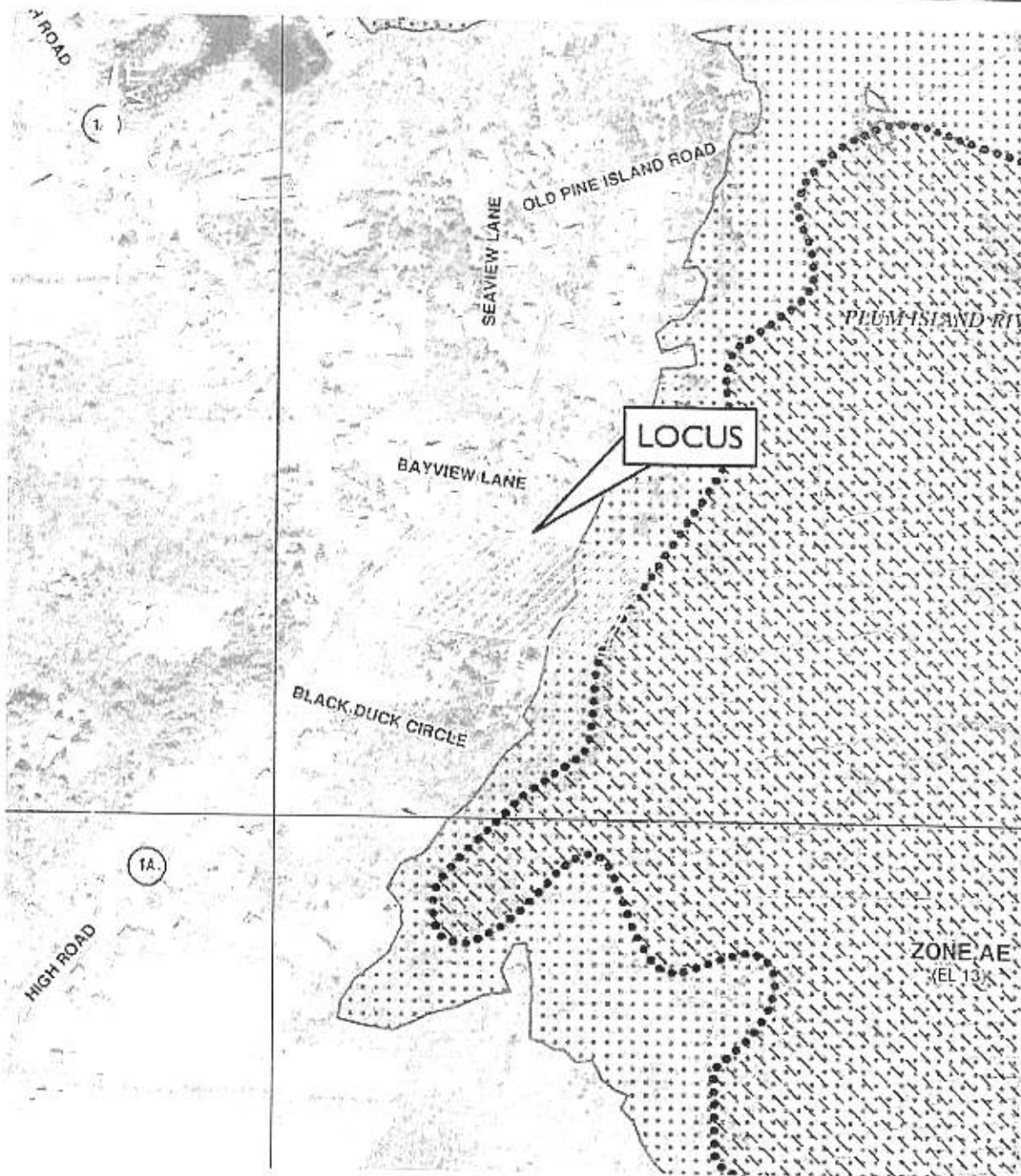
[WWW.MORINCAMERON.COM](http://WWW.MORINCAMERON.COM)

SCS SOILS MAP  
217 & 221 HIGH ROAD  
IN  
NEWBURY, MA

DATE: JANUARY 6, 2021

Scale: 1" = 200'

**FIGURE #3**



FEMA FLOOD MAP NO. 25009C0139G

THE MORIN-CAMERON GROUP, INC.  
66 ELM STREET, DANVERS, MA 01923  
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[WWW.MORINCAMERON.COM](http://WWW.MORINCAMERON.COM)

FEMA FLOOD MAP  
217 & 221 HIGH ROAD  
IN  
NEWBURY, MA

DATE: JANUARY 6, 2021

Scale: 1" = 500'

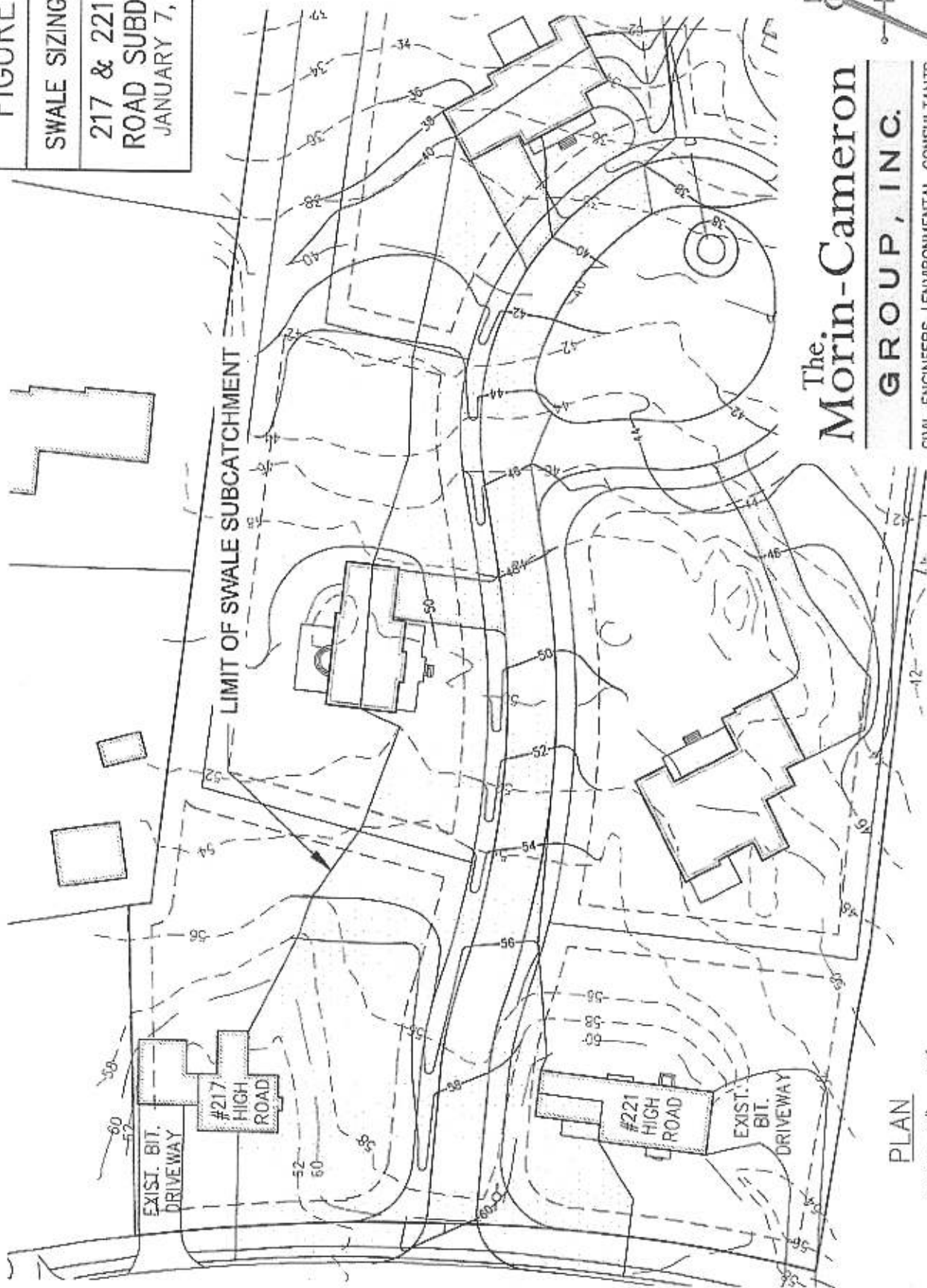
**FIGURE #4**



FIGURE 7

SWALE SIZING PLAN

217 & 221 HIGH  
ROAD SUBDIVISION  
JANUARY 7, 2021



The  
**Morin-Cameron**  
**GROUP, INC.**

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS  
LAND SURVEYORS | LAND USE PLANNERS  
66 ELM STREET, DANVERS, MASSACHUSETTS 01923  
P: 978-777-8566, F: 978-774-3488, W: WWW.MORINCAMERON.COM

PLAN

SCALE: 1" = 60'



## Stormwater Management Calculations

### STANDARD 4: Water Quality Volume (WQV):

#### 1" Water Quality (1" x Tributary Impervious Area)

HCAD System ID	Tributary Impervious Area (SF)	Treatment Volume 1"	Minimum Volume (CF)	Provided Volume (CF)
1P	19,385	1	1,615	2,700*

#### **Provided Volume Calculation:**

- $300 \pm$  SF between check dams \* 18 dams = 5,400 SF
- 0.6" -- 0.5' check dam height
- Volume =  $5,400 * 0.5 = 2,700$  SF > 1,615 OK

# 3953 Water Quality Sizing Sizing

Prepared by Microsoft

HydroCAD® 10.10-3a s/n 00401 © 2020 HydroCAD Software Solutions LLC

NRCC 24-hr D 10-Year Rainfall=4.83"

Printed 1/7/2021

Page 8

## Summary for Subcatchment PS1: Overland Flow To Swale

Runoff = 1.56 cfs @ 12.14 hrs, Volume= 5,485 cf, Depth= 1.20"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs  
NRCC 24-hr D 10-Year Rainfall=4.83"

Area (ac)	CN	Description
* 0.325	98	Impervious, Roadway and Driveways
* 0.120	98	Impervious, Unconnected Roofs
* 0.811	39	>75% Grass Cover, Good, HSG A
1.256	60	Weighted Average
0.811		64.57% Pervious Area
0.445		35.43% Impervious Area
0.120		26.97% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct Entry

## Summary for Pond 1P: Swale Storage For Check Dams

Inflow Area = 54,711 sf, 35.43% Impervious, Inflow Depth = 1.20" for 10-Year event  
Inflow = 1.56 cfs @ 12.14 hrs, Volume= 5,485 cf  
Outflow = 0.30 cfs @ 11.97 hrs, Volume= 5,485 cf, Atten= 81%, Lag= 0.9 min  
Discarded = 0.30 cfs @ 11.97 hrs, Volume= 5,485 cf  
Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs  
Peak Elev= 100.18' @ 12.62 hrs Surf.Area= 5,400 sf Storage= 974 cf

Plug-Flow detention time= 19.8 min calculated for 5,483 cf (100% of inflow)  
Center-of-Mass det. time= 19.8 min ( 934.5 - 914.7 )

Volume	Invert	Avail.Storage	Storage Description
#1	100.00'	6,975 cf	Storage (Prismatic) Listed below (Recalc) x 18

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
100.00	300	0	0
100.75	300	225	225
101.00	1,000	163	388

Device	Routing	Invert	Outlet Devices
#1	Primary	100.50'	0.5' long x 9.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.46 2.55 2.70 2.69 2.68 2.68 2.67 2.64 2.64 2.64 2.65 2.64 2.65 2.65 2.66 2.67 2.69
#2	Discarded	100.00'	2.410 in/hr Exfiltration over Surface area

### 3953 Water Quality Sizing Sizing

NRCC 24-hr D 10-Year Rainfall=4.83"

Prepared by Microsoft

Printed 1/7/2021

HydroCAD® 10.10-3a s/n 00401 © 2020 HydroCAD Software Solutions LLC

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Discarded OutFlow Max=0.30 cfs @ 11.97 hrs HW=100.01' (Free Discharge)  
↑2=Exfiltration (Exfiltration Controls 0.30 cfs)

Primary OutFlow Max=0.00 cfs @ 0.00 hrs HW=100.00' (Free Discharge)  
↑1=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

THE MORIN-CAMERON GROUP, INC.  
66 Elm Street,  
Danvers, MA 01923  
P | 978.777.3586 M | 781.520.9496

**Standard 4: Total Suspended Solids Calculation for Roadway to Cul-de-Sac**

Name: Definitive Subdivision Plan  
Location: 217 & 221 High Road  
Newbury  
County: Essex  
Applicant: Gadsden Lane, LLC

Proj. No.: 3953  
Date: 1/12/2021  
Revised:  
Computed by: Annie Rafferty, E.I.T.  
Checked by: Scott P. Cameron, P.E.

B	C	D	E	F
BMP	TSS Removal Rate	Starting TSS Load (*F)	Amount Removed (C*D)	Remaining Load (D-E)
Street Sweeping - 10%	0.10	1.00	0.10	0.90
Vegetated Filter Strip >50 feet	0.45	0.90	0.41	0.50

**Total TSS Removal =**

51%

\*Equals remaining load from previous BMP (E) which enters the BMP

THE MORIN-CAMERON GROUP, INC.  
 65 Elm Street,  
 Danvers, MA 01923  
 p | 978.777.8586 m | 781.520.9496

**Standard 4: Total Suspended Solids Calculation for Roadway to Swale**

Name: Definitive Subdivision Plan  
 Location: 217 & 221 High Road  
 County: Essex  
 Applicant: Gadsden Lane, LLC

Proj. No.: 3953  
 Date: 1/12/2021  
 Revised:  
 Computed by: Annie Raftery, EIT  
 Checked by: Scott P. Cameron, P.E.

B BMP	C TSS Removal Rate	D Starting TSS Load (*F)	E Amount Removed (C*D)	F Remaining Load (D-E)
Street Sweeping - 10%	0.10	1.00	0.10	0.9
Water Quality Swale - Dry	0.70	0.90	0.63	0.27

**Total TSS Removal =**

73%

\*Equals remaining load from previous BMP (E)  
 which enters the BMP



**Long Term Stormwater Best Management Practices**  
**Operation and Maintenance Plan**

for

**217 & 221 High Road**  
**Newbury, Massachusetts**

January 6, 2021

The following operation and maintenance plan has been provided to satisfy the requirements of Standard 9 of the Mass DEP Stormwater Management Handbook associated with development of the site and associated infrastructure. The success of the Stormwater Management Plan depends on the proper implementation, operation and maintenance of several management components. The following procedures shall be implemented to ensure success of the Stormwater Management Plan:

1. The contractor shall comply with the details of construction of the site as shown on the approved plans.
2. The stormwater management system shall be inspected and maintained as indicated below.
3. Effective erosion control measures during and after construction shall be maintained until a stable turf is established on all altered areas.
4. A Stormwater Management Maintenance Log (Attachment A) is included at the end of this Appendix.

**Basic Information**

Stormwater Management System Owner:	Gadsden Lane, LLC 6 Payson Street Newburyport, MA 01950 P: (978) 314-9865
Newbury Conservation Commission:	12 Kent Way, Suite 101 Byfield, MA 01922 P: (978) 465-0860 ext. 310
Newbury Department of Public Works:	197 High Road Newbury, MA 01951 P: (978) 465-0112
Newbury Planning Board:	12 Kent Way, Suite 101 Byfield, MA 01922 P: (978) 465-0860 ext. 312

### **Erosion and Sedimentation Controls during Construction:**

The site and drainage construction contractor shall be responsible for managing stormwater during construction. Routine monitoring of disturbed soils shall be performed to ensure adequate runoff and pollution control during construction.

A sediment and erosion control barrier will be placed as shown on the Grading, Utility & Drainage Plan prior to the commencement of any clearing, grubbing, and earth removal or construction activity. The integrity of the erosion control barrier will be maintained by periodic inspection and replacement as necessary. The erosion control barrier will remain in place until the first course of pavement has been placed and all side slopes have been loamed and seeded and vegetation has been established.

Operations and maintenance plans for the Stormwater Management construction phase and long term operation of the system have been attached to this report.

### **General Conditions**

1. The site contractor shall be responsible for scheduling regular inspections and maintenance of the stormwater BMP's until the project has been completed. The BMP maintenance shall be conducted as detailed in the following long-term pollution prevention plan and illustrated on the approved design plans:  
"Definitive Subdivision in Newbury Massachusetts at 217 & 221 High Road" prepared by The Morin-Cameron Group, Inc. dated January 6, 2021.
2. All Stormwater BMP's shall be operated and maintained in accordance with the design plans and the following Long-Term Pollution Prevention Plan.
3. The owner shall:
  - a. Maintain an Operation and Maintenance Log (see Attachment A) for the last three years. The Log shall include all BMP inspections, repairs, replacement activities and disposal activities (disposal material and disposal location shall be included in the Log);
  - b. Make the log available to the Newbury Conservation Commission and Newbury Department of Public Works upon request;
  - c. Allow members and agents of the Newbury Conservation Commission and Newbury Department of Public Works to enter the premises and ensure that the Owner has complied with the Operation and Maintenance Plan requirements for each BMP.
4. A recommended inspection and maintenance schedule is outlined below based on statewide averages. This inspection and maintenance schedule shall be adhered to at a minimum for the first year of service of all BMP's referenced in this document. At the commencement of the first year of service, a more accurate inspection/maintenance schedule shall be determined based on the level of service for this site.

## **Long-Term Pollution Prevention Plan (LTPPP)**

### **Vegetated Areas:**

Immediately after construction, monitoring of the erosion control systems shall occur until establishment of natural vegetation. Afterwards, vegetated areas shall be maintained as such. Vegetation shall be replaced as necessary to ensure proper stabilization of the site.

