

LOCUS MAP
1"=2,000'



PROJECT LOCATION

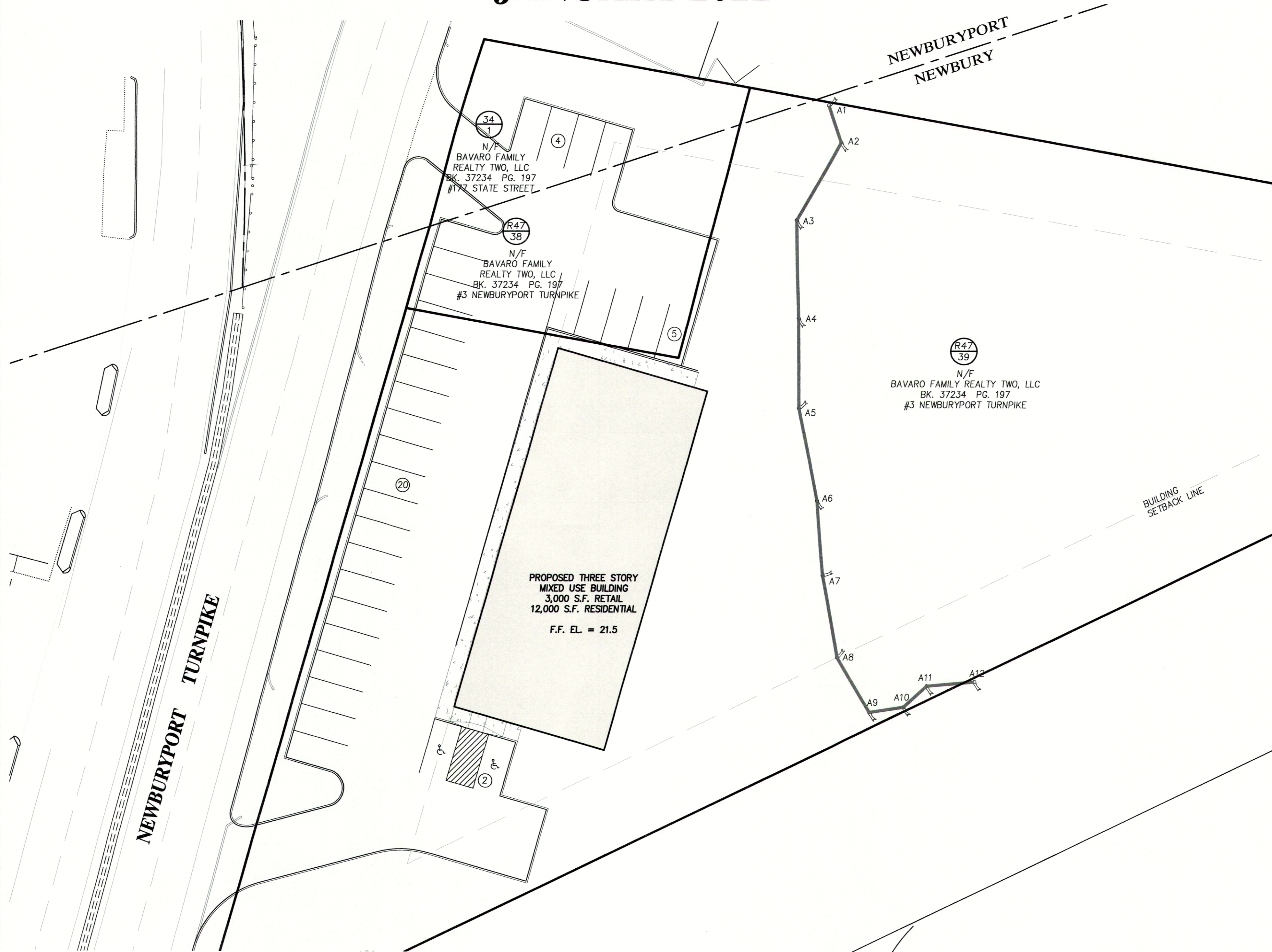
3 NEWBURYPORT TURNPIKE - NEWBURY
MAP R47, LOT 0-38
MAP R47, LOT 0-39
177 STATE STREET - NEWBURYPORT
MAP 34, LOT 1

OWNER OF RECORD

BAVARO FAMILY REALTY TRUST, LLC
BK. 37234 PG. 197
#3 NEWBURYPORT TURNPIKE

PROPOSED SITE PLAN FOR 3 NEWBURYPORT TURNPIKE IN NEWBURY, MA

JANUARY 2021



NEWBURY PLANNING BOARD APPROVAL

DATE

ZONING TABLE

3 NEWBURYPORT TURNPIKE - ASSESSORS MAP R47 LOTS 38 AND 39 ZONING DISTRICT BU			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	40,000 S.F.	72,774 S.F.	72,774 S.F.
LOT FRONTAGE:	200 FT.	277.05 FT.	277.05 FT.
FRONT SETBACK:	50 FT.	**	50.5 FT.
SIDE SETBACK:	25 FT.	**	30.7 FT.
REAR SETBACK:	25 FT.	**	NA
LOT COVERAGE:	50% (MAX)	**	29.8%
OPEN SPACE:	**	**	**
BLDG HEIGHT:	35 FT.	**	35 FT

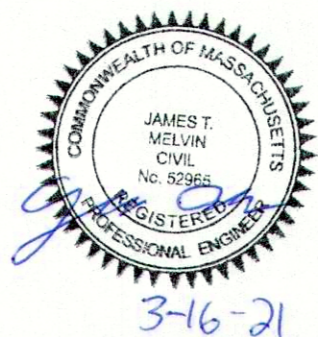
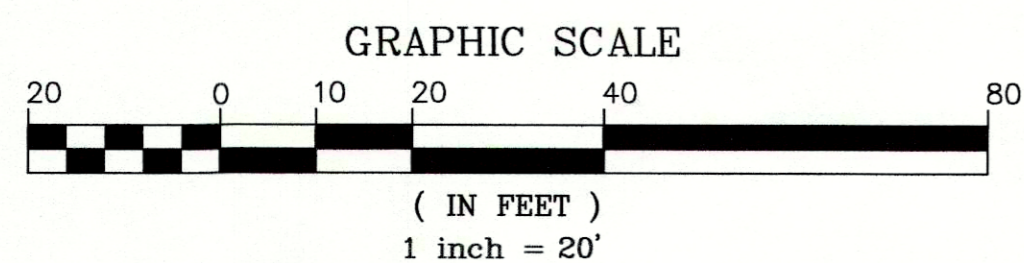
1. THIS SITE IS LOCATED WITHIN THE WATER SUPPLY PROTECTION OVERLAY DISTRICT

ZONING TABLE

177 STATE STREET - ASSESSORS MAP 34 LOT 1 BUSINESS DISTRICT			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	20,000 S.F.	3,397 S.F.	3,397 S.F.
LOT FRONTAGE:	90 FT.	62.66 FT.	62.66 FT.
FRONT SETBACK:	20 FT.	**	**
SIDE SETBACK:	20 FT.	**	**
REAR SETBACK:	20 FT.	**	**
LOT COVERAGE:	30% (MAX)	**	**
OPEN SPACE:	**	**	**
BLDG HEIGHT:	35 FT.	**	**

PLAN INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	SITE PLAN
4	GRADING PLAN
5	UTILITIES PLAN
6-8	CONSTRUCTION DETAILS
E-1	LIGHTING PLAN
L-1	LANDSCAPE PLAN



PREPARED FOR
BAVARO FAMILY REALTY TWO, LLC
18 GRAF ROAD UNIT #31
NEWBURYPORT, MA

8	3/16/21	RESPONSE TO TOWN COMMENTS	J.T.M.
7	2/1/21	RESPONSE TO TOWN COMMENTS	J.T.M.
6	1/19/21	RESPONSE TO TOWN COMMENTS	J.T.M.
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NO.	DATE	DESCRIPTION	BY

MEI MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'
DATE: JULY 15, 2020

DESIG. BY: C.M.Y.
CHKD. BY: E.W.B.

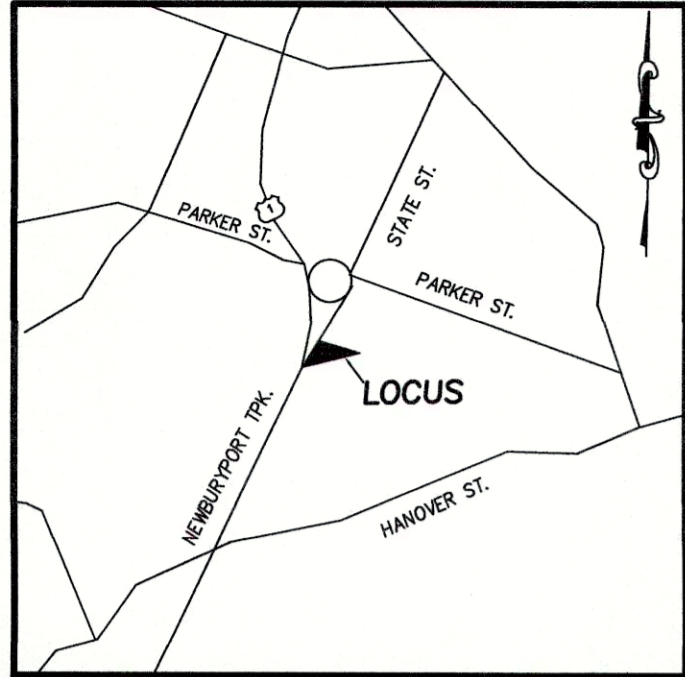
PROJECT: M193668

SITE PLAN
IN
NEWBURY, MA

SHOWING
PROPOSED SITE IMPROVEMENTS
AT
3 NEWBURYPORT TURNPIKE

COVER
SHEET

SHEET: 1 OF 8



LOCUS MAP
1"=2,000'

LEGEND

- C.B. CONCRETE BOUND
- S.B. STONE BOUND
- D.H. DRILL HOLE
- PK MASONRY NAIL
- I.P. IRON PIPE
- I ROD IRON ROD
- FND. FOUND
- N/F NOW OR FORMERLY
- ASSESSORS MAP#
- PARCEL#
- N/F NAME BK & PG

ZONING DISTRICT — BLI

REQUIRED SETBACKS
FRONT 50
SIDE 25
REAR 25

BASIS OF BEARINGS

PLAN BK. 110 PLAN 22

OWNER OF RECORD

BAVARO FAMILY REALTY TWO, LLC
BOOK 37234 — PAGE 197

PLAN REFERENCES

LOCUS: PLAN BK. 110 PLAN 22

NEWBURY LAYOUTS

NEWBURY — JAN. 10, 1923
LAYOUT NO. 1994
SHT. 1 OF 3
SHT. 3 OF 3

NEWBURY — JAN. 10, 1923
LAYOUT NO. 3095
DOCUMENT AND ORDER OF
TAKING

NEWBURY — FEB. 11, 1936
LAYOUT NO. 3181
SHTS. 1 & 2 OF 2

NEWBURY — FEB. 11, 1936
LAYOUT NO. 3182
ONE SHEET

NEWBURY — 1970
ALTERATION
LAYOUT NO. 5823
SHT. 2 OF 2

NEWBURY — 1993
ALTERATION
LAYOUT NO. 7130
SHTS. 1 & 2 OF 2

NEWBURYPORT LAYOUTS

NEWBURYPORT — JULY 16, 1918
LAYOUT NO. 1795
SHT. 1 OF 2

NEWBURYPORT — MARCH 13, 1934
LAYOUT NO. 3091
SHT. 1 OF 4

NEWBURYPORT — MARCH 13, 1934
LAYOUT NO. 3093
ONE SHEET

PLAN NO. 222 OF 1943

PLAN NO. 244 OF 1945

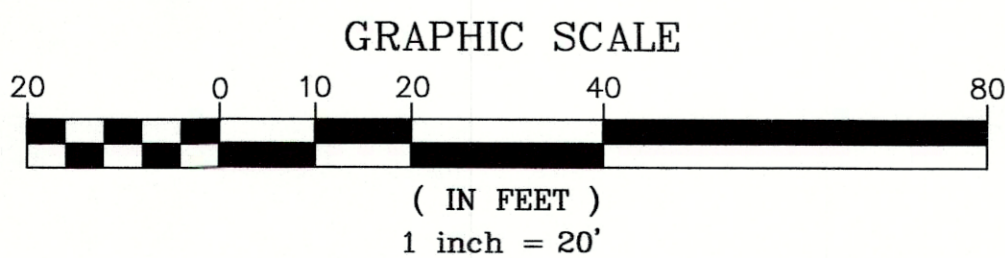
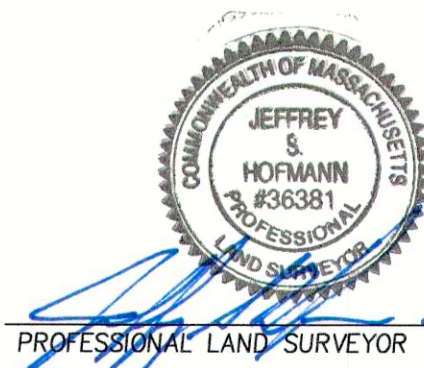
NOTES:

THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

RECORD UTILITY INFORMATION HAS NOT BEEN OBTAINED FOR LOCUS. VISIBLE SURFACE STRUCTURES HAVE BEEN LOCATED AND ARE SHOWN HEREON HOWEVER, SUBSURFACE UTILITY LINES ARE NOT SHOWN.

THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT CITY OF NEWBURYPORT AND TOWN OF NEWBURY ASSESSORS RECORDS.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON
THE GROUND DECEMBER 12, 2019, AND
THAT THE STRUCTURES AND PHYSICAL
FEATURES ARE LOCATED AS SHOWN TO
THE BEST OF MY ABILITY AND BELIEF.