Cost: Included with annual landscaping budget. Consult with local landscape contractors.

### **Paved Areas:**

Sweepers shall sweep paved areas periodically during dry weather to remove excess sediments and to reduce the amount of sediments that the drainage system shall have to remove from the runoff. The sweeping shall be conducted primarily between March 15<sup>th</sup> and November 15<sup>th</sup>. Special attention should be made to sweeping paved surfaces in March and April before spring rains wash residual sand into the drainage system.

Cost: Consult with local landscaping companies for associated costs if necessary.

Salt used for de-icing on the roadway during winter months shall be limited as much as possible as this will reduce the need for removal and treatment. Sand containing the minimum amount of calcium chloride (or approved equivalent) needed for handling may be applied as part of the routine winter maintenance activities.

### **Vegetated Swale and Check Dams:**

The swale shall be checked regularly to ensure that the surface is free of debris such as leaves, sticks and trash. Remove and dispose of any debris in accordance with all applicable local, state, and federal regulations. In the case that water remains in the swale for greater than three (3) days after a storm event, an inspection is warranted and necessary maintenance or repairs should be addressed as necessary.

Cost: Consult with local landscaping companies for associated costs if necessary.

### **Debris & Litter:**

All debris and litter shall be removed from the parking lot as necessary to prevent migration into the drainage system.

### **Pesticides, Herbicides, and Fertilizers:**

Pesticides and herbicides shall be used sparingly. Fertilizers shall be restricted to the use of organic fertilizers only. All fertilizers, herbicides, pesticides, sand and salt for deicing and the like shall be stored in dry area that is protected from weather.

Cost: Included in the routine landscaping maintenance schedule. The Owner shall consult local landscaping contractors for details.

Public Safety Concerns: Chemicals shall be stored in a secure area to prevent children from obtaining access to them. Any major spills shall be reported to municipal officials.

### **Prevention of Illicit Discharges:**

Illicit discharges to the stormwater management system are not allowed. Illicit discharges are discharges that are not comprised entirely of stormwater. Pursuant to Mass DEP Stormwater Standards the following activities or facilities are not considered illicit discharges: firefighting, water line flushing, landscape irrigation, uncontaminated groundwater, potable water sources, foundation drains, air

conditioning condensation, footing drains, individual resident car washing, flows from riparian habitats and wetlands, dechlorinated water from swimming pools, water used for street washing and water used to clean residential building without detergents.

To prevent illicit discharges to the stormwater management system the following policies should be implemented:

1. Provisions For Storing Materials And Waste Products Inside Or Under Cover
2. Vehicle Maintenance And Washing Controls
3. Requirements for Routine Inspections of the Stormwater Management System (i.e.: vegetated infiltration basin)
4. Spill Prevention and Response Plans.

# AADT by Year by Direction for 1/1/2017 - 12/31/2020

Location ID 220524

Community Newbury

Location ROWLEY LINE

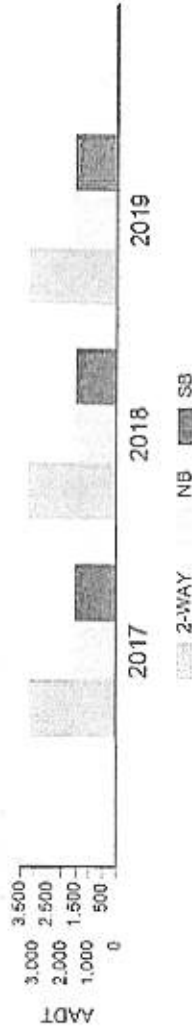
Collection Type Special

District

County Essex

Route 1A

Roadbed	Direction	2017	2018	2019
ML	NB	1,633	1,651	1,571
ML	SB	1,554	1,571	1,590
ML	2-WAY	3,186	3,221	3,260



## Single-Family Detached Housing (210)

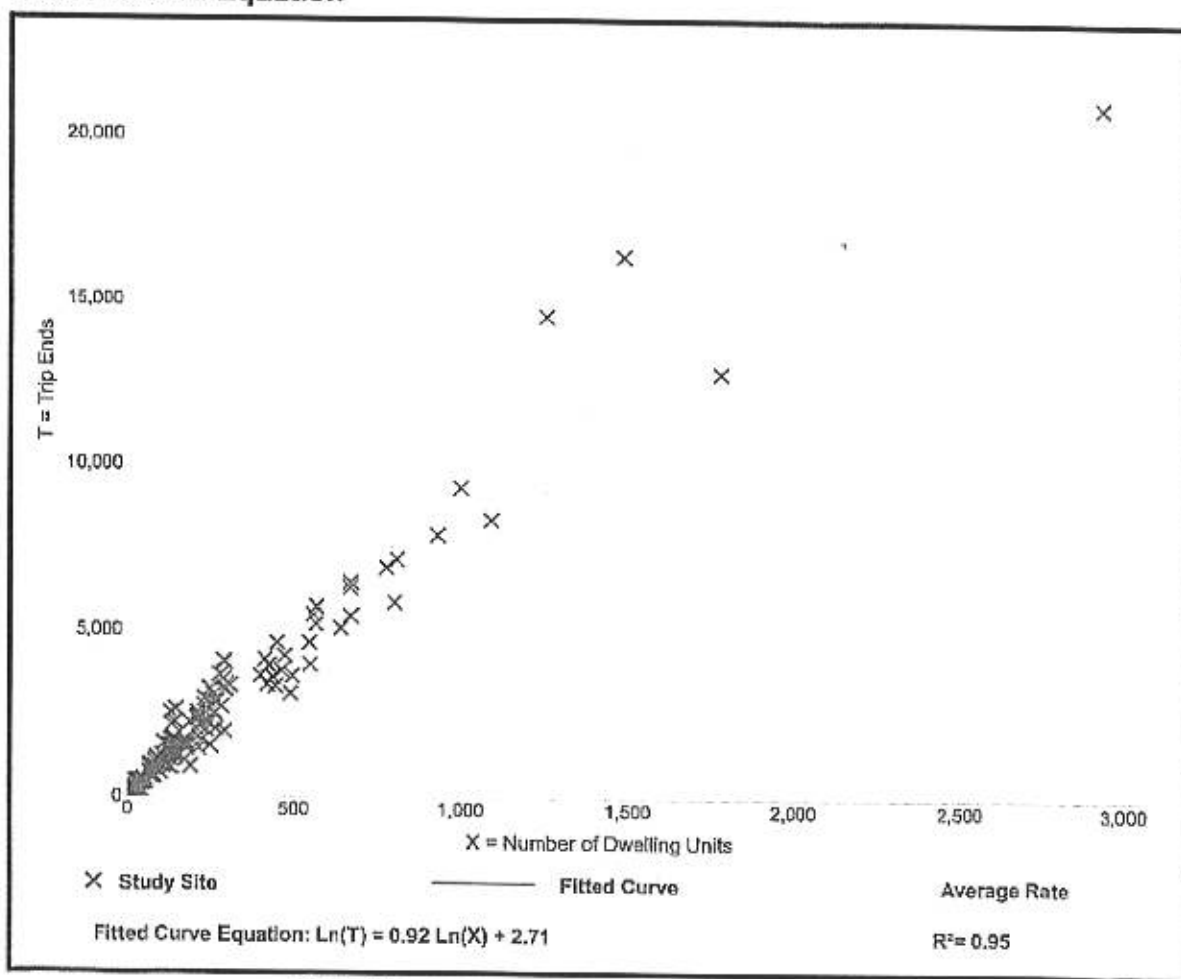
Vehicle Trip Ends vs: Dwelling Units  
On a: Weekday

Setting/Location: General Urban/Suburban  
Number of Studies: 159  
Avg. Num. of Dwelling Units: 264  
Directional Distribution: 50% entering, 50% exiting

### Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
9.44	4.81 - 19.39	2.10

### Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers



Table 9-7. Design Intersection Sight Distance—Case B1, Left Turn from Stop

U.S. Customary				Metric			
Design Speed (mph)	Stopping Sight Distance (ft)	Intersection Sight Distance for Passenger Cars		Design Speed (km/h)	Stopping Sight Distance (m)	Intersection Sight Distance for Passenger Cars	
		Calculated (ft)	Design (ft)			Calculated (m)	Design (m)
15	80	165.4	170	20	20	41.7	45
20	115	220.5	225	30	35	62.6	65
25	155	275.6	280	40	50	83.4	85
30	200	330.8	335	50	65	104.3	105
35	250	385.9	390	60	85	125.1	130
40	305	441.0	445	70	105	146.0	150
45	360	496.1	500	80	130	166.8	170
50	425	551.3	555	90	160	187.7	190
55	495	606.4	610	100	185	208.5	210
60	570	661.5	665	110	220	229.4	230
65	645	716.6	720	120	250	250.2	255
70	730	771.8	775	130	285	271.1	275
75	820	826.9	830				
80	910	882.0	885				

Note: Intersection sight distance shown is for a stopped passenger car to turn left onto a two-lane highway with no median and grades 3 percent or less. For other conditions, the time gap should be adjusted and the sight distance recalculated.

Sight distance design for left turns at intersections on divided roads or streets should consider multiple design vehicles and median width. If the design vehicle used to determine sight distance for an intersection on a divided road or street is larger than a passenger car, then sight distance for left turns should be checked for that selected design vehicle and for a passenger car as well. If the median on a divided road or street is wide enough to store the design vehicle with a clearance to the through lanes of approximately 3 ft [1 m] at both ends of the vehicle, no separate analysis for the departure sight triangle for left turns is needed on the minor-road approach for the near roadway to the left. In most cases, the departure sight triangle for right turns (Case B2) will provide sufficient sight distance for a passenger car to cross the near roadway to reach the median. Possible exceptions are addressed in the discussion of Case B3.

If the design vehicle can be stored in the median with adequate clearance to the through lanes, a departure sight triangle to the right for left turns should be provided for that design vehicle turning left from the median roadway. Where the median is not wide enough to store the design vehicle, a departure sight triangle should be provided for that design vehicle to turn left from the minor-road approach.

Table 9-9. Design Intersection Sight Distance—Case B2, Right Turn from Stop

U.S. Customary				Metric			
Design Speed (mph)	Stopping Sight Distance (ft)	Intersection Sight Distance for Passenger Cars		Design Speed (km/h)	Stopping Sight Distance (m)	Intersection Sight Distance for Passenger Cars	
		Calculated (ft)	Design (ft)			Calculated (m)	Design (m)
15	80	143.3	145	20	20	36.1	40
20	115	191.1	195	30	35	54.2	55
25	155	238.9	240	40	50	72.3	75
30	200	286.7	290	50	65	90.4	95
35	250	334.4	335	60	85	108.4	110
40	305	382.2	385	70	105	126.5	130
45	360	430.0	430	80	130	144.6	145
50	425	477.8	480	90	160	162.6	165
55	495	525.5	530	100	185	180.7	185
60	570	573.3	575	110	220	198.8	200
65	645	621.1	625	120	250	216.8	220
70	730	668.9	670	130	285	234.9	235
75	820	716.6	720				
80	910	764.4	765				

Note: Intersection sight distance shown is for a stopped passenger car to turn right onto or to cross a two-lane roadway with no median and with grades of 3 percent or less. For other conditions, the time gap should be adjusted and the sight distance recalculated.

#### 9.5.3.2.3 Case B3—Crossing Maneuver from the Minor Road

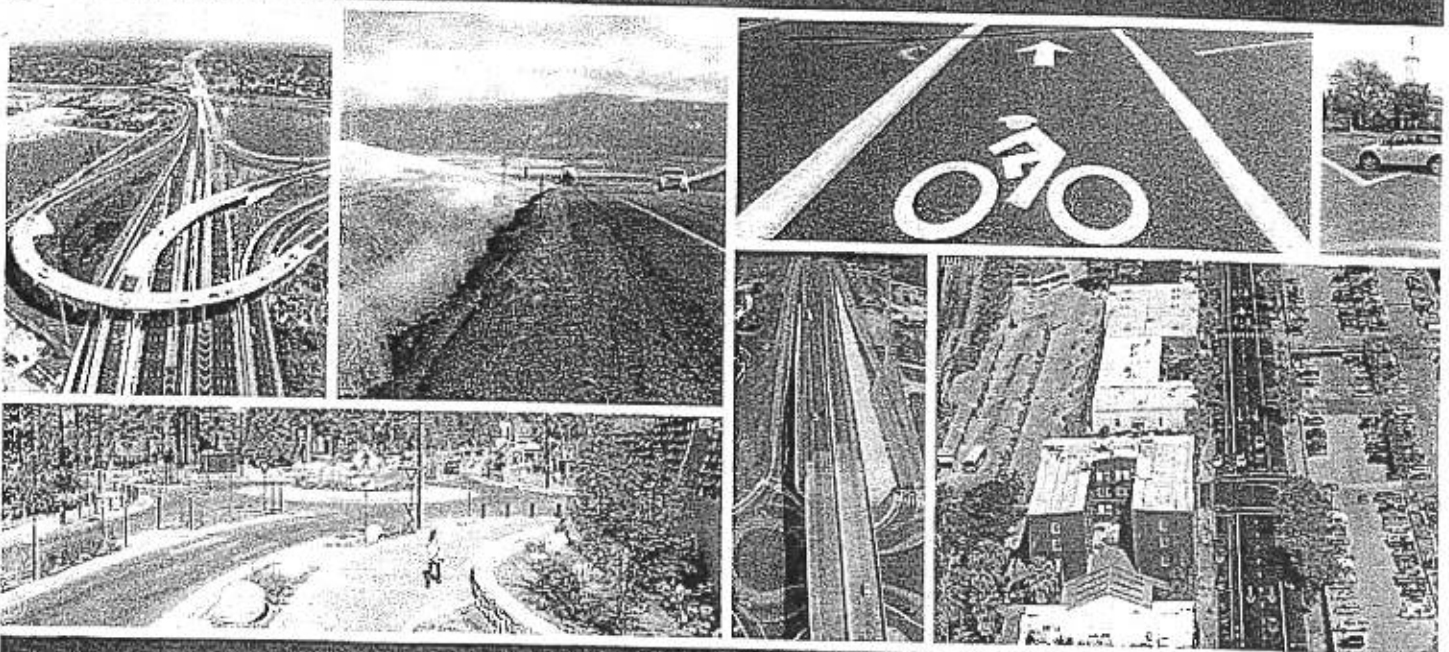
In most cases, the departure sight triangles for left and right turns onto the major road, as described for Cases B1 and B2, will also provide adequate sight distance for minor-road vehicles to cross the major road. However, in the following situations, it is advisable to check the availability of sight distance for crossing maneuvers:

- where left or right turns or both are not permitted from a particular approach and the crossing maneuver is the only legal maneuver;
- where the crossing vehicle would cross the equivalent width of more than six lanes; or
- where substantial volumes of heavy vehicles cross the roadway and steep grades that might slow the vehicle while its back portion is still in the intersection are present on the departure roadway on the far side of the intersection.

The equation for intersection sight distance in Case B1 (see Equation 9-1) is used again for the crossing maneuver except that time gaps ( $t_g$ ) are the same as those for the Right Turn from Stop maneuver, which presents time gaps and appropriate adjustment factors to determine the intersection sight distance along the major road to accommodate crossing maneuvers. At divid-

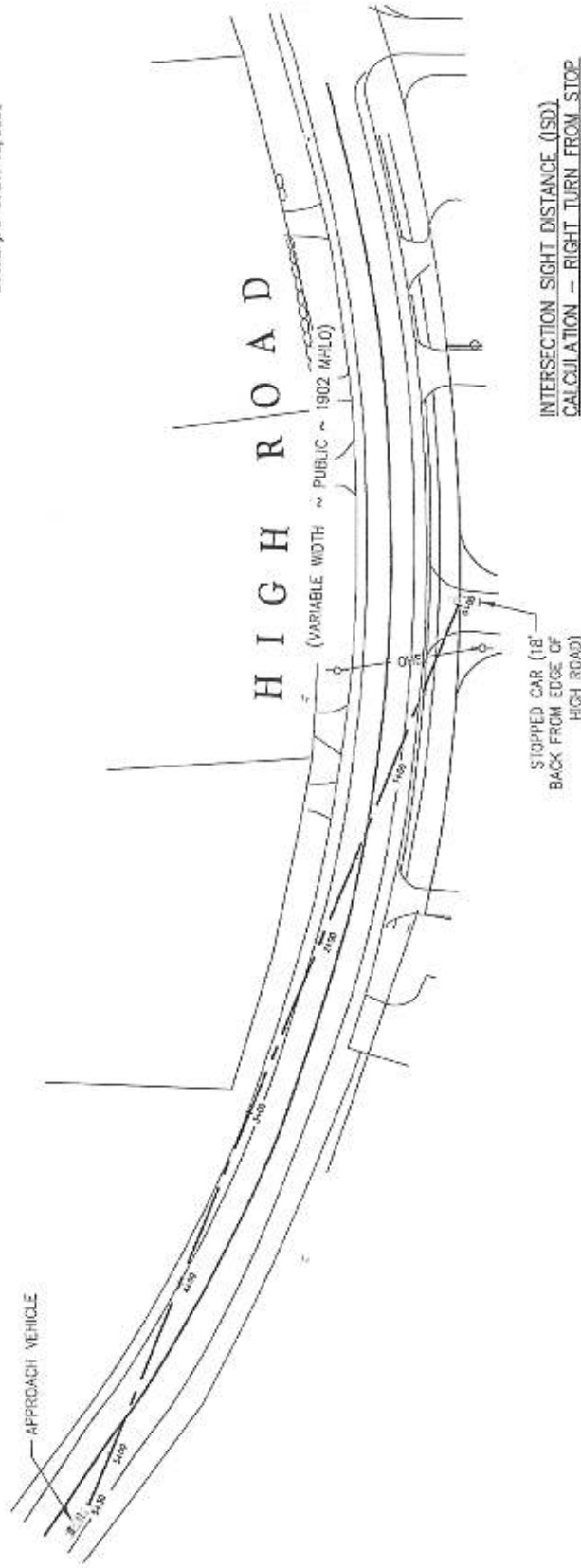
# A Policy on Geometric Design of Highways and Streets

2018  
7th Edition



# SIGHT DISTANCE NORTHBOUND

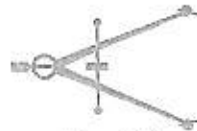
ICR  
217 & 221 HIGH ROAD  
NEWBURY, MASSACHUSETTS  
PREPARED FOR  
GADSEN LANE, LLC  
SCALE: 1"=60'  
DATE: JANUARY 12, 2021



INTERSECTION SIGHT DISTANCE (ISD)  
CALCULATION - RIGHT TURN FROM STOP  
SPEED LIMIT HIGH ROAD = 45 MPH  
ROAD SLOPE = 3% OR LESS  
REQUIRED ISD = 430'  
PROVIDED ISD = 530'

INTERSECTION SIGHT DISTANCE NORTHBOUND  
APPROACH (SPEED LIMIT 45 MPH)

SCALE: 1"=60'



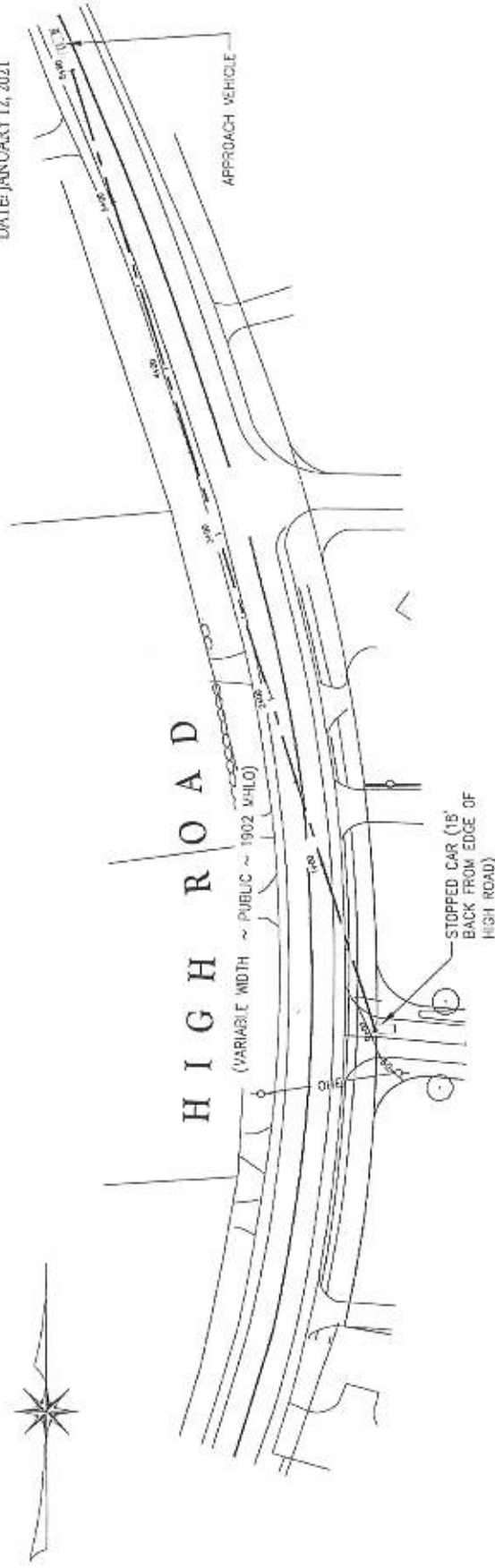
The  
**Morin-Cameron**  
**GROUP, INC.**

CIVIL ENGINEERS / ENVIRONMENTAL CONSULTANTS  
LAND SURVEYORS / LAND USE PLANNERS  
895 STATE STREET, NEWBURY, MASSACHUSETTS 01923  
P: 978-777-0060, F: 978-774-3468, E: WWW.MORINCAMERON.COM

FIGURE 5

# SIGHT DISTANCE SOUTHBOUND

FOR  
217 & 221 HIGH ROAD  
NEWBURY, MASSACHUSETTS  
PREPARED FOR  
GADSEN LANE, LLC  
SCALE: 1"=60'  
DATE: JANUARY 12, 2021



INTERSECTION SIGHT DISTANCE SOUTHBOUND  
APPROACH (SPEED LIMIT 40 MPH)  
SCALE: 1"=50'

INTERSECTION SIGHT DISTANCE (ISD)  
CALCULATION - LEFT TURN FROM STOP  
SPEED LIMIT HIGH ROAD = 40 MPH  
ROAD SLOPE = 5% OR LESS  
REQUIRED ISD = 445'  
PROVIDED ISD = 580'



The  
**Morin-Cameron**  
**GROUP, INC.**  
CIVIL ENGINEERS / ENVIRONMENTAL CONSULTANTS  
LAND SURVEYORS / LAND USE PLANNERS  
68 ELM STREET, DANDY, MASSACHUSETTS 01923  
P: 978-774-5556, F: 978-774-5408, W: WWW.MORINCAMERON.COM

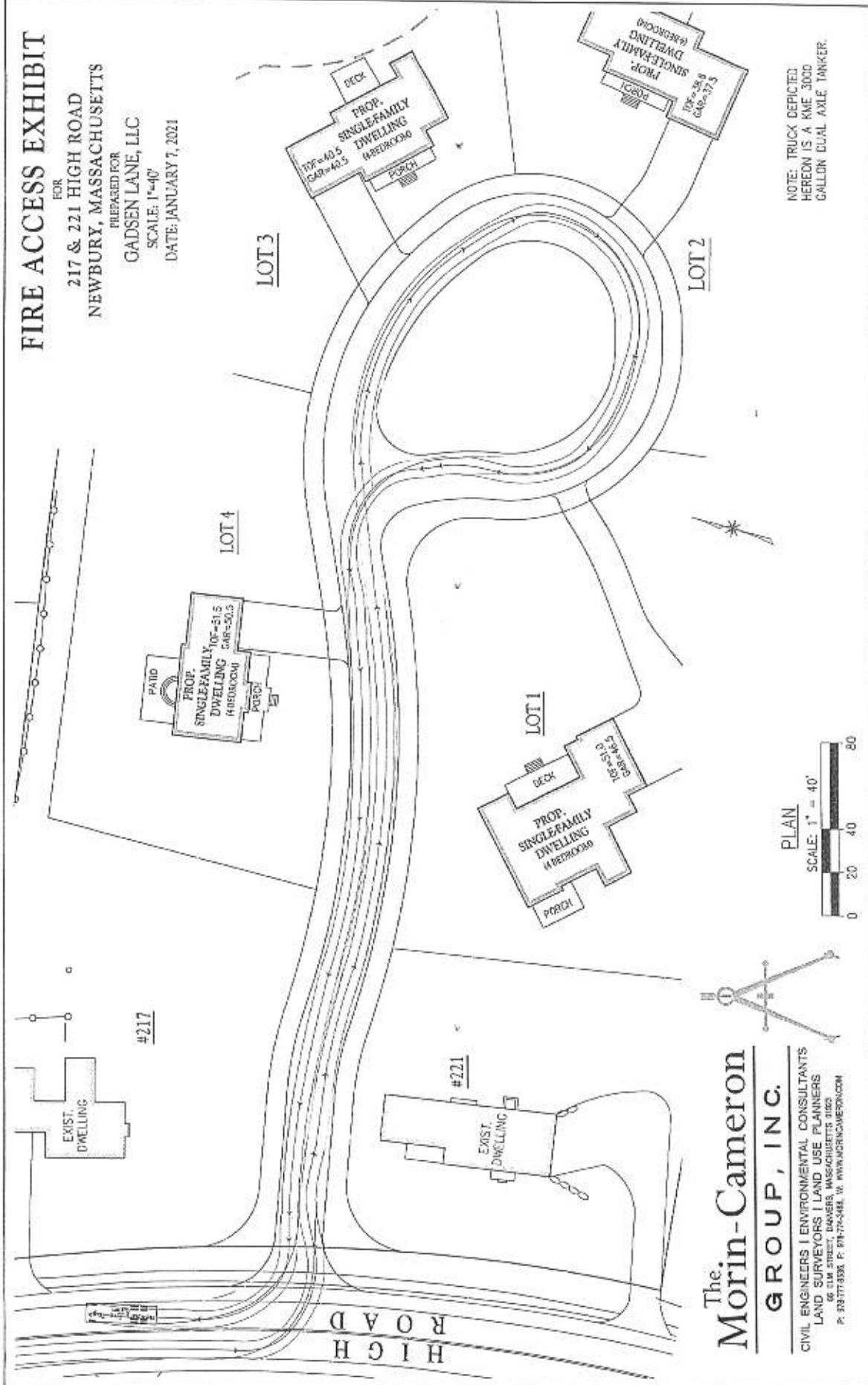
FIGURE 6



# FIRE ACCESS EXHIBIT

FOR  
217 & 221 HIGH ROAD  
NEWBURY, MASSACHUSETTS

PREPARED FOR  
GADSEN LANE, LLC  
SCALE: 1"=40'  
DATE: JANUARY 7, 2021



The  
**Morin-Cameron**  
**GROUP, INC.**

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS  
LAND SURVEYORS | LAND USE PLANNERS  
60 CLIM STREET, DANVERS, MASSACHUSETTS 01923  
P: 978-777-8300 F: 978-777-5488 W: WWW.MORINCAMERON.COM



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# CHARLES M. ROLLINS CO., INC.

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WELL DRILLING CONTRACTORS

January 13, 2021

True Homes & Design  
Attn: Adam True  
6 Payson Street  
Newburyport, MA 01950

RE: 217 - 221 High Road, Newbury, MA

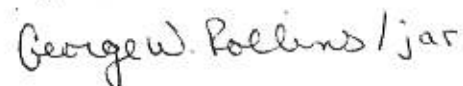
Dear Adam,

With regard to our conversation about the chances of finding water on your property at 217 - 221 High Road, Newbury, MA, we offer the following information.

In the area of Bayview Lane to Black Duck Circle, and new wells on Cottage Road in Newbury, MA, we have drilled at least 30 wells, with more at the Lower Green and on Newman Road. All these wells are serving these houses, and we would not expect any different results at your property.

We trust this is the information requested and look forward to hearing from you. Please do not hesitate to contact me if you have any questions.

Regards,



George W. Rollins

GWR:jar

cc: Town of Newbury Planning Board

CHARLES M. ROLLINS CO., INC.

126 DEPOT ROAD, BOXFORD, MA 01921 • 978/887-2320 • FAX 978/352-8236 • [WWW.ROLLINSWELL.COM](http://WWW.ROLLINSWELL.COM)

**Definitive Subdivision Application**  
**217 & 221 High Road, Newbury, MA**  
**List of Requested Waivers**

**117-23** - Waiver Requested to allow a reduction in the minimum ROW width from 53 feet to 40 feet.

**117-23.B** – Waiver Requested to allow 140 feet outside sideline diameter in cul-de-sac where 165 feet is required, to allow 122 feet outside roadway diameter where 140 feet is required, to allow 22 feet pavement width where 25 feet is required. This allows the preservation of existing trees, ledge outcrops, etc. and better match existing grades on site.

**117-23.C** – Waiver Requested to increase maximum dead end road length from 500 feet to 535'. Increasing this length allows the preservation of existing trees, ledge outcrops, and natural features and better match the existing grades on site.

**117-24 & 117 Attachment 1** – Waiver requested from typical cross section requirements to allow a 40 foot right of way, 22 foot pavement width, super-elevation of the road, elimination of sidewalk requirement with a grassed swale on one side of the road. This will allow preservation of existing trees, ledge outcrops, etc.

**Definitive Subdivision Application**  
**217 & 221 High Road, Newbury, MA**  
**Proposed Schedule of Work**

File with Planning Board	January 2021
Completion of Planning Board Permitting	April 2021
Filing with MassDOT (Road Opening Permit)	April 2021
Road Construction	May 2021 – August 2021
Filing of Notice of Intent with Conservation Commission	May – June 2021
House Construction	10 – 12 Months

FOLLOWING RECORDING, RETURN TO:

Douglas Deschenes. Esq.  
Deschenes & Farrell, P.C.  
515 Groton Road, Suite 204  
Westford, MA 01886

TRIPARTITE AGREEMENT

AGREEMENT made this \_\_\_th day of \_\_\_\_\_, 2021, by and among the TOWN OF NEWBURY, a Massachusetts Municipal Corporation, having its principal place of business at 12 Kent Way, Byfield, Essex County, Massachusetts, by and through its PLANNING BOARD, hereinafter "Board," and GADSDEN LANE, LLC, a Massachusetts Limited Liability Corporation, having a usual place of business at 1 William Hurley Way Newbury, Essex County, Massachusetts hereinafter - "Applicant" and The Provident Bank, a Massachusetts Banking Corporation, having a principal place of business at 66 Storey Avenue Newburyport, Massachusetts, hereinafter "Lender", to secure the construction of ways and the installation of municipal services in a portion of the subdivision shown on the plan entitled, "Definitive Subdivision in Newbury, Massachusetts at 217-221 High Road (Route 1A) (Assessor's Map 27 Lot 64) prepared for Adam Chase True Real Estate Development, LLC, Date: January 13, 2021", prepared by The Morin-Cameron Group, Inc., which plan is recorded with the Southern Essex District Registry of Deeds in Plan Book \_\_\_000\_\_\_, Plan \_\_\_00\_\_\_, which premises are owned by Applicant.

WHEREAS, the Board requires certain performance guarantees consistent with the Certificate of Approval of Definitive Subdivision Plan, 217-221 High Road, Newbury, MA, dated January 13, 2021 ("Applicant's Obligations");

WHEREAS, Applicant has executed a Construction Mortgage, Security Agreement, and Assignment to the Lender dated \_\_\_\_\_ and recorded with the Southern Essex District Registry of Deeds at Book \_\_\_\_\_, Page \_\_\_\_\_.

NOW THEREFORE, the parties agree, in accordance with the provisions of Massachusetts General Laws Chapter 41, Section 81U, as follows:

1. The Applicant will complete the construction of Applicant's Obligations to the reasonable satisfaction of the Board and shall submit "As Built" drawings evidencing same no later than TBD, unless such date shall be extended by a written amendment hereof entered into by agreement of the parties hereto.
2. In order to secure performance of the Applicant's Obligations, Lender hereby agrees to withhold from the proceeds of its above mortgage the sum of \_\_\_TBD\_\_\_\_\_. Lender agrees to make these funds available pursuant to this Agreement and will not permit any withdrawal except as authorized hereunder.

3. There is attached hereto as Schedule A, a schedule of work itemized by task and corresponding dollar value detailing the work necessary to the completion of the construction of ways and installation of municipal services serving the Lots, in accordance with the Plan and the Permits (the "Work").
4. In the event that performance of the Applicant's Obligations are not completed to the reasonable satisfaction of the Board within the time set forth above or as extended, any funds remaining undisbursed by Lender shall be immediately available to the Board for completion of said Applicant's Obligations and for payment of any legal expenses and/or for the completion of the said obligations.
5. Lender shall disburse the funds to the Board only upon receipt by Lender of a copy of a vote of the majority of the Board authorizing Lender to release funds, stating the amount of such funds being requested. Lender shall have the right to rely on said vote and shall not be obligated to make further inquiry or approval of the Applicant for its actions in reliance thereon.
6. Lender's liability hereunder will decrease as the work progresses upon receipt by the Lender of release certificates endorsed by at least four members of the Board and said releases containing original signatures. Lender shall have the right to rely on said written certificates from the Board without further inquiry and shall be relieved of liability to the Applicant and the Board for its actions in reliance thereon. Failure on the part of the Board to execute the said written releases will not relieve Lender from its agreement hereunder.
7. Until this Agreement is released the Board shall have recourse to Lender for all the undisbursed funds, notwithstanding any transfer of title, assignment, bankruptcy, or imposition of lien by or against Applicant.
8. Upon completion of the Applicant's Obligations, all as reasonably satisfactory to the Board, the said Applicant and Lender shall receive a written release of their agreement hereunder from the Board.
9. Notwithstanding anything contained herein to the contrary, the Lender shall have the right at any time prior to completion of the work, to deposit the balance of undisbursed funds in a savings account in the name of the Town of Newbury and shall be released from further liability to the Town and to the Applicant of its obligation under this Agreement.
10. Any amendments to this Agreement and to the aforesaid security shall be agreed upon, in writing, by all parties to this Agreement.

IN WITNESS WHEREOF, the said parties have executed this Agreement and have hereunder set their hands and seals this \_\_\_\_ day of \_\_\_\_\_, 2021.

APPLICANT:  
GADSDEN LANE, LLC

By: \_\_\_\_\_  
Adam C. True, Manager

**COMMONWEALTH OF MASSACHUSETTS**

ESSEX, ss

On this \_\_\_\_ day of \_\_\_\_\_, 2021 before me, the undersigned notary public, personally appeared Adam C. True, proved to me through satisfactory evidence of identification, \_\_\_\_\_, to be the person whose name is signed on the preceding or attached document, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief, and acknowledged to me that he signed said document voluntarily for its stated purpose, by his free act and deed.