PREPARED FOR

BAVARO FAMILY REALTY TWO, LLC
18 GRAF ROAD — UNIT 31
NEWBURYPORT, MA 01950



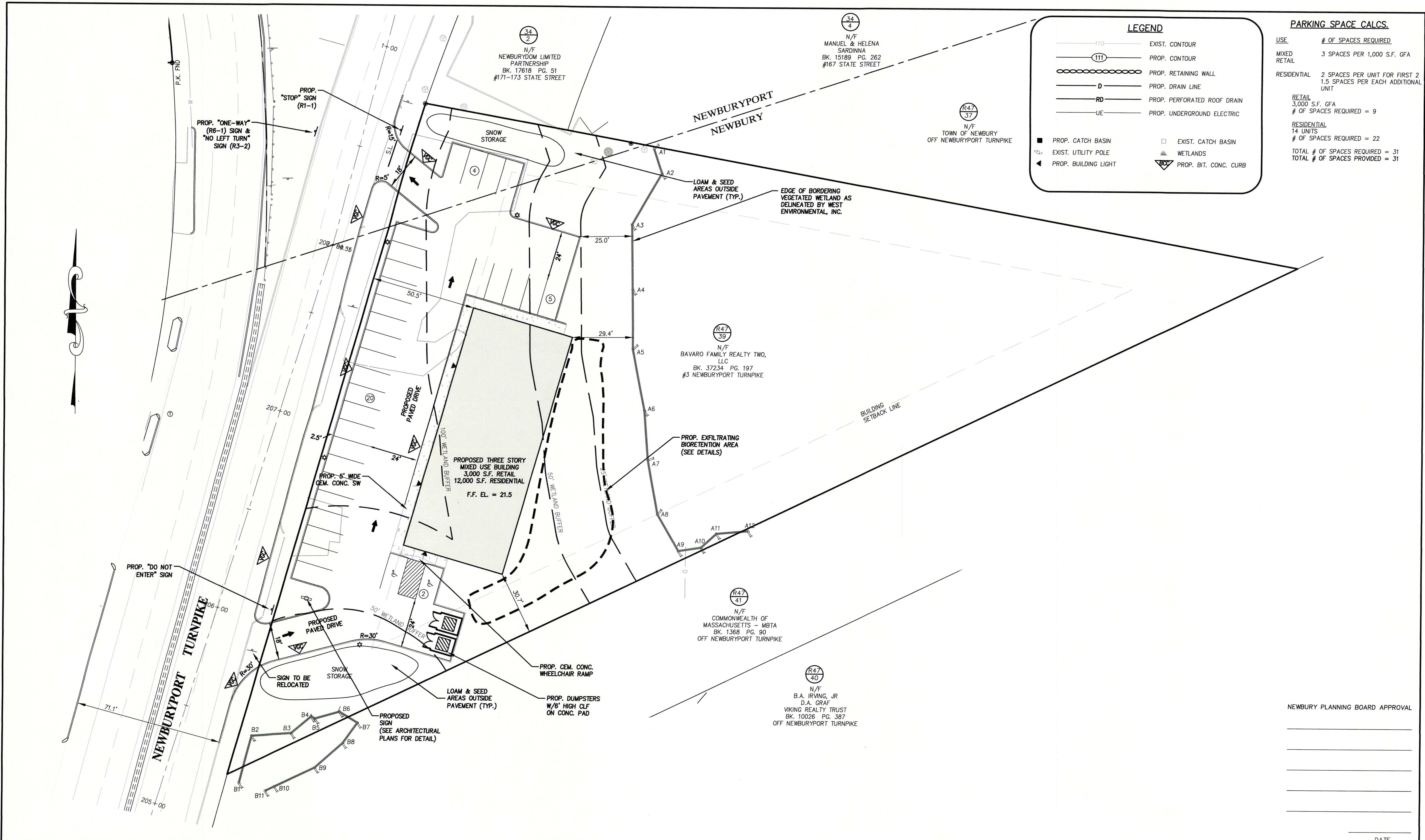
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ENGINEERING AND LAND SURVEYING
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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