\_\_\_\_\_  
Notary Public:  
My Commission Expires:

**SIGNATURES CONTINUED ON NEXT PAGE**



LENDER:

Newburyport Five Cent Savings Bank

By: \_\_\_\_\_

John Burcke

Vice President, Commercial Lending

Newburyport Five Cent Savings Bank

**COMMONWEALTH OF MASSACHUSETTS**

\_\_\_\_\_, ss

On this      day of      , 2017 before me, the undersigned notary public, personally appeared John Burcke \_\_\_\_\_, proved to me through satisfactory evidence of identification, \_\_\_\_\_, to be the person whose name is signed on the preceding or attached document, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his/her knowledge and belief, and acknowledged to me that he/she signed said document voluntarily for its stated purpose, by his/her free act and deed.

\_\_\_\_\_  
Notary Public:

My Commission Expires:

**SIGNATURES CONTINUED ON NEXT PAGE**

BOARD:  
TOWN OF NEWBURY PLANNING BOARD

By: \_\_\_\_\_

By: \_\_\_\_\_

By: \_\_\_\_\_

By: \_\_\_\_\_

By: \_\_\_\_\_

Being a majority thereof

**COMMONWEALTH OF MASSACHUSETTS**

ESSEX, ss

On this \_\_\_\_\_ day of \_\_\_\_\_ 2017 before me, the undersigned notary public, personally appeared \_\_\_\_\_, one of the above named members of the Newbury Planning Board, proved to me through satisfactory evidence of identification, \_\_\_\_\_, to be the person whose name is signed on the preceding or attached document, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his/her knowledge and belief, and acknowledged to me that he/she signed said document voluntarily for its stated purpose, by his/her free act and deed.

\_\_\_\_\_  
Notary Public:

My Commission Expires:

## SCHEDULE A

Attached hereto and incorporated herein by reference.



**Town Of Newbury**  
Office of  
The Board of Assessors  
12 Kent Way Suite 101  
Newbury, MA. 01951-4799  
(978) 465-0862 x308  
Fax: (978) 465-3064

Frank N. Kelley III, Chairman, Board of Assessors  
Sanford Wechsler, Assessor  
Linda McCamic, Assessor

Jason DiScipio, Principal Assessor  
Stephanie Sergi, Assessor's Clerk

Memo

To: Doug Deschenes  
Date: January 13, 2021  
RE: 217 High Rd

The following is a list of abutters within 300' of R27-0-51  
. These listed owners are to the best of our knowledge the owners of record as of January 13, 2021  
and are the only abutters listed in Newbury.

Attached:

1. This cover letter
2. Original request
3. Mailing Labels (2 sets)
4. Mailing List (non-label)
5. GIS Map
6. Abutters List Other Towns (if applicable)

Sincerely,

Stephanie Sergi  
Assessor's Clerk  
Town of Newbury

**CERTIFIED ABUTTERS LIST**

**TOWN OF NEWBURY  
BOARD OF ASSESSORS**

**ADDRESS** 217 High Rd

**PAGE** 1 **OF** 5

1/13/21 SS



## TOWN OF NEWBURY

### BOARD OF ASSESSORS

12 Kent Way, Suite 101, Byfield, MA 01922

978-465-0862 x308

978-572-1228 fax

[www.townofnewbury.org](http://www.townofnewbury.org)

### REQUEST FOR CERTIFIED ABUTTERS LIST

PROPERTY LOCATION: 217 High Road, Newbury

ASSESSORS MAP/LOT#: R27-0-51 & ~~R27-0-53~~  
(If requesting more than one list, please fill out a separate list request for each)

#### CHECK BOX FOR TYPE OF LIST REQUESTED:

- ☐ 1. CONSERVATION COMMISSION  
within 100 ft.
- ☐ CONSERVATION COMMISSION  
Lot area greater than 50 acres
- ☐ CONSERVATION COMMISSION  
Linear Project greater than 1,000 ft
- ☐ 2. ZONING BOARD OF APPEALS  
within 300 ft.
- ☐ 3. ZONING BOARD OF APPEALS/Wireless Communication  
within 900 ft.
- ☒ 4. PLANNING BOARD  
within 300 ft.

REQUESTED BY: Doug Deschenes

PHONE NUMBER: 978-496-1177

DATE REQUESTED: 1/12/2021

DATE PAID: 1/13/21 CK 01275

ASSESSOR SIGNATURE: Stephanie Sergi  
Assessor's Clerk

DATE: 1/13/21 **CERTIFIED ABUTTERS LIST**

**NOTE:** There is a \$20.00 charge per each request. Checks can be made payable to the Town of Newbury.

**TOWN OF NEWBURY**  
**BOARD OF ASSESSORS**  
**ADDRESS** 217 High Rd  
**PAGE** 2 **OF** 5  
1/13/21 SS

215 HIGH RD

R27-0-49

LUC: 101

BAKER KEVIN  
215 HIGH RD  
NEWBURY, MA 01951

221 1/2 HIGH RD

R27-0-55

LUC: 101

LUCY MORIAH L  
221 1/2 HIGH RD  
NEWBURY, MA 01951

217 HIGH RD

R27-0-51

LUC: 101

BATCHELDER TE DALE B  
BROWN TE CARL A  
221 HIGH RD  
NEWBURY, MA 01951

2 BAYVIEW LN

R27-0-47

LUC: 101

MACLEOD RICHARD E  
MACLEOD MARIE A  
2 BAYVIEW LANE  
NEWBURY, MA 01951

OFF HIGH RD

R27-0-53

LUC: 132

BATCHELDER TE DALE B  
BROWN TE CARL A  
221 HIGH RD  
NEWBURY, MA 01951

210 HIGH RD

R26-0-21

LUC: 101

MOORE KIMBERLY A  
210 HIGH RD  
NEWBURY, MA 01951

221 HIGH RD

R27-0-64

LUC: 101

BROWN CARL  
BROWN MARGARET B  
221 HIGH RD  
NEWBURY, MA 01951

5 BAYVIEW LN

R27-0-38

LUC: 101

MORISON SARAH  
BERESKY MICHAEL  
5 BAYVIEW LANE  
NEWBURY, MA 01951

OFF HIGH RD

R27-0-56

LUC: 132

BROWN CARL  
BROWN MARGARET B  
221 HIGH RD  
NEWBURY, MA 01951

211 HIGH RD

R27-0-38

LUC: 101

RUSSELL MARK STEWART  
FRANK MARY ALEXANDRA  
211 HIGH RD  
NEWBURY, MA 01951

3 LITTLE OLD TOWN HILL

R26-0-18

LUC: 101

BROWN M ROSS  
BROWN MICHELE A  
3 LITTLE OLD TOWN HILL  
NEWBURY, MA 01951

223 HIGH RD

R27-0-57

LUC: 101

SPACCIAPOLI PETER  
SPACCIAPOLI MARYANNE B SHEEHAN  
223 HIGH RD  
NEWBURY, MA 01951

208 HIGH RD

R26-0-22

LUC: 109

GORMLEY JAMES E  
208 HIGH RD  
NEWBURY, MA 01951

3 BAYVIEW LN

R27-0-37

LUC: 101

SULLIVAN DAVID J  
SULLIVAN KAREN L  
3 BAYVIEW LN  
NEWBURY, MA 01951

6 BAYVIEW LN

R27-0-45

LUC: 101

HAWKINS TE DAVID S  
HAWKINS TE KATHRYN A  
6 BAYVIEW LN  
NEWBURY, MA 01951

7 BAYVIEW LN

R27-0-39

LUC: 101

WILLIAMS LIBBY A  
7 BAYVIEW LANE  
NEWBURY, MA 01951

204 HIGH RD

R26-0-23

LUC: 101

KNIGHT PAUL HALE  
204 HIGH RD  
NEWBURY, MA 01951

202 HIGH RD

R26-0-24

LUC: 130

KNIGHT PAUL HALE  
204 HIGH RD  
NEWBURY, MA 01951

## CERTIFIED ABUTTERS LIST

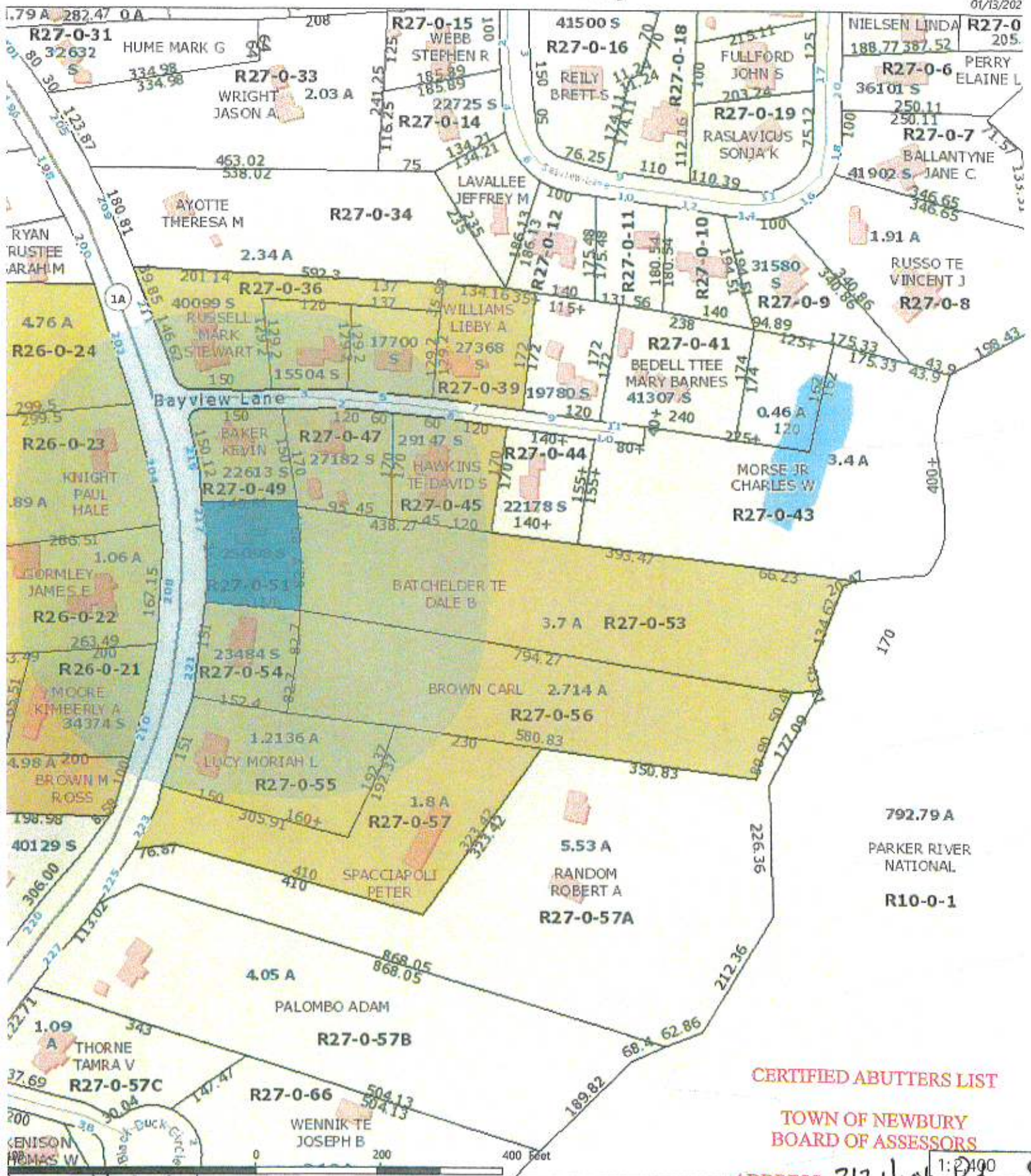
TOWN OF NEWBURY  
BOARD OF ASSESSORSADDRESS 207 High StPAGE 3 OF 5

1/13/21 SS



# Town of Newbury

01/13/2021



Data Sources: Produced by Merrimack Valley Planning Commission (MVPC) using data provided by the Town of Newbury & MassGIS. MVPC AND THE TOWN OF NEWBURY MAKES NO WARRANTIES, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY, COMPLETENESS, RELIABILITY, OR SUITABILITY OF THESE DATA. THE TOWN OF NEWBURY AND MVPC DOES NOT ASSUME ANY LIABILITY ASSOCIATED WITH THE USE OR MISUSE OF THIS INFORMATION.



Municipal Boundary  
Street Number

Roads  
Building

Interstate  
Trails

Legend  
Major Road  
Local Road  
Hydrographic Features  
Streams

ADDRESS 217 High Rd  
PAGE 4 OF 5  
1/13/21





## Town Of Newbury

Office of

The Board of Assessors  
12 Kent Way Suite 101  
Newbury, MA. 01951-4799  
(978) 465-0862 x308  
Fax: (978) 465-3064

Frank "Budd" Kelley, Chairman, Board of Assessors  
Sanford "Sandy" Wechsler, Assessor  
Linda McCamic, Assessor

Nate Cramer, Principal Assessor  
Stephanie Sergi, Clerk

IN ADDITION TO 300' ABUTTERS PLEASE MAIL TO THE FOLLOWING

Georgetown Planning Board  
1 Library Street  
Georgetown, MA 01833

Groveland Planning Board  
183 Main Street  
Groveland, MA 01834

Newburyport Planning Board  
60 Pleasant Street  
Newburyport, MA 01950

Rowley Planning Board  
39 Central Street  
PO Box 714  
Rowley, MA 01969

West Newbury Planning Board  
381 Main Street  
West Newbury, MA 01985

If the list is for the Newbury Zoning Board of Appeals include:

Newbury Planning Board  
12 Kent Way Suite 101  
Newbury, MA 01951

CERTIFIED ABUTTERS LIST

TOWN OF NEWBURY  
BOARD OF ASSESSORS

ADDRESS 217 High Rd

PAGE 5 OF 5

1/13/21 SS



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Frank N. Kelley III, Chairman, Board of Assessors  
Sanford Wechsler, Assessor  
Linda McCamic, Assessor

Jason DiScipio , Principal Assessor  
Stephanie Sergi, Assessor's Clerk

**Memo**

To: Doug Deschenes  
Date: January 13, 2021  
RE: 217 High Rd

The following is a list of abutters within 300' of R27-0-53  
. These listed owners are to the best of our knowledge the owners of record as of January 13, 2021  
and are the only abutters listed in Newbury.

**Attached:**

1. This cover letter
2. Original request
3. Mailing Labels (2 sets)
4. Mailing List (non-label)
5. GIS Map
6. Abutters List Other Towns (if applicable)

Sincerely,

Stephanie Sergi  
Assessor's Clerk  
Town of Newbury

**CERTIFIED ABUTTERS LIST**

**TOWN OF NEWBURY  
BOARD OF ASSESSORS**

**ADDRESS** 217 High Rd  
**PAGE** 1 **OF** 5  
1/13/21 SS



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ASSESSORS MAP/LOT#: ~~R27-0-51~~ 3 R27-0-53

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within 300 ft.
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within 300 ft.

REQUESTED BY: Doug Deschenes

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Assessor's Clerk

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**CERTIFIED ABUTTERS LIST**

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**BOARD OF ASSESSORS**

ADDRESS 217 High Rd

PAGE 2 OF 5

1/13/21 SS



215 HIGH RD BAKER KEVIN 215 HIGH RD NEWBURY, MA 01951	R27-0-49 LUC: 101	221 1/2 HIGH RD LUCY MORIAH L 221 1/2 HIGH RD NEWBURY, MA 01951	R27-0-65 LUC: 101	9 BAYVIEW LN STERN TTEE DAVID A STERN TTEE CLAUDIA V 9 BAYVIEW LANE NEWBURY, MA 01951	R27-0-40 LUC: 101
217 HIGH RD BATCHELDER TE DALE B BROWN TE CARL A 221 HIGH RD NEWBURY, MA 01951	R27-0-51 LUC: 101	2 BAYVIEW LN MACLEOD RICHARD E MACLEOD MARIE A 2 BAYVIEW LANE NEWBURY, MA 01951	R27-0-47 LUC: 101	3 BAYVIEW LN SULLIVAN DAVID J SULLIVAN KAREN L 3 BAYVIEW LN NEWBURY, MA 01951	R27-0-37 LUC: 101
OFF HIGH RD BATCHELDER TE DALE B BROWN TE CARL A 221 HIGH RD NEWBURY, MA 01951	R27-0-53 LUC: 132	210 HIGH RD MOORE KIMBERLY A 210 HIGH RD NEWBURY, MA 01951	R26-0-21 LUC: 101	7 BAYVIEW LN WILLIAMS LIBBY A 7 BAYVIEW LANE NEWBURY, MA 01951	R27-0-39 LUC: 101
11 BAYVIEW LN BEDELL TTEE MARY BARNES 11 BAY VIEW LN NEWBURY, MA 01951	R27-0-41 LUC: 101	5 BAYVIEW LN MORISON SARAH BERESKY MICHAEL 5 BAYVIEW LANE NEWBURY, MA 01951	R27-0-38 LUC: 101		
221 HIGH RD BROWN CARL BROWN MARGARET B 221 HIGH RD NEWBURY, MA 01951	R27-0-54 LUC: 101	BAYVIEW LN MORSE CHARLES W JR 19 GREEN ST NEWBURY, MA 01951	R27-0-42 LUC: 132		
OFF HIGH RD BROWN CARL BROWN MARGARET B 221 HIGH RD NEWBURY, MA 01951	R27-0-56 LUC: 132	10 BAYVIEW LN MORSE JR CHARLES W 19 GREEN ST NEWBURY, MA 01951	R27-0-43 LUC: 132		
208 HIGH RD GORMLEY JAMES E 208 HIGH RD NEWBURY, MA 01951	R26-0-22 LUC: 109	PARKER RIVER PARKER RIVER NATIONAL WILDLIFE REFUGE NORTHERN BLVD PLUM ISLAND NEWBURYPORT, MA 01950	R10-0-1 LUC: 900		
6 BAYVIEW LN HAWKINS TE DAVID S HAWKINS TE KATHRYN A 6 BAYVIEW LN NEWBURY, MA 01951	R27-0-46 LUC: 101	225 HIGH RD RANDOM ROBERT A RANDOM CHARLENE E 225 HIGH RD NEWBURY, MA 01951	R27-0-57A LUC: 101		
204 HIGH RD KNIGHT PAUL HALE 204 HIGH RD NEWBURY, MA 01951	R26-0-23 LUC: 101	211 HIGH RD RUSSELL MARK STEWART FRANK MARY ALEXANDRA 211 HIGH RD NEWBURY, MA 01951	R27-0-36 LUC: 101		
8 BAYVIEW LN LAURANO MICHAEL A 8 BAYVIEW LANE NEWBURY, MA 01951	R27-0-44 LUC: 101	223 HIGH RD SPACCIAPOLI PETER SPACCIAPOLI MARYANNE B SHEEHAN 223 HIGH RD NEWBURY, MA 01951	R27-0-57 LUC: 101		