PLAN OF LAND
IN
NEWBURY, MA

SHOWING
EXISTING CONDITIONS
AT
3 NEWBURYPORT TURNPIKE

EXISTING
CONDITIONS

SHEET: 2 OF 8



LEGEND

110	EXIST. CONTOUR
111	PROP. CONTOUR
~~~~~	PROP. RETAINING WALL
D	PROP. DRAIN LINE
RD	PROP. PERFORATED ROOF DRAIN
UE	PROP. UNDERGROUND ELECTRIC
■	PROP. CATCH BASIN
□	EXIST. CATCH BASIN
○	EXIST. UTILITY POLE
◀	PROP. BUILDING LIGHT
WETLANDS	WETLANDS
BC	PROP. BIT. CONC. CURB

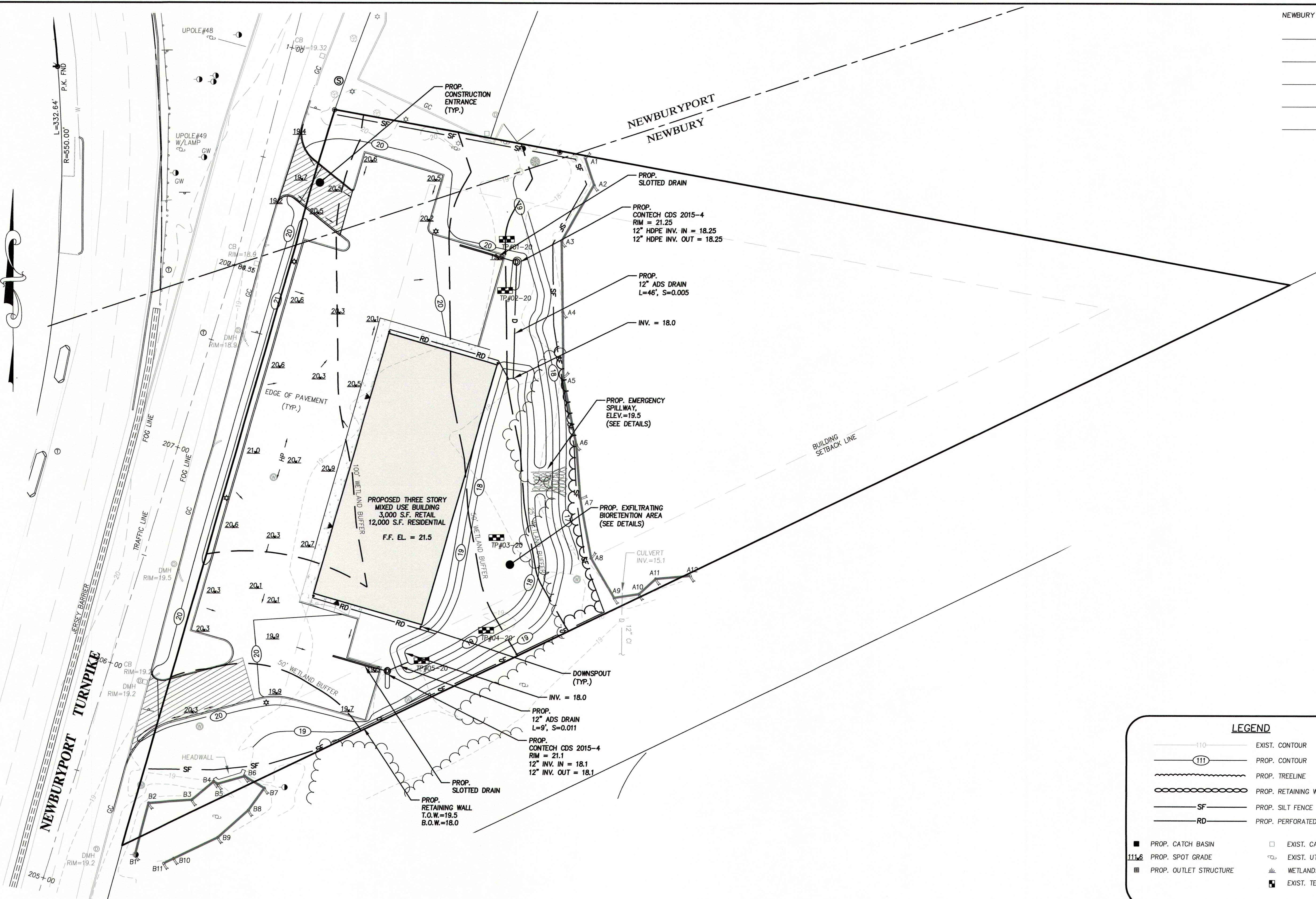
**PARKING SPACE CALCS.**

USE	# OF SPACES REQUIRED
MIXED RETAIL	3 SPACES PER 1,000 S.F. GFA
RESIDENTIAL	2 SPACES PER UNIT FOR FIRST 2 UNITS 1.5 SPACES PER EACH ADDITIONAL UNIT
RETAIL	3,000 S.F. GFA # OF SPACES REQUIRED = 9
RESIDENTIAL	14 UNITS # OF SPACES REQUIRED = 22
TOTAL	# OF SPACES REQUIRED = 31 TOTAL # OF SPACES PROVIDED = 31

NEWBURY PLANNING BOARD APPROVAL

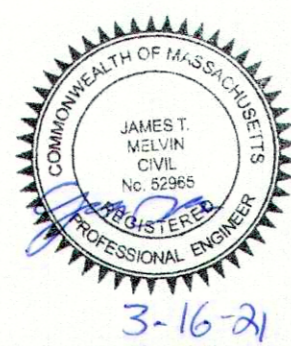
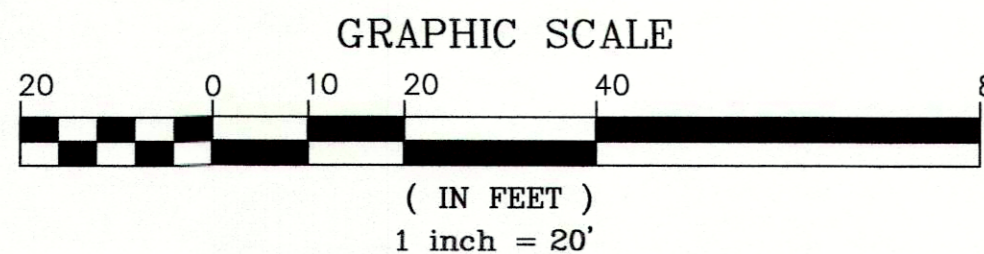
DATE

		PREPARED FOR <b>BAVARO FAMILY REALTY TWO, LLC</b> 18 GRAF ROAD UNIT #31 NEWBURYPORT, MA	<table><tr><td>8</td><td>3/16/21</td><td>RESPONSE TO TOWN COMMENTS</td><td>J.T.M.</td></tr><tr><td>7</td><td>2/1/21</td><td>RESPONSE TO TOWN COMMENTS</td><td>J.T.M.</td></tr><tr><td>6</td><td>1/19/21</td><td>RESPONSE TO TOWN COMMENTS</td><td>J.T.M.</td></tr><tr><td>5</td><td>1/13/21</td><td>RESPONSE TO TOWN COMMENTS</td><td>J.T.M.</td></tr><tr><td>4</td><td>12/30/20</td><td>RESPONSE TO TOWN COMMENTS</td><td>J.T.M.</td></tr><tr><td>3</td><td>12/9/20</td><td>RESPONSE TO TOWN COMMENTS</td><td>J.T.M.</td></tr><tr><td>2</td><td>11/18/20</td><td>RESPONSE TO TOWN COMMENTS</td><td>J.T.M.</td></tr><tr><td>NO.