CERTIFIED ABUTTERS LIST

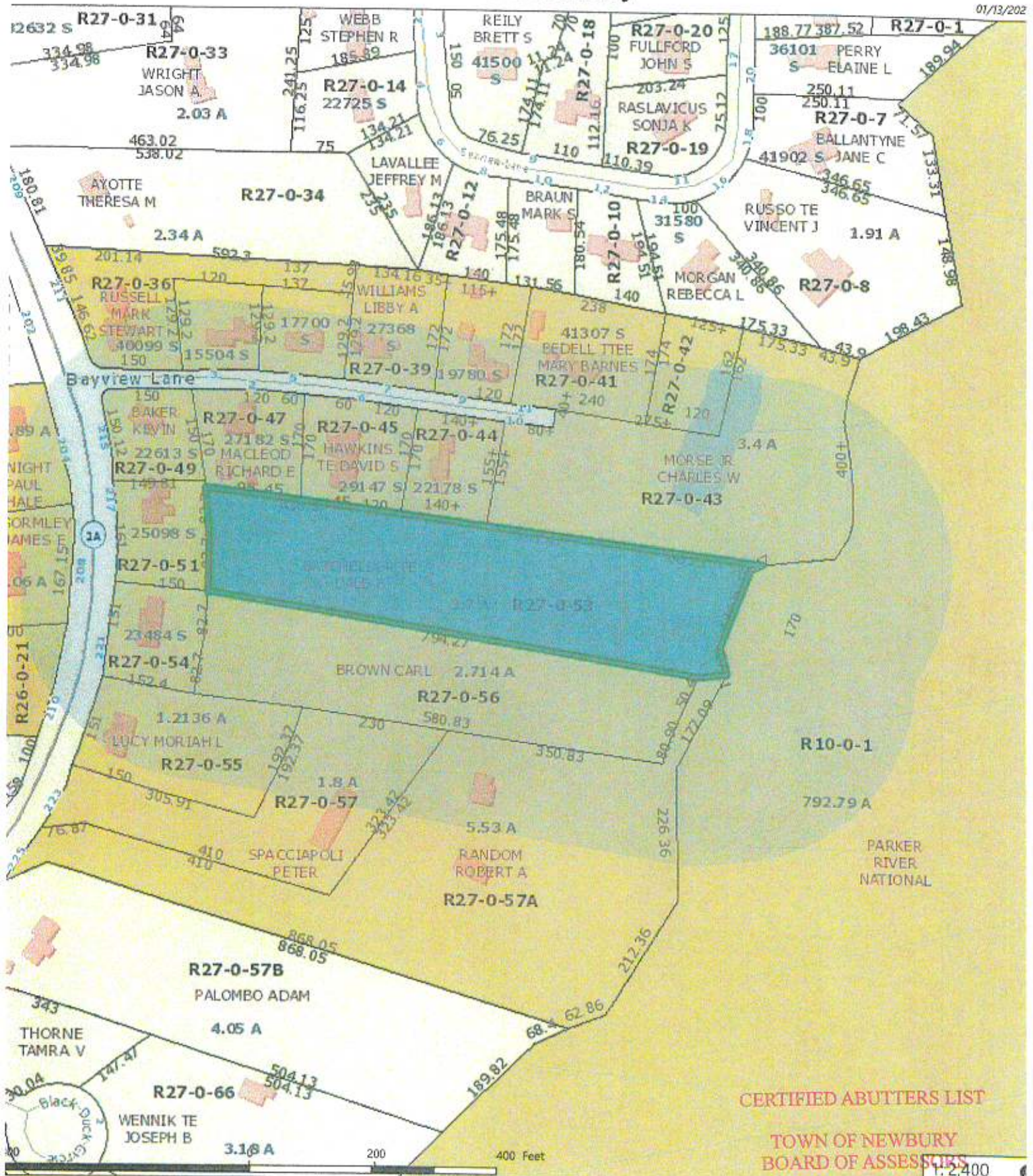
TOWN OF NEWBURY  
BOARD OF ASSESSORS

ADDRESS 217 High Rd  
PAGE 3 OF 5  
1/13/21 SS



# Town of Newbury

01/13/2022



CERTIFIED ABUTTERS LIST

TOWN OF NEWBURY  
BOARD OF ASSESSORS

1:2,400

Map Sources: Produced by Merrimack Valley Planning Commission (MVPC) using data provided by the Town of Newbury & MassGIS. MVPC AND THE TOWN OF NEWBURY MAKES NO WARRANTIES, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY, COMPLETENESS, RELIABILITY, OR SUITABILITY OF THESE DATA. THE TOWN OF NEWBURY AND MVPC DOES NOT ASSUME ANY LIABILITY ASSOCIATED WITH THE USE OR MISUSE OF THIS INFORMATION.



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Legend

Address

Water Body

Rail Line

Hydrographic Features

Stream

Wetland

Shoreline

Other

Address

Water Body

Rail Line

Hydrographic Features

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Stephanie Sergi, Clerk

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39 Central Street  
PO Box 714  
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381 Main Street  
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12 Kent Way Suite 101  
Newbury, MA 01951

CERTIFIED ABUTTERS LIST

TOWN OF NEWBURY  
BOARD OF ASSESSORS

ADDRESS 217 High Rd

PAGE 5 OF 5

1/13/21 SS

## Property Owner's Information Sheet

Owner: 217 High Road, Newbury, MA 01951

MDM Nominee Trust, Dale B. Batchelder\* & Carl A. Brown, Trustees\*\*

217 High Road

Newbury, MA 01951

ESRD: Book 15698, Page 182

Assessor's Parcel: Lot 1: R27-0-51

Lot Area: 0.576 acres

Present Use: One Family

Zoning District: Residential/Agricultural

Lot 2: R27-0-53

Lot Area: 3.700 acres

Present Use: Undeveloped

Zoning District: Residential/Agricultural

Owner: 221 High Road, Newbury, MA 01951

Carl A. Brown\*\* & Margaret B. Brown\*\*\*

221 High Road

Newbury, MA 01951

ESRD: Book 4278, Page 393

Assessor's Parcel: Lot 1: R27-0-54

Lot Area: .0539 acres

Present Use: One Family

Zoning District: Residential/Agricultural

Lot 2: R27-0-56

Lot Area: 2.714 acres

Present Use: Undeveloped

Zoning District: Residential/Agricultural

\*Dale B. Batchelder a.k.a. Dale B. Fernald (They are the same person; the name change reflects a marriage)

\*\*Carl B. Brown (deceased), 221: ownership transferred by law to his wife Margaret B. Brown as Tenants in the Entirety), 217: Upon Carl's death Dale B. Batchelder became sole Trustee of MDM Trust).

\*\*\*Margaret B. Brown (deceased), Dale B. Fernald and Melinda B. Everett, appointed by court as Personal Representatives for Margaret)



Form R-201 08012015



Commonwealth of Massachusetts  
Registry of Vital Records and Statistics  
**CERTIFICATE OF DEATH**

MEDICAL EXAMINER

State File # 2017 039855

Registered # 2017-50

OCME CASE # 2017-11164

DECEDENT	Place of Death	SEA VIEW RETREAT, ROWLEY, MA		
	Date of Death	AUGUST 31, 2017		Age 94 YRS Sex FEMALE
	Current Name	BROWN, MARGARET ELIZABETH		
	Surname at Birth or Adoption	BOOKER		
	AKA	MARGARET B BROWN		
	Date of Birth	NOVEMBER 04, 1922	Birthplace	GADSDEN, TENNESSEE
	Residence	221 HIGH ROAD, NEWBURY, MASSACHUSETTS 01951		
	Race	WHITE	Education	BACHELOR'S DEGREE
	Marital Status	WIDOWED	Occupation/Industry	HOMEMAKER/OWN HOME
	MEDICAL CERTIFIER	Last Spouse - Last, First, Middle (Surname at Birth or Adoption)	BROWN, CARL, ATHERTON (BROWN)	
Mother/Parent Name - Last, First, Middle (Surname at Birth or Adoption)		BOOKER, NANNIE MYRTLE (RICHARDSON)		Birthplace TENNESSEE
Father/Parent Name - Last, First, Middle (Surname at Birth or Adoption)		BOOKER JR, WILLIAM BRANCH (BOOKER)		Birthplace TENNESSEE
Part I. Cause of Death - Sequentially list (in medical cause then antecedent causes then underlying cause)				
a. Immediate Cause (Final condition resulting in death)			Interval between onset and death	
1. SENESCENCE			— YRS.	
b. Due to or as a consequence of:			---	
c. Due to or as a consequence of:			---	
d. Due to or as a consequence of:			---	
Part II. Other significant conditions contributing to death but not resulting in underlying cause			Manner of Death:	
DEMENTIA			NATURAL	
GAIT DISTURBANCE			Time of Death: 09:02 AM	
			Result of Injury: NO	
DISPOSITION	Certifier	STEPHEN WOLANSKE, MD		
	Addr.	720 ALBANY STREET, BOSTON, MASSACHUSETTS 02118		
	Funeral Licensee/Designee	JOSHUA J ROGERS		
	Facility/Addr.	PAUL C. ROGERS & SONS INC., AMESBURY, MASSACHUSETTS		
	Immediate Disposition	CREMATION		
	Date of Immediate Disposition	SEPTEMBER 06, 2017		
	Place/Address	LINWOOD CREMATORY, 41 JOHN WARD AVENUE, HAVERHILL, MASSACHUSETTS 01830		
Date of Record	SEPTEMBER 08, 2017			
Date of Amendment	---			

CLERK, TOWN OF ROWLEY

A true copy, ATTEST:  
Susan G. Hazen, Town Clerk  
Rowley, MA 01969

R-301 p. 2 of 3  
ROWLEY 2017-50  
NEWBURY

BROWN

SFN: 2017 039856

STATE VOLUNTARY

(If U.S. war veteran, specify war conflict(s))			
Branch of military (most recent)		Rank/organization/unit (most recent)	
Date entered (most recent)	Date Discharged (most recent)	Service Number (most recent)	
Place of Death Type NURSING HOME		Date of Pronouncement AUGUST 31, 2017	Time of Pronouncement 09:02 AM
RN/PA Pronouncement? YES		Name of RN/PA Pronouncing Death MICHELLE J DUMAMBRO, R.N.	
RN/PA Employing Agency or Institution SEA VIEW RETREAT		Name of Physician or Medical Examiner notified SPENCER AMES BURY, MD	
Was M.E. Notified? YES	Provider in charge of patient's care, if not certifier		
Autopsy Performed? NO	Findings available for Cause?	Tobacco contributed to death?	Pregnancy Status, if female
Date of Injury	Time of Injury	Injury at Work?	If Transportation Injury, specify:
Place of Injury		Location/Address of Injury:	
Describe How Injury Occurred			
Expanded Race: WHITE			
Ethnicity: AMERICAN			
Informant Name DALE B FERNALD		Relationship DAUGHTER	
Addr. 217 HIGH ROAD, NEWBURY, MASSACHUSETTS 01951			
Date Disposition Permit Issued:	SEPTEMBER 08, 2017	Board of Health Agent	SUSAN G. HAZEN
State Tracking No.	039856	Local Permit No.	2017-559



**LETTERS OF AUTHORITY FOR  
PERSONAL REPRESENTATIVE**

Docket No.  
ES16P0403EA

Commonwealth of Massachusetts  
The Trial Court  
Probate and Family Court

Estate of:

Margaret Elizabeth Brown

Also known as: Margaret Booker Brown, Margaret B. Brown

Date of Death: 08/31/2017

Essex Probate and Family Court

36 Federal Street

Salem, MA 01970

(978)744-1020

To

Dale B. Fernald  
217 High Road  
Newbury, MA 01951

and

Melinda B. Everett  
7 Parker Ridge Way  
Newburyport, MA 01950

You have been appointed and qualified as Personal Representative in ☐ Supervised ☒ Unsupervised  
administration of this estate on February 12, 2018  
(date)

These letters are proof of your authority to act pursuant to G. L. c. 190B, except for the following restrictions if any

☐ Pursuant to G. L. c. 190B, § 3-108(4), the Personal Representative shall have no right to possess estate assets as  
provided in § 3-709 beyond that necessary to confirm title thereto in the successors to the estate and claims, other than  
expenses of administration, if any, shall not be paid.

☐ The Personal Representative was appointed before March 31, 2012 as Executor or Administrator of the estate

(Do Not Write Below This Line-For Court Use Only)

**CERTIFICATION**

I certify that it appears by the records of this Court that said appointment remains in full force and effect. IN TESTIMONY  
WHEREOF I have hereunto set my hand and affixed the seal of said Court.

Date

FEB 14 2018

*Pamela A Casey O'Brien*

Pamela A Casey O'Brien, Register of Probate

<b>ORDER OF INFORMAL PROBATE OF WILL AND/OR APPOINTMENT OF PERSONAL REPRESENTATIVE</b>			Docket No. <u>180403EA</u>	Commonwealth of Massachusetts The Trial Court Probate and Family Court
Estate of: <u>Margaret</u> <u>Elizabeth</u> <u>Brown</u> First Name Middle Name Last Name			Essex	Division
Also Known As: <u>Margaret B. Brown, Margaret Booker Brown</u>				
Date of Death: <u>August 31, 2017</u>				

1. A Petition has been filed requesting:

☒ The appointment of a Personal Representative.

☒ Informal probate of the will dated January 11, 2012 and codicils                       
of the above named Decedent. (date) (date)

2. Upon consideration of the Petition, I determine based upon the Petition that all of the following are true:

- a. The Petitioner is an interested person and has filed a complete and verified Petition.
- b. Venue is proper.
- c. The Petition was filed within the time period permitted by law.
- d. Any required notices have been given or waived.
- e. A death certificate issued by a public officer is in the Court's possession.
- f. The spouse, heirs at law and any devisees are not incapacitated or protected persons or minors; or if they are, they are represented by a conservator or a guardian who is not the Petitioner.

#### INFORMAL PROBATE OF WILL

3. ☒ The original, properly executed and apparently unrevoked will is in the court's possession.

The will dated January 11, 2012 and any codicils dated                       
(date) (date)

are referred to as the will. There are no known prior wills which have not been expressly revoked by a later instrument. The will is admitted to informal probate.

☐ An authenticated copy of the will and any codicil and documents establishing probate in the State of                      are in the court's possession and are offered for informal probate. The will is admitted to informal probate.

☐ A duly authenticated copy of the will and a duly authenticated certificate of its legal custodian that the copy filed is a true copy and that the will has become operative under the law of                      is offered for informal probate. The will is admitted to informal probate.

#### APPOINTMENT OF PERSONAL REPRESENTATIVE

4. ☒ The person whose appointment is sought has priority for appointment, with or without appropriate nomination and/or renunciation. Any will to which the requested appointment relates has been formally or informally probated.



Estate of:	Margaret First Name	Elizabeth Middle Name	Brown Last Name	Docket No.
------------	------------------------	--------------------------	--------------------	------------

The following person is appointed Personal Representative:

Dale First Name	B. M.I.	Fernald Last Name	Melinda First Name	B. M.I.	Everett Last Name
217 High Road (Address)			7 Parker Ridge Way (Address)		
(Apt. Unit, No. etc.)			(Apt. Unit, No. etc.)		
Newbury (City/Town)	MA (State)	01951 (Zip)	Newburyport (City/Town)	MA (State)	01950 (Zip)
Primary Phone #:(978) 462-6055			Primary Phone #:(978) 465-1960		

5. The Personal Representative shall serve in an unsupervised administration

☒ without surety on the bond.

☐ with ☐ personal ☐ corporate sureties on the bond in the penal sum amount of \$ \_\_\_\_\_

6. Letters of Authority shall issue

The Personal Representative(s) shall comply with all relevant requirements under the law and the appointment is subject to termination as provided in G. L. c. 190B, §§ 3-608-012

Date Feb 12, 2018

☒ Justice ☒ Magistrate

The Petition is DENIED/DECLINED because:

☐ This or another will of the Decedent has been the subject of a previous probate Order.

☐ Persons with prior or equal priority have not renounced or nominated the Petitioner or his or her nominee.

☐ Notice requirements have not been met.

☐ Other:

Date \_\_\_\_\_

☐ Justice ☐ Magistrate

NOTE: The denial of a Petition for Informal Probate cannot be appealed. A timely formal proceeding may be initiated pursuant to G. L. c. 190B, § 3-401.

If this Petition is allowed the Petitioner must publish an Informal Publication Notice (MPC 551) once in a newspaper designated by the Register. The Publication shall not be more than thirty (30) days after Informal probate or appointment pursuant to G. L. c. 190B, § 3-306(b).