</td><td>DATE</td><td>DESCRIPTION</td><td>BY</td></tr></table>	8	3/16/21	RESPONSE TO TOWN COMMENTS	J.T.M.	7	2/1/21	RESPONSE TO TOWN COMMENTS	J.T.M.	6	1/19/21	RESPONSE TO TOWN COMMENTS	J.T.M.	5	1/13/21	RESPONSE TO TOWN COMMENTS	J.T.M.	4	12/30/20	RESPONSE TO TOWN COMMENTS	J.T.M.	3	12/9/20	RESPONSE TO TOWN COMMENTS	J.T.M.	2	11/18/20	RESPONSE TO TOWN COMMENTS	J.T.M.	NO.	DATE	DESCRIPTION	BY		SCALE: 1"=20' DATE: JULY 15, 2020 DESIG. BY: C.M.Y. CHKD. BY: E.W.B. PROJECT: M193668	<b>SITE PLAN</b> IN <b>NEWBURY, MA</b> SHOWING <b>PROPOSED SITE IMPROVEMENTS</b> AT <b>3 NEWBURYPORT TURNPIKE</b>	<b>SITE PLAN</b> SHEET: 3 OF 8
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**LEGEND**

- 110 EXIST. CONTOUR
- 111 PROP. CONTOUR
- PROP. TREELINE
- PROP. RETAINING WALL
- SF PROP. SILT FENCE
- RD PROP. PERFORATED ROOF DRAIN
- PROP. CATCH BASIN
- EXIST. CATCH BASIN
- PROP. SPOT GRADE
- EXIST. UTILITY POLE
- PROP. OUTLET STRUCTURE
- WETLANDS
- EXIST. TEST PIT



PREPARED FOR  
**BAVARO FAMILY REALTY TWO, LLC**  
18 GRAF ROAD UNIT #31  
NEWBURYPORT, MA

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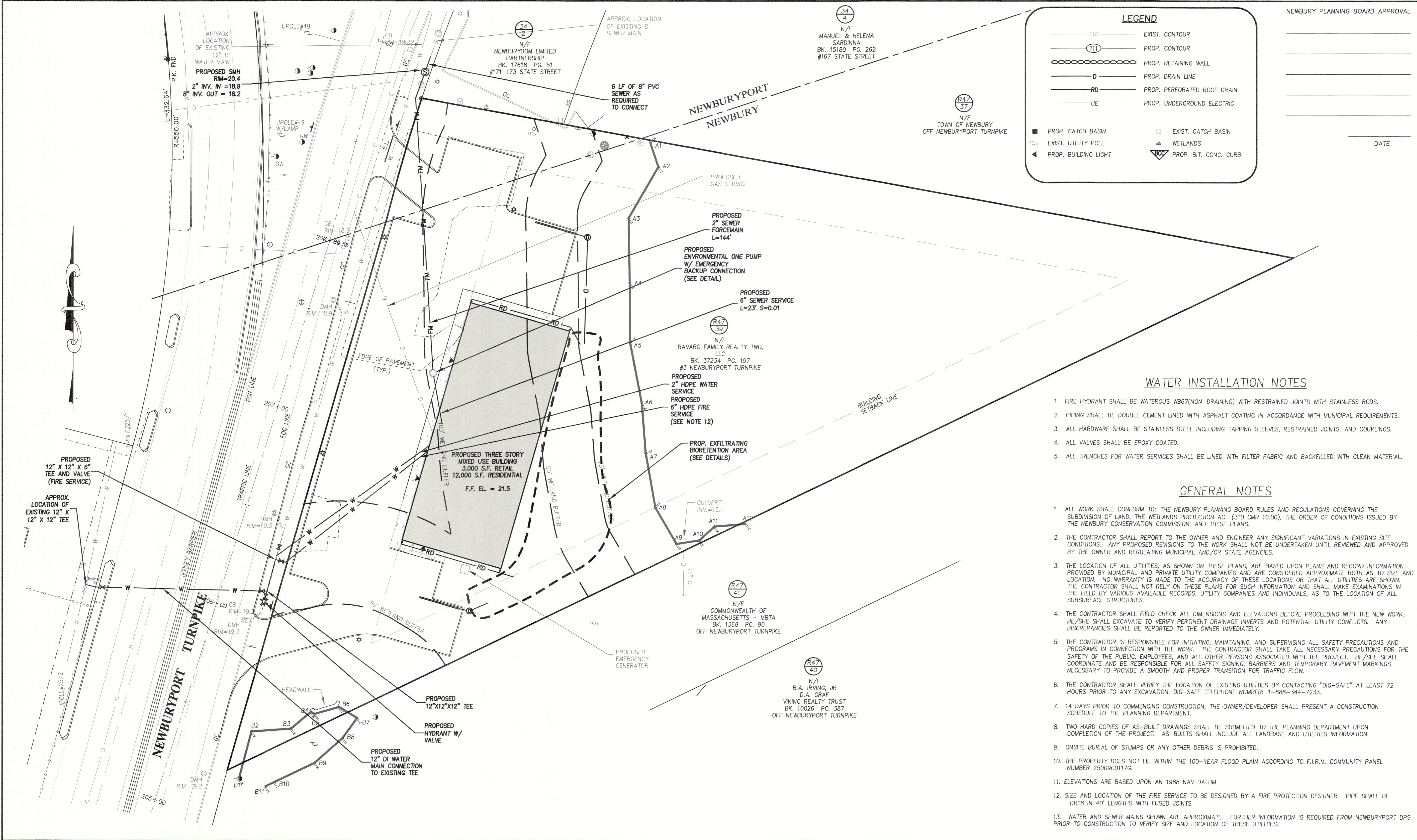
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DATE: JULY 15, 2020

DESIG. BY: C.M.Y.  
CHKD. BY: E.W.B.

PROJECT: M193668

**SITE PLAN**  
IN  
**NEWBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**3 NEWBURYPORT TURNPIKE**

**GRADING PLAN**



GRAPHIC SCALE  
20 0 10 20 40 80  
( IN FEET )  
1 inch = 20'

PREPARED FOR  
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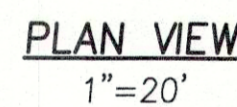
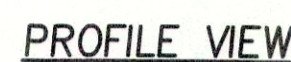
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**SITE PLAN**  
IN  
**NEWBURY, MA**  
SHOWING  
**PROPOSED SITE IMPROVEMENTS**  
AT  
**3 NEWBURYPORT TURNPIKE**

**UTILITIES PLAN**

SHEET: 5 OF 8

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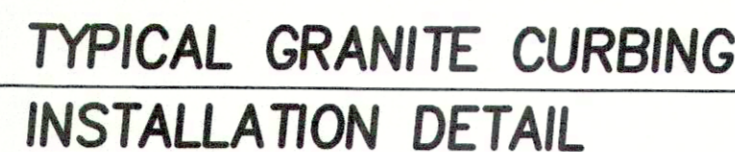


* IF LISTED SPECIES IS NOT AVAILABLE, SIMILAR SPECIES MAY BE SUBSTITUTED AS APPROVED BY WETLAND SCIENTIST

N.T.S.



N.T.S.



N.T.S.



**GENERAL NOTES**

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.ContechEs.com](http://www.ContechEs.com)
3. CDS AND/OR CDS STRUCTURE SHALL BE IN CONFORMANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2" AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INLET ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M208 AND BE CAST WITH THE CONTECH LOGO.
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.

**INSTALLATION NOTES**

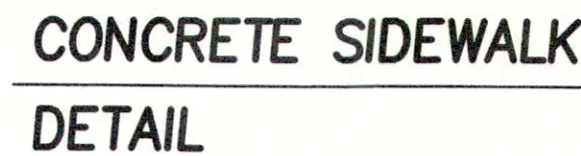
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.

B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.

C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.

D. CONTRACTOR TO PROVIDE, INSTALL, AND SET INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.

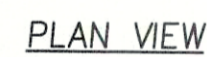
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



N.T.S.



N.T.S.



NOTES:


- 1.) RAMP CROSS SECTION TO BE SAME AS SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
- 2.) BASE OF RAMP SHALL MEET PAVEMENT GUTTER SUCH THAT THERE IS NO DIFFERENCE IN ELEVATION. RAMP SHALL BE CONSTRUCTED SUCH THAT WATER DOES NOT "PUDDLE" AT THE BASE OF THE RAMP.
- 3.) THE PAVEMENT AT THE BASE OF THE RAMP SHALL BE PART OF THE CONTINUOUS TOP COURSE. THE USE OF A "PAVEMENT PATCH" TO COMPLY WITH THE CONDITIONS IN NOTE 2, ABOVE IS PROHIBITED.
- 4.) RAMPS SHALL CONFORM TO MASS DOT WHEELCHAIR RAMP STANDARDS - LATEST REVISIONS.

N.T.S.

3-16-21

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BAVARO FAMILY REALTY TWO, LLC  
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NEWBURYPORT, MA

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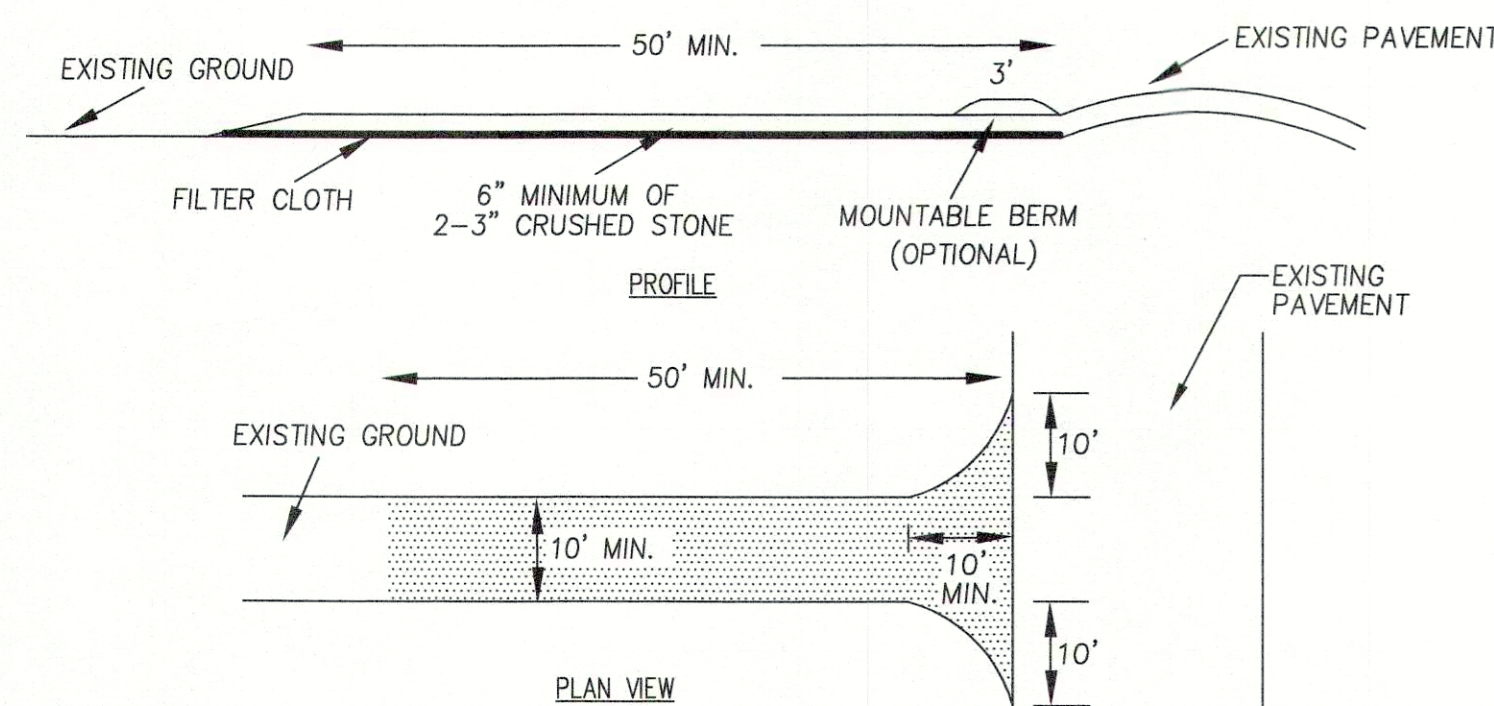