RETURN TO:  
G. FLAHERTY LAW OFFICES  
184 State Street  
Newburyport, Massachusetts 01950

05/26/99 12:08 inst. 398

BK 15698 PG 182

3, 2  
FILE # 0-15,564 RE

### Quitclaim Deed

I, Elinor E. Myers of Newbury, Essex County, Massachusetts for consideration of Two Hundred Seventy Thousand and 00/100 (\$270,000.00) Dollars grant to Dale B. Batchelder and Carl A. Brown, Trustees of the MDM Nominee Trust of P.O. Box 563, Newburyport, Essex County, Massachusetts, 01950, with *quitclaim covenants*

#### Parcel 1.

the land in said Newbury, bounded as follows:

WESTERLY	by the High Road, 75.5 feet;
NORTHERLY	by remaining land of the grantor, being lot numbered seven as shown on a certain plan hereinafter referred to, 150 feet;
EASTERLY	by remaining land of the grantor, 82.7 feet; and
SOUTHERLY	by remaining land of the grantor, being lot numbered five on said plan, 150 feet.

Being and constituting lot numbered six as shown on a certain plan entitled "Subdivision Land of Paul Thurlow, High Road, Newbury, Mass." dated April, 1950, W.S. Little Eng'r., and recorded with Essex South District Registry of Deeds Plan Book 79, Plan 53.

Together with the right and easement to flow and overflow from any septic tank to be installed on the above-described premises on, over, and through the remaining land of grantor lying easterly from said above-described premises, and to construct ditches, drains, or pipes for said purpose, and to maintain the same, and to enter upon said remaining land of the grantor for said purpose, provided that any pipe to be laid in said remaining land of grantor shall be at least three feet below the surface of the ground.

Being the same premises conveyed to grantor and John W. Myers, Jr. by deed of Paul E. Thurlow dated November 14, 1950 and recorded with Essex South District Registry of Deeds at Book 3788, Page 96. The said John W. Myers, Jr. having died on November 26, 1985.

#### Parcel 2

the land in Newbury in said County, being and constituting lot numbered five (5) as shown upon a certain plan entitled "Subdivision Land of Paul Thurlow, High Road, Newbury, Mass.", dated April, 1950, and recorded with Essex South District Registry of Deeds, Plan Book 79, Plan 53, said lot being bounded:

WESTERLY	by the High Road, 75.5 feet;
NORTHERLY	by other land of the grantees, 150 feet;
EASTERLY	by other land of the grantor, 82.7 feet; and
SOUTHERLY	by lot No. 4 as shown on said plan, 150 feet.

Subject to the restriction that the premises are not to be used for commercial purposes.

Property Address: 217 High Road, Newbury

153120

Being the same premises conveyed to grantor and John W. Myers, Jr. by deed of Paul E. Thurlow dated August 29, 1951 and recorded with Essex South District Registry of Deeds at Book 3875, Page 253. The said John W. Myers, Jr. having died on November 26, 1985.

Parcel 3

the land in said Newbury, bounded as follows:

SOUTHERLY	by land of the grantees, being lot No. six as shown upon a certain plan entitled "Subdivision Land of Paul Thurlow, High Road, Newbury, Mass." dated April 1950, W.S. Little, Eng'r., and recorded with Essex South District Registry of Deeds, Plan Book 79, Plan 53, one hundred fifty feet;
WESTERLY	by High Road, ten feet;
NORTHERLY	by remaining land of grantor, one hundred fifty feet; and
EASTERLY	by other land of grantor, ten feet.

The above-described premises constituting and being the Southerly ten feet of lot No. seven as shown on said plan.

Subject to the restriction that the premises are not to be used for commercial purposes.

Being the same premises conveyed to grantor and John W. Myers, Jr. by deed of Paul E. Thurlow dated October 15, 1952 and recorded Essex South District Registry of Deeds at Book 3938, Page 265. The said John W. Myers, Jr. having died on November 26, 1985.

Parcel 4

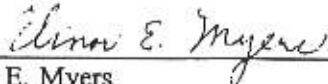
the land in said Newbury situated EASTERLY from High Road, bounded and described as follows:

Beginning at the SOUTHWESTERLY corner of Lot No. 5 as shown upon the above referenced plan; thence running

SOUTHEASTERLY	by Parcel No. 1 as described in license of Essex County Probate Court, dated June 15, 1956, Docket No. 251258, 920 feet, more or less, to land of the United States of America; thence running
NORTHEASTERLY	by the last mentioned land, 170 feet; thence running
NORTHWESTERLY	by Parcel 3 as described in said license, 990 feet, more or less, to the NORTHEASTERLY corner of Lot No. 6 as shown on said plan; and thence running
SOUTHWESTERLY	by the EASTERLY boundary line of said Lots No. 6 and No. 5 to point of beginning

Being the same premises conveyed to grantor and John W. Myers, Jr. by deed of Elsa W. Thurlow, Administrator of the Estate of Paul E. Thurlow dated June 15, 1956 and recorded with the Essex South District Registry of Deeds at Book 4288, Page 402.

Executed as a sealed instrument this 26th day of May, 1999.

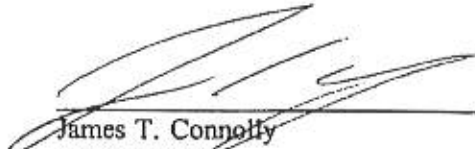
  
Elinor E. Myers

COMMONWEALTH OF MASSACHUSETTS

Essex, ss

May 26, 1999

Then personally appeared the above-named Elinor E. Myers and acknowledged the foregoing instrument to be her free act and deed, before me,

  
James T. Connolly  
Notary Public  
My Commission Expires: 8/12/05

CANCELLED  
SALES  
DEEDS REG 10  
ESSEX SOUTH  
05/26/99 11:59AM 01  
000000 H3959  
FEE \$1231.20  
CRSH \$1231.20

I, Elsa W. Thurlow

~~EXECUTOR under the WILL of~~—ADMINISTRATOR of the ESTATE of—~~TRUSTEE of~~ GUARDIAN  
~~OF~~ CONSERVATOR ~~OF~~ ~~OF THE ESTATE OF~~ (INDUCIAL) ~~OF~~ COMMISSIONER  
Paul E. Thurlow (Essex Probate Number 261258)

by power conferred by License of Essex County Probate Court, dated June  
15, 1956

and every other power,  
for twenty-five hundred.....Dollars  
paid, grant to Carl A. Brown and Margaret E. Brown, husband and wife,  
as tenants by the entirety, both of Newbury in said County, Massachusetts  
the land in said Newbury  
bounded and described as follows:

Beginning at the NORTH-EASTERLY corner of Lot No. 1 as shown  
upon a certain plan entitled, "Plan of Land of Paul Thurlow, Newbury,  
Mass.", E. S. Little, Engineer, dated April 1950 and recorded with  
Essex South District Deeds, Plan Book 79, Plan 53; thence running  
SOUTHEASTERLY, NORTH-EASTERLY AND SOUTHEASTERLY again, all by land  
of Halsey and by a stone wall to land of the United States of  
America (Fish and Wild Life Service); thence running NORTH-EASTERLY  
by said land of the United States of America, 170 feet, to Parcel  
C as described in said license; thence running NORTH-WESTERLY by said  
Parcel C, 380 feet, more or less, to the NORTH-EASTERLY corner of  
Lot No. 4 as shown upon said plan; thence running NORTH-WESTERLY by the  
HALSEY boundary line of Lots No. 4, No. 3, No. 2, No. 1, as shown  
upon said plan to said land of Halsey and point of beginning.



Witness.....by hand and seal this fifteenth.....day of June.....19 56  
U. S. Docum. Stamps \$ 2.25 affixed  
I cancelled on back of this instrument *Elsa W. Thurlow*

## The Commonwealth of Massachusetts

Essex ss.

ss.

June 15,

19 56

Then personally appeared the above named Elsa W. Thurlow

and acknowledged the foregoing instrument to be her free act and deed, before me

*James T. Connolly*  
Notary Public—Justice of the PeaceMy commission expires *Feb. 16* 19 *67*

Essex ss. Recorded June 18, 1956. At 8 o'clock A. M. #12

February 3, 2021

Newbury Zoning Board of Appeals  
Newbury Municipal Offices  
12 Kent Way, Suite 200  
Byfield, MA 01922

Newbury Planning Board  
Newbury Municipal Offices  
12 Kent Way, Suite 101  
Byfield, MA 01922

Newbury Conservation Commission  
Newbury Municipal Offices  
12 Kent Way, Suite 101  
Byfield, MA 01922

RE: Newbury Subdivision – 217 & 221 High Road, Newbury  
(Parcels: R27-0-54 and R27-0-56)

Dear Members of the Board,

Please be advised that the undersigned, Gadsden Lane, LLC, Adam True, Manager, do hereby authorize Attorneys Douglas C. Deschenes and/or related associates of the law firm of Deschenes & Farrell, P.C., 515 Groton Road, Ste. 204, Westford, MA 01886 to act (including but not limited to signing, filing and permitting) in regards to any filing, permit application, or other documents relating to proposed reconstruction, subdivision and/or alteration of the property located at 217 & 221 High Road, Newbury.

Thank you for your time and attention to this matter.

Sincerely,

  
Adam True, Manager



June 17, 2020

Newbury Zoning Board of Appeals  
Newbury Municipal Offices  
12 Kent Way, Suite 200  
Byfield, MA 01922

Newbury Planning Board  
Newbury Municipal Offices  
12 Kent Way, Suite 101  
Byfield, MA 01922

Newbury Conservation Commission  
Newbury Municipal Offices  
12 Kent Way, Suite 101  
Byfield, MA 01922

RE: Residential Subdivision, 221 High Road, Newbury  
(Parcels: R27-B-54 and R27-B-56)

Dear Members of the Board,

Please be advised that the undersigned, Carl A. Brown and Margaret B. Brown do hereby authorize Attorneys Douglas C. Deschenes and/or related associates of the law firm of Deschenes & Furrell, P.C., 515 Groton Road, Ste. 204, Westford, MA 01886 to act (including but not limited to signing, filing and permitting) in regards to any filing, permit application, or other documents relating to proposed reconstruction and/or alteration of my property located at 221 High Road, Newbury.

Thank you for your time and attention to this matter.

Sincerely,

\_\_\_\_\_  
Carl A. Brown

\_\_\_\_\_  
Margaret B. Brown

  
Personal Representative

6/19/2020

Dale P. Fernald,  
personal representative

6/19/2020

June 17, 2020

Newbury Zoning Board of Appeals  
Newbury Municipal Offices  
12 Kent Way, Suite 200  
Byfield, MA 01922

Newbury Planning Board  
Newbury Municipal Offices  
12 Kent Way, Suite 101  
Byfield, MA 01922

Newbury Conservation Commission  
Newbury Municipal Offices  
12 Kent Way, Suite 101  
Byfield, MA 01922

RE: Newbury Subdivision - 217 High Road, Newbury  
(Parcels: R27-0-51 and R27-0-53)

Dear Members of the Board,

Please be advised that the undersigned, Dale B. Batchelder and Carl A. Brown do hereby authorize Attorneys Douglas C. Deschenes and/or related associates of the law firm of Deschenes & Farrell, P.C., 515 Groton Road, Ste. 204, Westford, MA 01886 to act (including but not limited to signing, filing and permitting) in regards to any filing, permit application, or other documents relating to proposed reconstruction and/or alteration of my property located at 217 High Road, Newbury.

Thank you for your time and attention to this matter.

Sincerely,

*Dale B. Batchelder*

Dale B. Batchelder

*Trustee MDM trust*

Carl A. Brown

*Dale B. Fernald*

*6-19-2020*

February 2, 2021

Newbury Zoning Board of Appeals  
Newbury Municipal Offices  
12 Kent Way, Suite 200  
Byfield, MA 01922

Newbury Planning Board  
Newbury Municipal Offices  
12 Kent Way, Suite 101  
Byfield, MA 01922

Newbury Conservation Commission  
Newbury Municipal Offices  
12 Kent Way, Suite 101  
Byfield, MA 01922

RE: Newbury Subdivision - 217 High Road, Newbury  
(Parcels: R27-0-51 and R27-0-53)

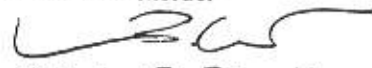
Dear Members of the Board,

Please be advised that the undersigned, Dale B. Batchelder and Carl A. Brown do hereby authorize Adam True and/or Gadsden Lane, LLC of 6 Payson Street, Newburyport, MA to act (including but not limited to signing, filing and permitting) in regards to any filing, permit application, or other documents relating to proposed reconstruction, subdivision and/or alteration of my property located at 217 High Road, Newbury.

Thank you for your time and attention to this matter.

Sincerely,

  
Dale B. Batchelder

  
Melinda B. Everett

  
Carl A. Brown

CO-EXECUTRIX ESTATE OF MARGARET B. BROWN

February 2, 2021

Newbury Zoning Board of Appeals  
Newbury Municipal Offices  
12 Kent Way, Suite 200  
Byfield, MA 01922

Newbury Planning Board  
Newbury Municipal Offices  
12 Kent Way, Suite 101  
Byfield, MA 01922

Newbury Conservation Commission  
Newbury Municipal Offices  
12 Kent Way, Suite 101  
Byfield, MA 01922

RE: Newbury Subdivision – 221 High Road, Newbury  
(Parcels: R27-0-54 and R27-0-56)

Dear Members of the Board,

Please be advised that the undersigned, Carl A. Brown and Margaret B. Brown do hereby authorize Adam True and/or Gadsden Lane, LLC of 6 Payson Street, Newburyport, MA to act (including but not limited to signing, filing and permitting) in regards to any filing, permit application, or other documents relating to proposed reconstruction, subdivision and/or alteration of my property located at 221 High Road, Newbury.

Thank you for your time and attention to this matter.

Sincerely,

\_\_\_\_\_  
Carl A. Brown

*Dale B. Fernald*

DALE B. FERNALD  
EXECUTRIX

Estate of Margaret B. Brown

\_\_\_\_\_  
Margaret B. Brown

*Melinda B. Everett*

MELINDA B. EVERETT  
EXECUTRIX



## Unofficial Property Record Card - Newbury, MA

## General Property Data

Parcel ID R27-0-51	Account Number
Prior Parcel ID #217 --	
Property Owner BATCHELDER TE DALE B	Property Location 217 HIGH RD
BROWN TE CARL A	Property Use ONE FAM
Mailing Address 221 HIGH RD	Most Recent Sale Date 5/26/1999
	Legal Reference 15698-182
City NEWBURY	Grantor MYERS ELINOR E
Mailing State MA Zip 01951	Sale Price 270,000
ParcelZoning	Land Area 0.576 acres

## Current Property Assessment

Card 1 Value	Building Value 195,600	Xtra Features Value 0	Land Value 245,400	Total Value 441,000
--------------	------------------------	-----------------------	--------------------	---------------------

## Building Description

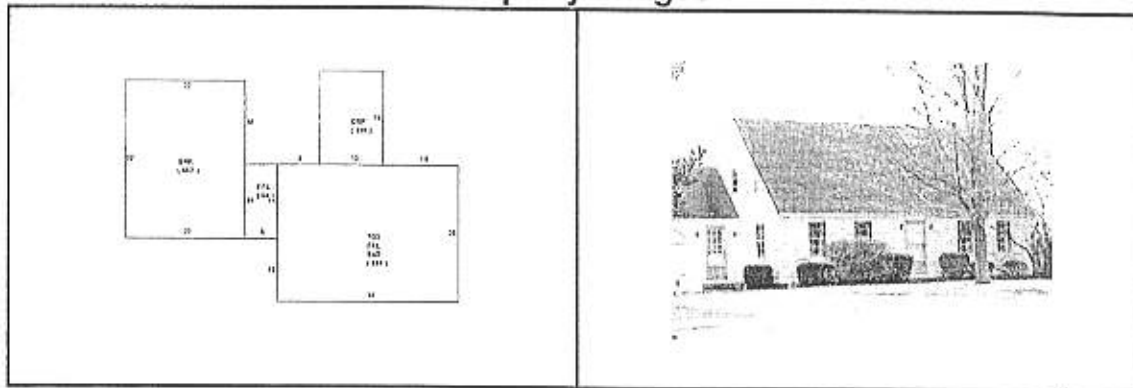
Building Style CAPE	Foundation Type CONCRETE	Flooring Type CARPET
# of Living Units 1	Frame Type WOOD	Basement Floor CONCRETE
Year Built 1951	Roof Structure GABLE	Heating Type FORCED H/W
Building Grade AVERAGE	Roof Cover ASPHALT SH	Heating Fuel OIL
Building Condition Average	Siding CLAPBOARD	Air Conditioning 0%
Finished Area (SF) 1631	Interior Walls PLASTER	# of Bsmt Garages 0
Number Rooms 6	# of Bedrooms 3	# of Full Baths 1
# of 3/4 Baths 0	# of 1/2 Baths 1	# of Other Fixtures 0

## Legal Description

## Narrative Description of Property

This property contains 0.576 acres of land mainly classified as ONE FAM with a(n) CAPE style building, built about 1951, having CLAPBOARD exterior and ASPHALT SH roof cover, with 1 unit(s), 6 room(s), 3 bedroom(s), 1 bath(s), 1 half bath(s).

## Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.



PROPERTY LOCATION	
No	217
All No	HIGH RD, NEWBURY
Direction/Street/City	

OWNERSHIP	
Owner 1:	BATCHELDER TE DALE B
Owner 2:	BROWN TE CARL A
Owner 3:	MDM NOMINEE TR
Street 1:	221 HIGH RD
Street 2:	
Town/City:	NEWBURY
Sub/Prov:	MA
County	
Own Occ:	Y
Type:	

PREVIOUS OWNER	
Owner 1:	
Owner 2:	
Street 1:	
Town/City:	
Sub/Prov:	
County	
Postal:	

**NARRATIVE DESCRIPTION**  
This parcel contains .576 ACRES of land mainly classified as ONE FAM with a CAPE Building built about 1951, having primarily CLAPBOARD Exterior and 1631 Square Feet, with 1 Unit, 1 Bath, 0 3/4 Bath, 1 Hall/Bath, 6 Rooms, and 3 Boms.

OTHER ASSESSMENTS	
Code	Description/No
Amount	Com. Int

PROPERTY FACTORS	
Item	Code
Description	%
water	1
Sewer	
Electri	
Exempt	
Flood Haz	
D 0	3
100	
Topo	
Street	
Gas:	

LAND SECTION (First 7 lines only)	
Use	Description
LUC	No of Units
Fact	Pice/Units
101	ONE FAM
1.0	25089
SQUARE FEET	

IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value
101	0.576	195,600		245,400	441,000
Total Card					
	0.576	195,600		245,400	441,000
Total Parcel					
	0.576	195,600		245,400	441,000
Source:	Market Adj Cost	Total Value per SQ Unit /Card: 270.39			

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Blg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2020	101	FV	195,600	0	.576	245,400	441,000	441,000	Year End Roll	12/1/2019
2021	101	NC	195,600	0	.576	245,400	441,000	441,000	Year End Roll	10/1/2020
2019	101	FV	189,300	0	.576	245,400	434,700	434,700	Year End Roll	12/1/2018
2018	101	FV	173,700	0	.272	224,500	398,200	398,200	Year End Roll	12/1/2017
2017	101	FV	173,700	0	.272	213,800	387,500	387,500	Year End Roll	14/20/23
2016	101	FV	171,400	0	.272	187,100	358,500	358,500	Year end	12/3/2015
2015	101	FV	171,400	0	.272	172,800	344,200	344,200	Year End Roll	12/3/2014
2014	101	FV	171,400	0	.272	172,800	344,200	344,200	year end roll	12/3/2013

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Price	V	Tst	Verif	Notes
MYERS ELINOR E	15598-182		5/26/1998	270,000	No	No		
MYERS ELINOR E	4238-402		2/8/1993		Yes	No		

TAX DISTRICT

Parcel ID	Asses'd Value	Year End Roll	Date
R27-0-51	441,000	441,000	12/1/2019
	441,000	441,000	10/1/2020
	434,700	434,700	12/1/2018
	398,200	398,200	12/1/2017
	387,500	387,500	14/20/23
	358,500	358,500	12/3/2015
	344,200	344,200	12/3/2014
	344,200	344,200	12/3/2013

PAT ACCT.

Parcel ID # 1	110681
PRINT	
DATE	14/20/23
LAST REV	14/20/23
DATE	12/3/2015
DATE	12/3/2014
DATE	12/3/2013

BUILDING PERMITS

Date	Number	Descrpt	Amount	C/O	Last Visit	Fed Code	F. Descrip	Comment
1/15/2014	5-14	RENOVATE	28,000	C	1/15/2014		KIT & BATH	
4/11/1994	141-94	MANUAL	1,500				200' FENCE	

ACTIVITY INFORMATION

Date	Result	By	Name
6/27/2016	PERMIT VISIT	372	PAT WELCH
7/10/2014	PERMIT VISIT	415	DAVE B
1/20/2008	MEASURED	197	MIKE CASSIDY
7/6/1994	PERMIT VISIT	197	MIKE CASSIDY
7/11/1989	MMC CONW	500	CONVERSION

Sign:

245,351

Use	Description	LUC	No of Units	Depth / Pice/Units	Unit Type	Land Type	LT	Base Factor	Base Value	Unit Price	Adj	Neigh	Neigh Inlu	Neigh Mod	Infl 1	%	Infl 2	%	Infl 3	%	Appraised Value	Alt	Spec	J	Fact	Use Value	Notes
101	ONE FAM	1.0	25089		SQUARE FEET				0	8.3	1.55	XV	1.00								245,351					245,400	

# EXTERIOR INFORMATION

Type: 6 - CAPE	
Sty Ht: 1T - 1T	
(Lvl) Units: 1	Total: 1
Foundation: 1 - CONCRETE	
Frame: 1 - WOOD	
Prime Wall: 2 - CLAPBOARD	
Sec Wall: 1	

Roof Struct: 1 - GABLE	
Roof Cover: 1 - ASPHALT SH	
Color: WHITE	
View / Desir:	

# GENERAL INFORMATION

Grade: 1C - AVERAGE	
Year Bld: 1951	Est Yr Bld:
Alt LUC:	All %:
Jurisdct:	Fact:
Const Mod:	
Lump Sum Adj:	

# INTERIOR INFORMATION

Avg Ht/L: 1STD	
Prim Int Wall: 2 - PLASTER	
Sec Int Wall:	
Partion: 1 - TYPICAL	
Prim Floors: 4 - CARPET	
Sec Floors:	

# CALC SUMMARY

Basic \$ / SQ: 99.00	
Size Adj.: 1.20931935	
Const Adj.: 1.00000000	
Adj \$ / SQ: 119.723	
Other Features: 41725	
Grade Factor: 1.00	
NBHD Int: 1.00000000	
NBHD Mod:	
LUC Factor: 1.00	
% Heated: 100	% AC: 0
Solar HW: NO	Central Vac: NO
% Corn Wall	% Sprinkled

# MOBILE HOME

Make:	Model:
-------	--------

# SPEC FEATURES/YARD ITEMS

Code	Description	A	Yr	Cy	Qty	Size/Dm	Qual	Com	Year	Unit Price	D/S	Dep	LUC	Fact	NS	Fa	Appr Value	Jurts Value
------	-------------	---	----	----	-----	---------	------	-----	------	------------	-----	-----	-----	------	----	----	------------	-------------

# BATH FEATURES

Full Bath: 1	Railing: AVERAGE
A Bath:	Railing:
3/4 Bath:	Railing:
A 30Bth:	Railing:
1/2 Bath: 1	Railing: GOOD
A H8th:	Railing:
OtherFix:	Railing:

# OTHER FEATURES

Kits: 1	Railing: GOOD
A Kits:	Railing:
Fprt: 2	Railing: AVERAGE
WSFlua:	Railing:

# CONDO INFORMATION

Location:	
Total Units:	
Floor: 1 - 1ST FLOOR	
% Own:	
Name:	

# DEPRECIATION

Phys Cond: AV - Average	30 %
Functional:	%
Economic:	%
Special:	%
Override:	%
Total:	30 %

# COMMENTS

2/27/2018 COMBINED R27-0-52 WITH R27-0-51  
PER PLAN BK 443 PLAN 52, CLOSED R27-0-52.  
WHEN 221 HIGH ROAD MOVES OUT, CHANGE  
ADDRESS OF 221 HIGH RD. TO 219 HIGH RD.  
THEN CHANGE 221 1/2 HIGH RD TO 221 HIGH  
RD.. 7/14 NO ANSWER BLD PERMIT IN WINDO

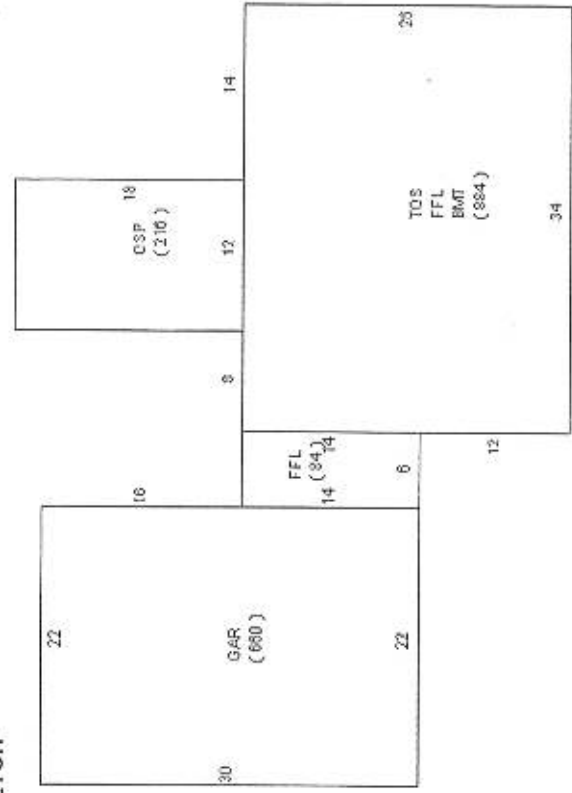
# RESIDENTIAL GRID

1st Res Grid: Desc: Line 1	# Units: 1
Level FY LR DR D K FRI RR BR FB HB L O	
Other	
Upper	
Lvl 2	
Lvl 1	
Lower	
Totals	RMS: 6 BPS: 3 Baths: 1 HB: 1

# REMODELING

Exterior:	No Unit	RMS	BPS	FL
Interior:	1	6	3	M
Additions:				
Kitchen:				
Baths:				
Plumbing:				
Electric:				
Heating:				
General:	1	6	3	

# SKETCH



# SUB AREA

Code	Description	Area - SQ	Rate - AV	Underp Value
FFL	1ST FLOOR	988	119.720	115.691
BMT	BASEMENT	884	20.930	28.459
TOS	3/4 STORY	663	119.720	79.376
GAR	GARAGE	660	16.910	11.160
CSP	CORN PORCH	216	22.320	4.822

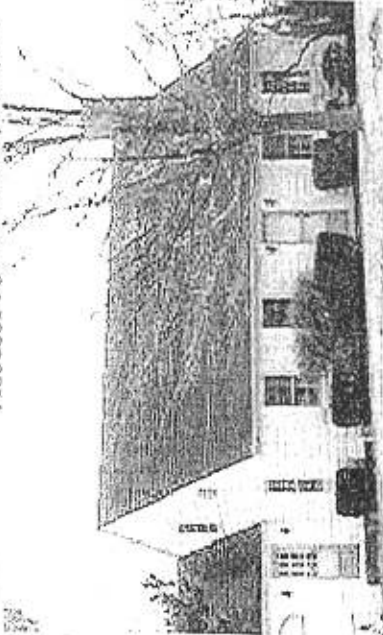
# SUB AREA DETAIL

Sub	%	Area	Usbl	%	Descr	Type	Qu	# Ten
FFL		988			1ST FLOOR			
BMT		884			BASEMENT			
TOS		663			3/4 STORY			
GAR		660			GARAGE			
CSP		216			CORN PORCH			

Net Sketched Area: 3,391	Total: 287,708
Size Ad: 1631	Gross Area: 3612
FinArea: 1631	

# IMAGE

AssessPro Patriot Properties, Inc



More: N

Total Yard Items:

Total Special Features:

Total:

## Unofficial Property Record Card - Newbury, MA

## General Property Data

Parcel ID R27-0-53	Account Number
Prior Parcel ID --	
Property Owner BATCHELDER TE DALE B	Property Location OFF HIGH RD
BROWN TE CARL A	Property Use UNDEV
Mailing Address 221 HIGH RD	Most Recent Sale Date 5/26/1999
	Legal Reference 15698-182
City NEWBURY	Grantor MYERS ELINOR E
Mailing State MA Zip 01951	Sale Price 270,000
ParcelZoning	Land Area 3.700 acres

## Current Property Assessment

Card 1 Value	Building Value 0	Xtra Features Value 0	Land Value 24,600	Total Value 24,600
--------------	------------------	-----------------------	-------------------	--------------------

## Building Description

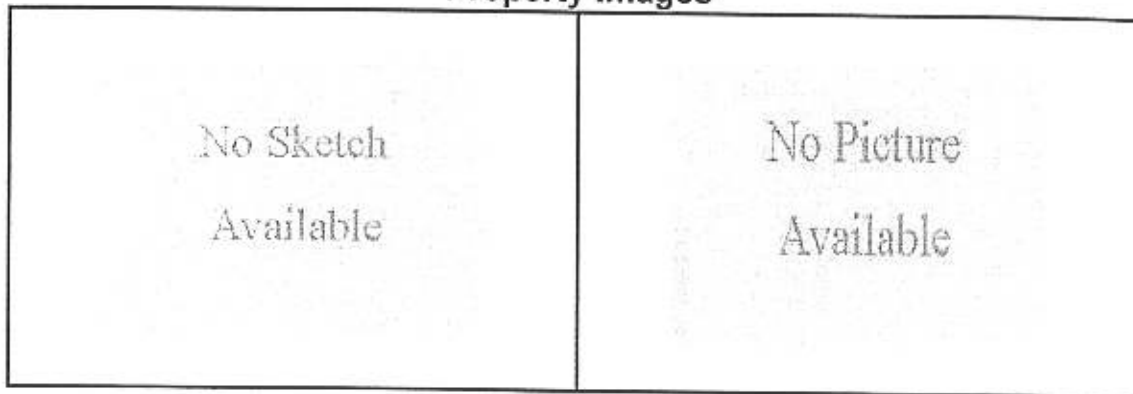
Building Style	Foundation Type	Flooring Type N/A
# of Living Units 0	Frame Type	Basement Floor N/A
Year Built N/A	Roof Structure	Heating Type N/A
Building Grade	Roof Cover	Heating Fuel N/A
Building Condition Average	Siding	Air Conditioning 0%
Finished Area (SF) N/A	Interior Walls N/A	# of Bsmt Garages 0
Number Rooms 0	# of Bedrooms 0	# of Full Baths 0
# of 3/4 Baths 0	# of 1/2 Baths 0	# of Other Fixtures 0

## Legal Description

## Narrative Description of Property

This property contains 3.700 acres of land mainly classified as UNDEV with a(n) style building, built about N/A, having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

## Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.





SKETCH

[illegible]

SUB AREA	SUB AREA DETAIL
----------	-----------------

[illegible]

### COMPARABLE SALES

MOBILE HOME										Make:	Model:	Serial #	Year:	Color:			
SPEC FEATURES/YARD ITEMS										PARCEL ID R27-0-53							
Code	Description	A	YS	Cty	Size/Dm	Qual	Con	Year	Unit Price	D/S	Dep	LLC	Fact	MB Fa	Appr Value	JCod/Fact	Jurs. Value

MOBILE HOME	Make:		Model:		Serial #		Year:		Color:	
SPEC FEATURES/YARD ITEMS										
PARCEL ID #27-0-53										

[illegible]

IMAGE

## Unofficial Property Record Card - Newbury, MA

## General Property Data

Parcel ID	R27-0-54	Account Number	0
Prior Parcel ID	#221 --	Property Location	221 HIGH RD
Property Owner	BROWN CARL	Property Use	ONE FAM
	BROWN MARGARET B	Most Recent Sale Date	2/6/1963
Mailing Address	221 HIGH RD	Legal Reference	4278 393
		Grantor	BROWN CARL ETUX
City	NEWBURY	Sale Price	0
Mailing State	MA	Land Area	0.539 acres
Zip	01951		
ParcelZoning			

## Current Property Assessment

Card 1 Value	Building Value 248,900	Xtra Features Value 0	Land Value 242,800	Total Value 491,700
--------------	------------------------	-----------------------	--------------------	---------------------

## Building Description

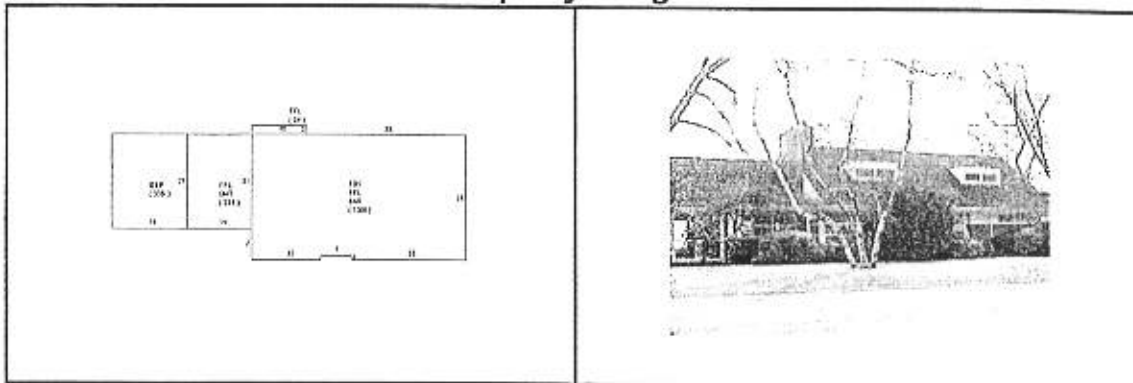
Building Style	CAPE	Foundation Type	CONCRETE	Flooring Type	HARDWOOD
# of Living Units	1	Frame Type	WOOD	Basement Floor	CONCRETE
Year Built	1954	Roof Structure	GABLE	Heating Type	FORCED H/A
Building Grade	AVERAGE	Roof Cover	ASPHALT SH	Heating Fuel	OIL
Building Condition	Avg-Good	Siding	CLAPBOARD	Air Conditioning	100%
Finished Area (SF)	3169.79999	Interior Walls	PLASTER	# of Bsmt Garages	2
Number Rooms	7	# of Bedrooms	4	# of Full Baths	2
# of 3/4 Baths	0	# of 1/2 Baths	0	# of Other Fixtures	0

## Legal Description

## Narrative Description of Property

This property contains 0.539 acres of land mainly classified as ONE FAM with a(n) CAPE style building, built about 1954 , having CLAPBOARD exterior and ASPHALT SH roof cover, with 1 unit(s), 7 room(s), 4 bedroom(s), 2 bath(s), 0 half bath(s).

## Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranteed.