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**SITE PLAN**  
IN  
**NEWBURY, MA**  
SHOWING  
PROPOSED SITE IMPROVEMENTS  
AT  
3 NEWBURYPORT TURN

## CONSTRUCTION DETAILS

SHEET: 6 OF 8



- ## NOTES
1. STONE SHALL BE 2-3" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
  2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
  3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6".
  4. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
  5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
  6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED INTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
  7. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE INTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

## STABILIZED CONSTRUCTION

ENTRANCE

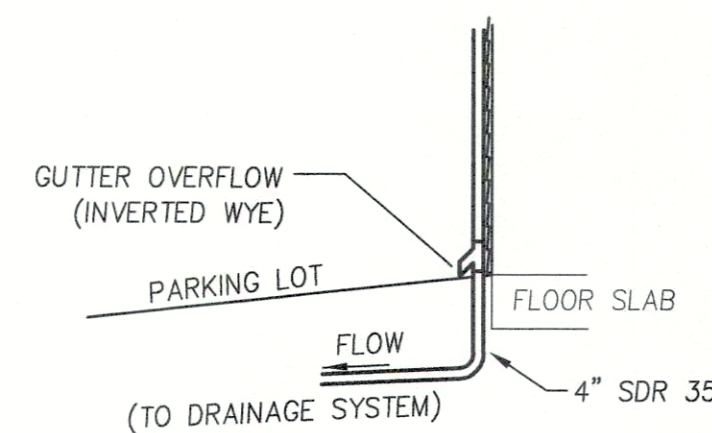
N.T.S.

## GENERAL EROSION CONTROL NOTES

1. ALL SILT FENCE SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. SILT FENCE SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES. LEDGE ENCOUNTERED ONSITE CAN BE GROUND UP TO A MAXIMUM 3" SIZE AND USED FOR FILL.
3. ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
4. EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL AND PROMPTLY REPAIRED OR REPLACED AS NECESSARY.
5. ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
6. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
8. TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE REQUIRED BY THE NEWBURY PLANNING BOARD AND CONSERVATION COMMISSION.
9. ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
10. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
11. THE CONTRACTOR SHALL IDENTIFY TO THE TOWN HIS/HER TOPSOIL STOCKPILING OPERATIONS AND LOCATIONS.