## EXTERIOR INFORMATION

Type:	5 - CAPE	
Qty Ht:	1T - 1T	
(Lx) Units:	1	Total: 1
Foundation:	1 - CONCRETE	
Framing:	1 - WOOD	
Prime Wall:	2 - CLAPBOARD	
Sec Wall:	8 - BRICK VEN	50 %
Roof Struct:	1 - GABLE	
Roof Cover:	1 - ASPHALT SH	
Color:	WHITE/PED	
View / Desir:		

## BATH FEATURES

Full Bath	2	Rating:	AVERAGE
A Bath:		Rating:	
3/4 Bath:		Rating:	
A 3QBth		Rating:	
1/2 Bath:		Rating:	
A HBth:		Rating:	
Other:		Rating:	

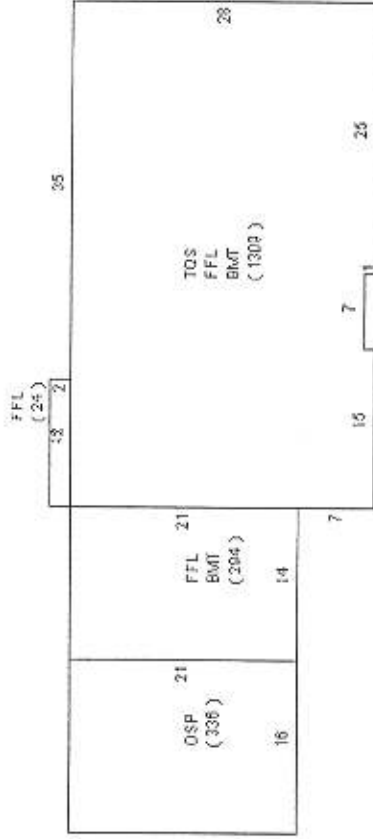
**OTHER FEATURES**

Kits: 1	Rating:	AVERAGE
A Kits:	Rating:	
Fppl: 3	Rating:	AVERAGE

## COMMENTS

RESIDENTIAL GRID												
1st Rls Grid		Desc Line 1										# Units 1
Level	FY	L	R	D	K	FR	HQ	BR	FB	L	O	
Other												
Upper												
Lvl 2												
Lvl 1												
Lower												
Totals												

### SKETCH

0.5

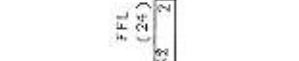
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ETCH

0.5	2
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21

	11
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	TO
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[illegible]

## Unofficial Property Record Card - Newbury, MA

## General Property Data

Parcel ID R27-0-56	Account Number
Prior Parcel ID --	
Property Owner BROWN CARL	Property Location OFF HIGH RD
BROWN MARGARET B	Property Use UNDEV
Mailing Address 221 HIGH RD	Most Recent Sale Date 2/6/1963
	Legal Reference 4278 393
City NEWBURY	Grantor BROWN CARL ETUX
Mailing State MA Zip 01961	Sale Price 0
Parcel/Zoning	Land Area 2.714 acres

## Current Property Assessment

Card 1 Value	Building Value 0	Xtra Features Value 0	Land Value 20,400	Total Value 20,400
--------------	------------------	-----------------------	-------------------	--------------------

## Building Description

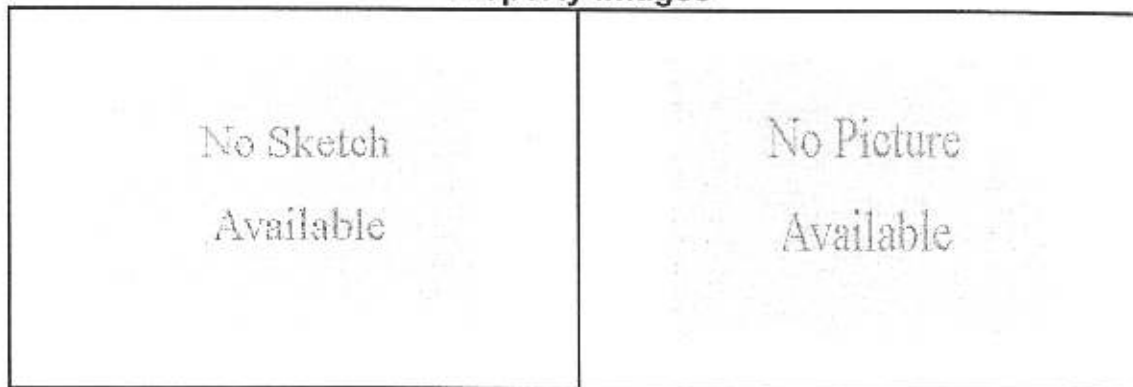
Building Style	Foundation Type	Flooring Type N/A
# of Living Units 0	Frame Type	Basement Floor N/A
Year Built N/A	Roof Structure	Heating Type N/A
Building Grade	Roof Cover	Heating Fuel N/A
Building Condition Average	Siding	Air Conditioning 0%
Finished Area (SF) N/A	Interior Walls N/A	# of Bsmt Garages 0
Number Rooms 0	# of Bedrooms 0	# of Full Baths 0
# of 3/4 Baths 0	# of 1/2 Baths 0	# of Other Fixtures 0

## Legal Description

## Narrative Description of Property

This property contains 2.714 acres of land mainly classified as UNDEV with a(n) style building, built about N/A, having exterior and roof cover, with 0 unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 0 half bath(s).

## Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.



## PROPERTY LOCATION

No	Alt No	Direction/Street/City
	OFF	HIGH RD, NEWBURY

## OWNERSHIP

Owner 1:	BROWN CARL
Owner 2:	BROWN MARGARET B
Owner 3:	

Street 1:	221 HIGH RD
Street 2:	

Street Z	
Town/City	NEWBURY

SubProv: MA	Entry:	Own Occ: N
Postal: 01951		Type:

PREVIOUS OWNER
Owner 1-

Office 1:	
Office 2:	

Street 2:	
Street 1:	

Unit City:		
Sub Prov:	Entry	

Postal:	
NARRATIVE DESCRIPTION	

This Parcel contains 2.714 ACRES of land mainly classified as

UNIVERSITY

OTHER ASSESSMENTS

Содерж.	Получено
---------	----------

CODE	DESCRIPTION	ACTIVITY	DATE AND

## PROPERTY FACTORS

Item	Code	Description	%	Item	Code	Description
Z				water		TYPICAL
a				Sewer		
n				Electr		
Census:						
Flood Haz:						
D	0	0	100	Topo		
s				Street		
t				Gas:		

## LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / Price/Units	Unit Type	Land
-32	UNDEV	1.0	2,714		ACRES	REAR

## IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value
132	2.74			20,400	20,400

Total Card	2,714	20,400	20,400
Total Parcel	2,714	20,400	20,400

## PREVIOUS ASSESSMENT

Tax Yr.	Use	Cat.	Bldg. Value	Yrd. Items	Land Size	Land Value	Total Value	Asses'd Value	Netrol
2020	132	FV		0	2.714	20,400	20,400		Year End Roll
2020	132	NC		0	2.714	20,400	20,400		Year End Roll
2020	132	FV		0	2.714	20,400	20,400		Year End Roll
2019	132	FV		0	2.714	20,400	20,400	20,400	Year End Roll
2018	132	FV		0	2.714	20,400	20,400	20,400	Year End Roll
2017	132	FV		0	2.714	20,400	20,400	20,400	Year End Roll
2016	132	FV		0	2.714	20,400	20,400	20,400	Year End Roll
2015	132	FV		0	3.5	24,000	24,000	24,000	Year End Roll
2014	132	FV		0	3.5	24,000	24,000	24,000	Year End Roll

## SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Var1
BROWN CARL ETUX	4273 393		2/03*963			Yes	No	

## TAX DISTRICT

	Sale Code	Sale Price	V	Tst	Verif
3					Yes No

## PAT ACCT.

Notes
-------

## BUILDING PERMITS

[illegible]

## ACTIVITY INFORMATION

Date	Result	By	Name
9/2/2006	VACANT LOT	336	WATT
1/20/2006	VACANT LOT	137	MIKE CASSIDY
7/11/1989	IMC CONV	500	CONVERSION

[illegible]

**Sign:**

	Alt Class	%	Spec Land	J Code	Fact	Use Value	Notes
5						20,400	

april	Sp Credit	Total	20,400
2021			



## SKETCH

FLAN 443/52, PARCEL A 28,090 SF COMBINED WITH R27-0-55.									
<b>RESIDENTIAL GRID</b>									
1st Res Grid:						Desic:		# Units	
Level	FY	LR	C/A	D	K	FR	RR	BH	I
Other									
Upper									
Lvl 2									
Lvl 1									
Lower									
Totals	RMS:		BRS:		Baths:		H/B:		
<b>REMODELING RES BREAKDOWN</b>									
Exterior:	No Unit	RMS	BRS	FL					
Interior:									

Additions:
Kitchen:
Baths:
Plumbing:
Electric:
Heating:
General:

[illegible]

Parcel ID	Serial #	Year	Dist	Dep	LUC	Fact	NB Fa	Appr Value	Loc
-----------	----------	------	------	-----	-----	------	-------	------------	-----

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100

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SUB AREA DETAIL

AssessPro Patriot Properties, Inc

Year:	Color:
-------	--------

PARCEL ID	B27-0-56
-----------	----------

Value	UCod/Fact
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
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95	95
96	96
97	97
98	98
99	99
100	100

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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1. The first step is to identify the problem or question that needs to be answered. This involves understanding the context and the specific requirements of the task.

100

Total

[illegible]



DESCHENES & FARRELL, P.C.

Attorneys at Law  
515 Groton Road, Suite 204  
Westford, MA 01886  
Telephone: (978) 496-1177  
Facsimile: (978) 577-6462

*Douglas C. Deschenes*  
*Kathryn Lorah Farrell*  
*Melissa E. Robbins\**

*\*Admitted in MA and NH*

January 13, 2021

Newbury Planning Board  
12 Kent Way  
Byfield, MA 01922

**RE: Assent for Payment – Definitive Subdivision Application  
217 & 221 High Road, Newbury, MA**

Dear Sir or Madam

I hereby authorize the Town of Newbury Planning Board to bill me directly for any legal notices, mailings or costs relative to the above referenced matter.

Sincerely,  
Deschenes & Farrell, P.C.



Douglas C. Deschenes

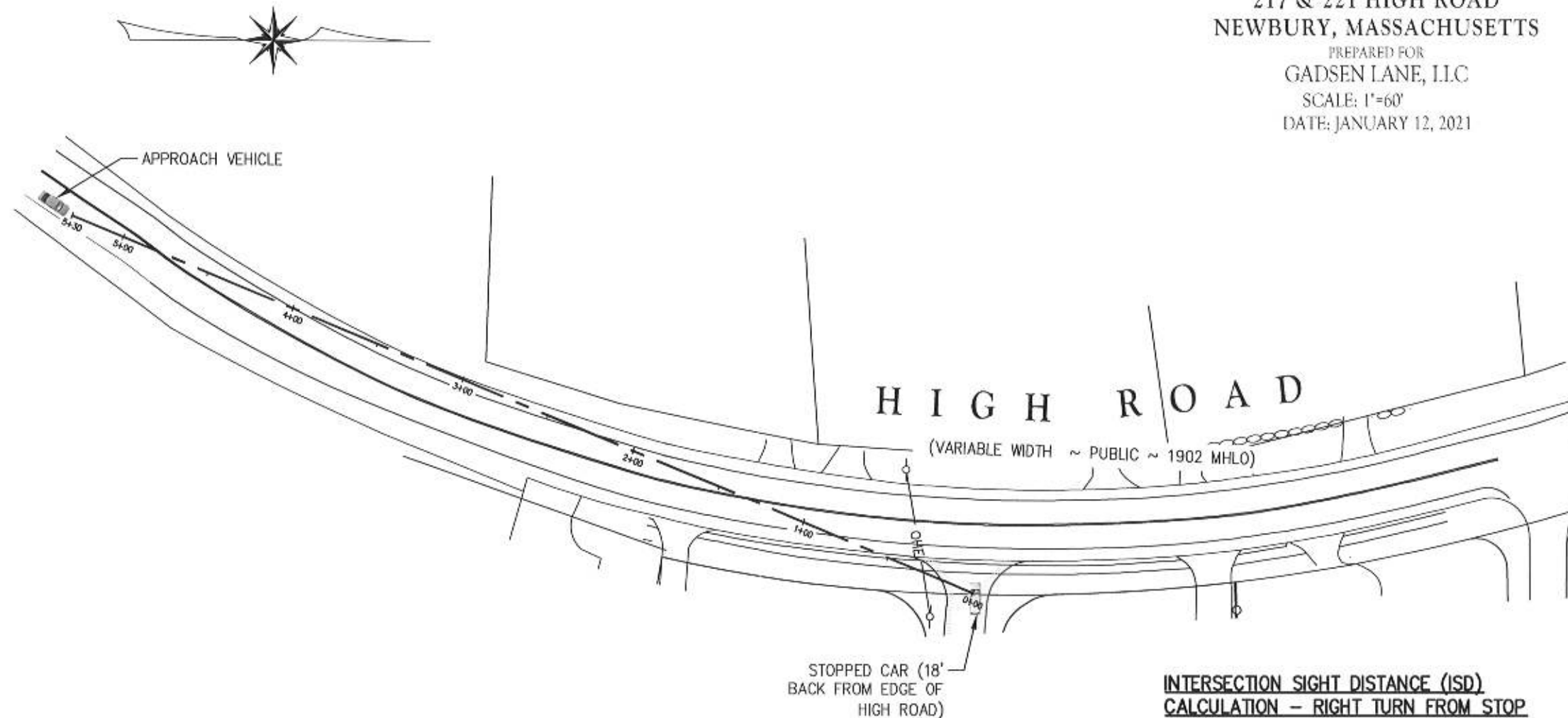
# SIGHT DISTANCE NORTHBOUND

FOR  
217 & 221 HIGH ROAD  
NEWBURY, MASSACHUSETTS

PREPARED FOR  
GADSEN LANE, LLC

SCALE: 1"=60'

DATE: JANUARY 12, 2021



The  
**Morin-Cameron**  
**GROUP, INC.**

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS  
LAND SURVEYORS | LAND USE PLANNERS  
66 ELM STREET, DANVERS, MASSACHUSETTS 01923  
P: 978-777-8586, F: 978-774-3488, W: WWW.MORINCAMERON.COM



INTERSECTION SIGHT DISTANCE NORTHBOUND  
APPROACH (SPEED LIMIT 45 MPH)

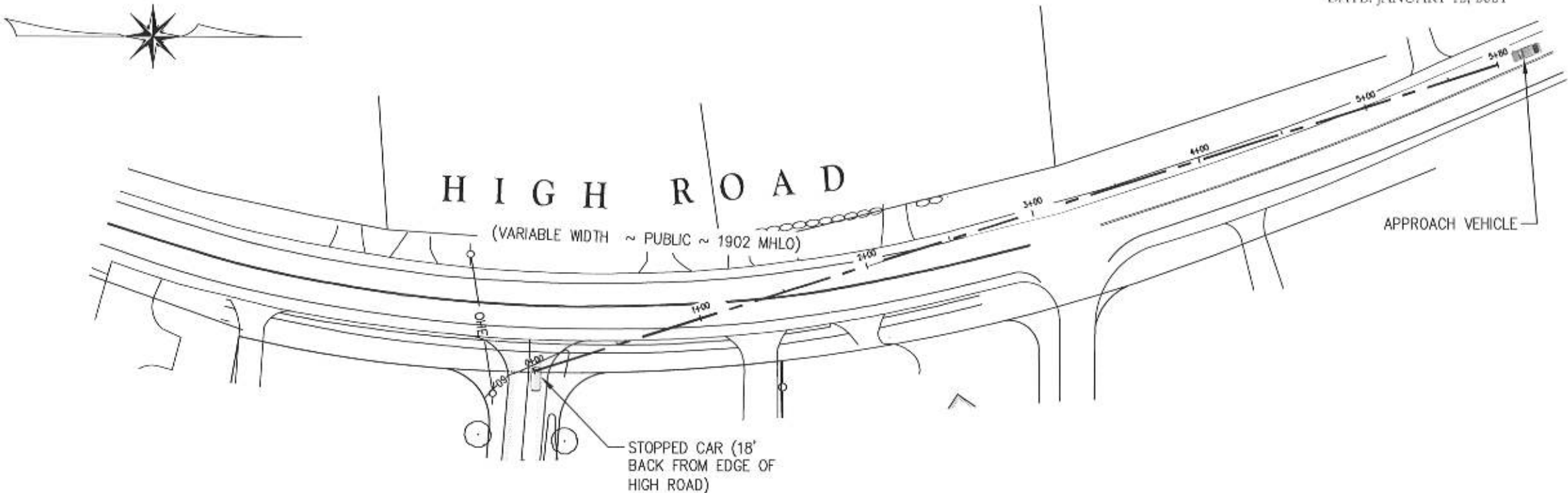
SCALE: 1"=60'

INTERSECTION SIGHT DISTANCE (ISD)  
CALCULATION - RIGHT TURN FROM STOP  
SPEED LIMIT HIGH ROAD = 45 MPH  
ROAD SLOPE = 3% OR LESS  
REQUIRED ISD = 430'  
PROVIDED ISD = 530'

FIGURE 5

SIGHT DISTANCE  
SOUTHBOUND

FOR  
217 & 221 HIGH ROAD  
NEWBURY, MASSACHUSETTS  
PREPARED FOR  
GADSEN LANE, LLC  
SCALE: 1"=60'  
DATE: JANUARY 12, 2021



INTERSECTION SIGHT DISTANCE SOUTHBOUND  
APPROACH (SPEED LIMIT 40 MPH)  
SCALE: 1"=60'

INTERSECTION SIGHT DISTANCE (ISD)  
CALCULATION - LEFT TURN FROM STOP  
SPEED LIMIT HIGH ROAD = 40 MPH  
ROAD SLOPE = 3% OR LESS  
REQUIRED ISD = 445'  
PROVIDED ISD = 580'

The  
Morin-Cameron  
GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS  
LAND SURVEYORS | LAND USE PLANNERS  
66 ELM STREET, DANVERS, MASSACHUSETTS 01923  
P: 978-777-8586, F: 978-774-3488, W: WWW.MORINCAMERON.COM



FIGURE 6