12. PROVIDE SILTSACK (OR APPROVED EQUAL) SEDIMENT FILTER AT ALL CATCH BASINS.
13. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
14. SEED MIX SHALL BE NO LESS THAN 4 LBS./1000 S.F. OF LAND AREA. SEED SHALL CONSIST OF A MAXIMUM OF 10% RYE GRASS AND A MINIMUM OF 90% PERMANENT BLUEGRASS AND/OR FESCUE. LIME SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
15. NO MORE THAN 6 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
16. WHERE PLACEMENT OF FILL IS REQUIRED FOR THE CONSTRUCTED WETLAND, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND.

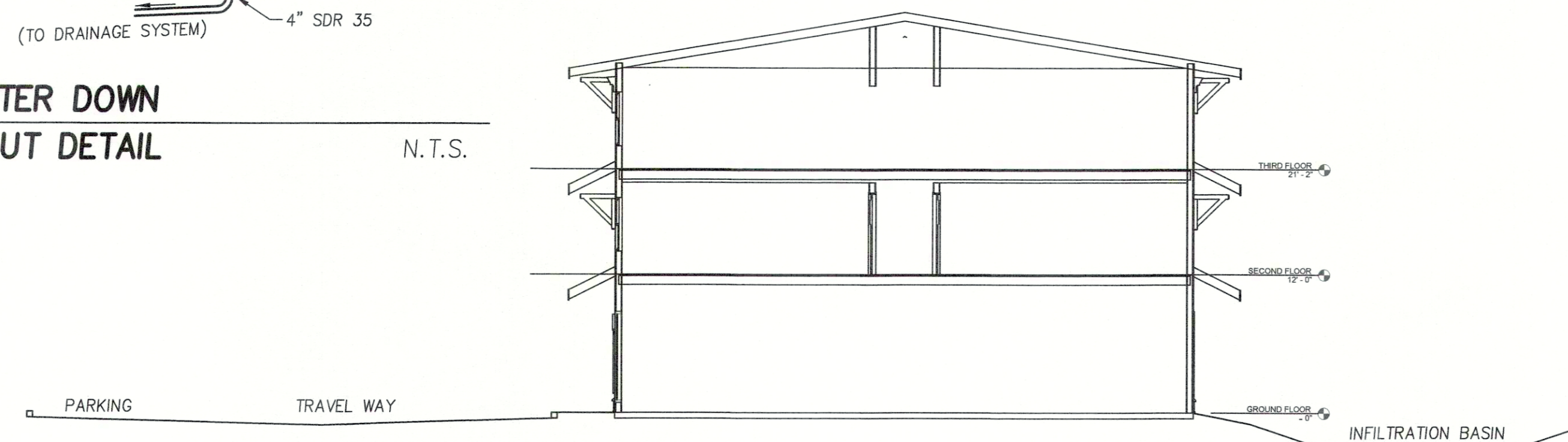
## CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE AT LIMIT OF WORK & STAKE OUT INFILTRATION BASIN.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
3. CLEAR AND GRUB DEBRIS TO PHASE LINE AND DISPOSE OF PROPERLY.
4. STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH SILT FENCE AT THE TOE OF SLOPE.
5. ROUGH GRADE INFILTRATION BASIN.
6. GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE STABILIZED IMMEDIATELY AFTER GRADING.
7. BEGIN BUILDING CONSTRUCTION.
8. INSTALL UTILITIES/DRAINAGE STRUCTURES.
9. PLACE RIPRAP WHERE SHOWN ON PLANS. LOAM AND HYDROSEED SIDESLOPES AND ALL DISTURBED AREAS WITHIN 72 HOURS.
10. SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL PAVEMENT SECTION TO ATTAIN FINAL DESIGN ELEVATIONS.
11. PERFORM BINDER COURSE PAVING.
12. LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS REQUIRED.
13. PERFORM FINAL PAVING (TOP COURSE).
14. REMOVE EROSION CONTROL.

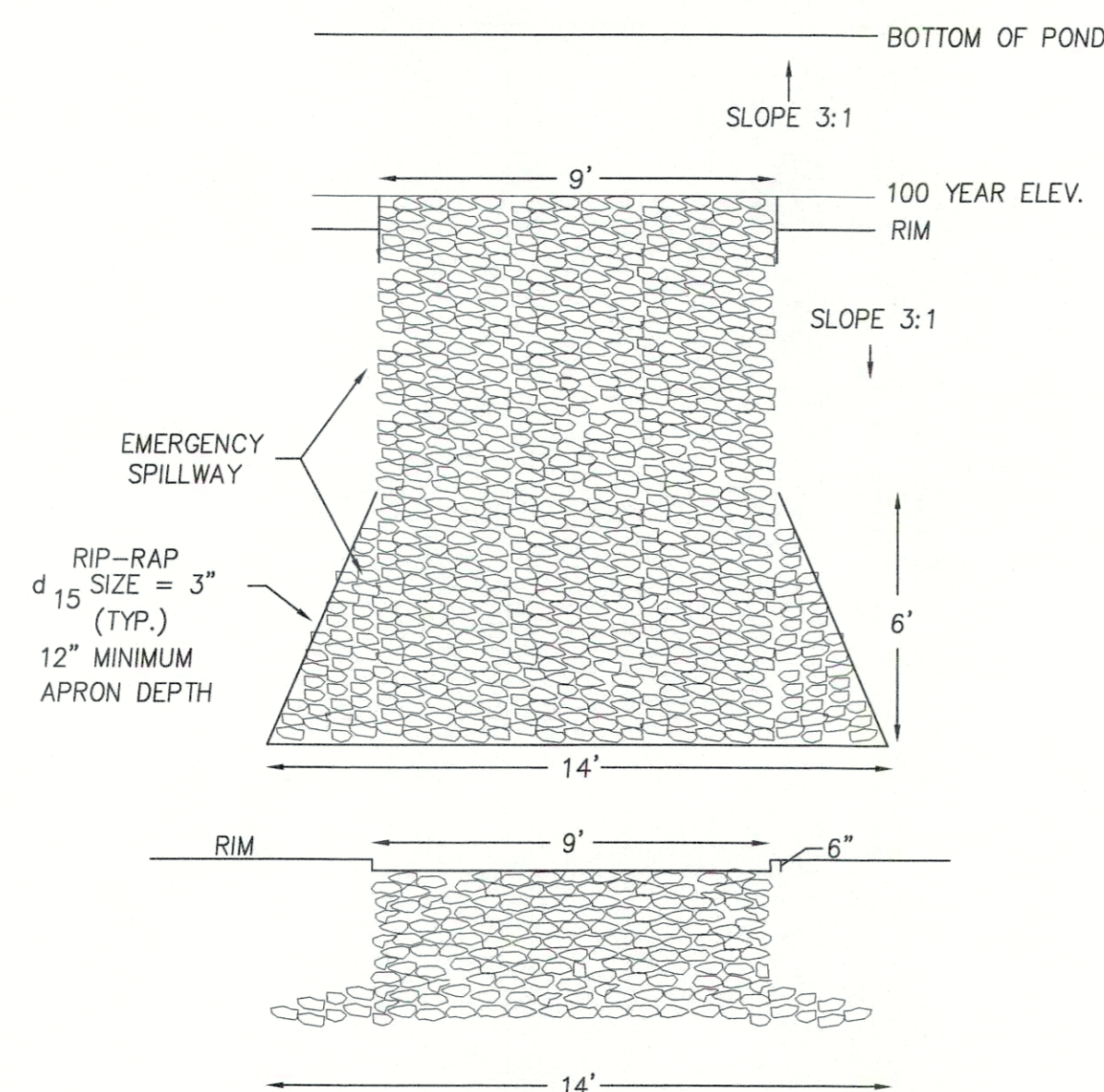


### GUTTER DOWN SPOUT DETAIL

N.T.S.

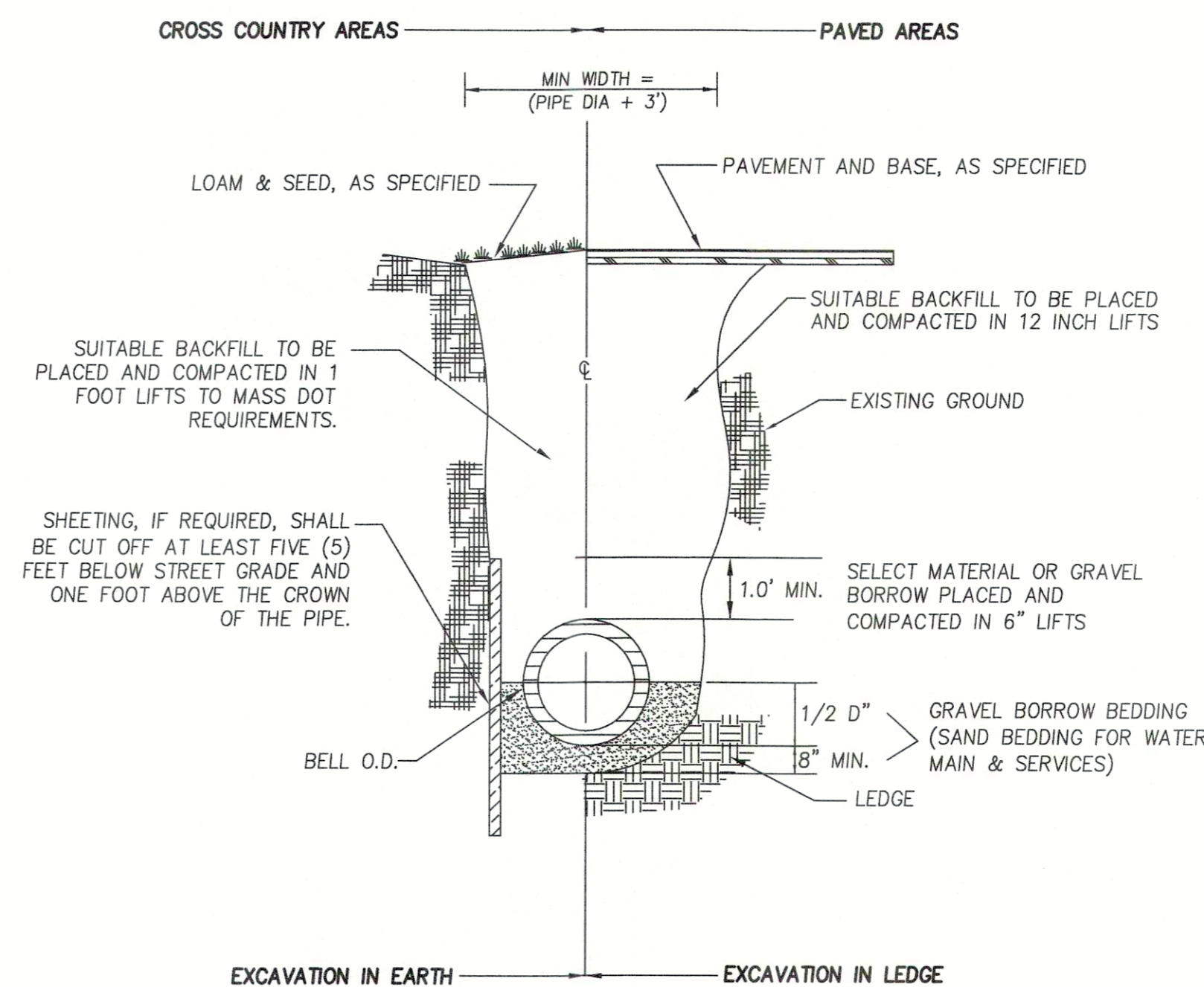


## BUILDING CROSS-SECTION

$$1'' = 10'$$


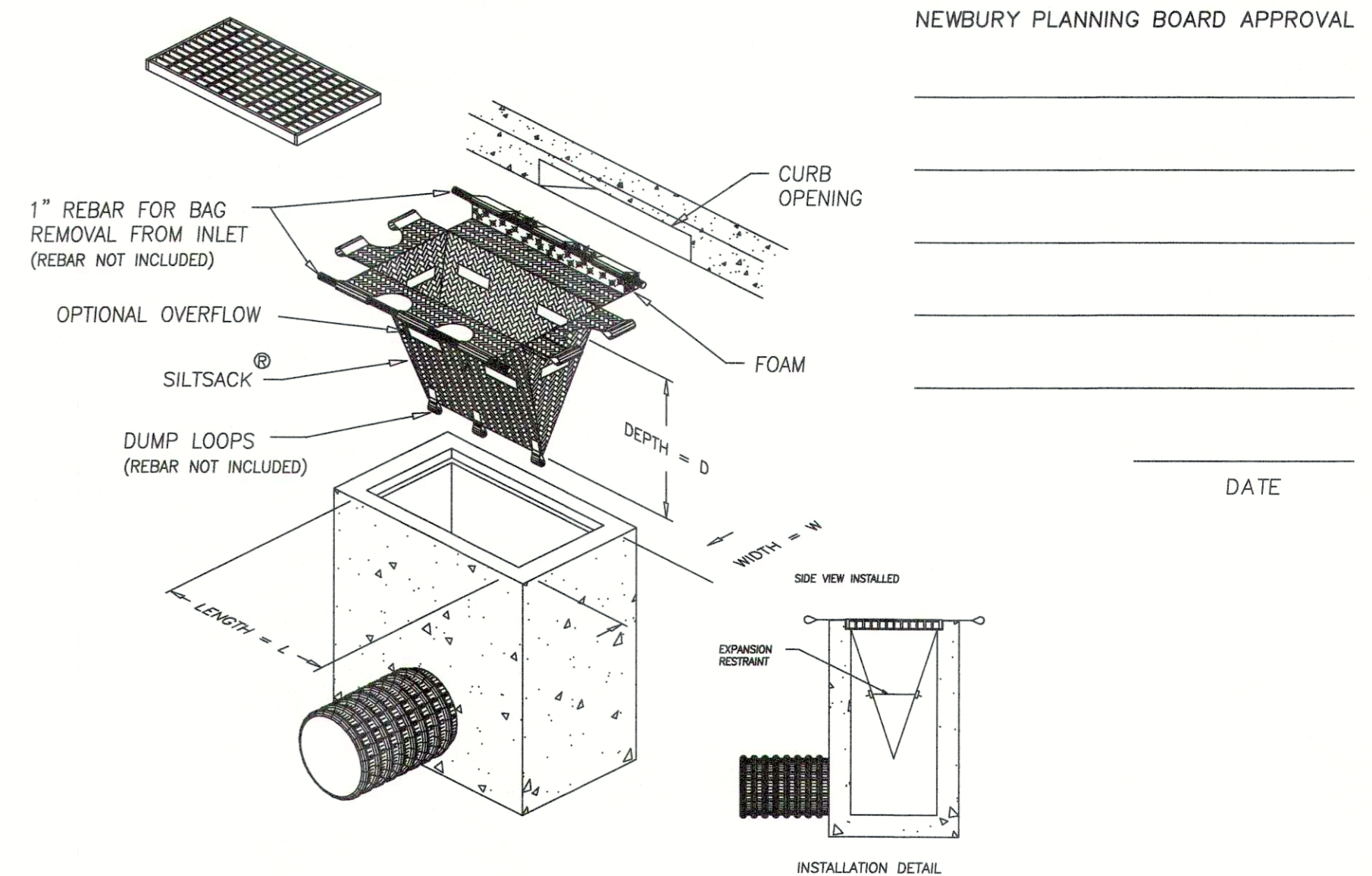
TYPICAL SPILLWAY  
PLAN VIEW

N.T.S.



### TYPICAL TRENCH DETAIL

N.T.S.



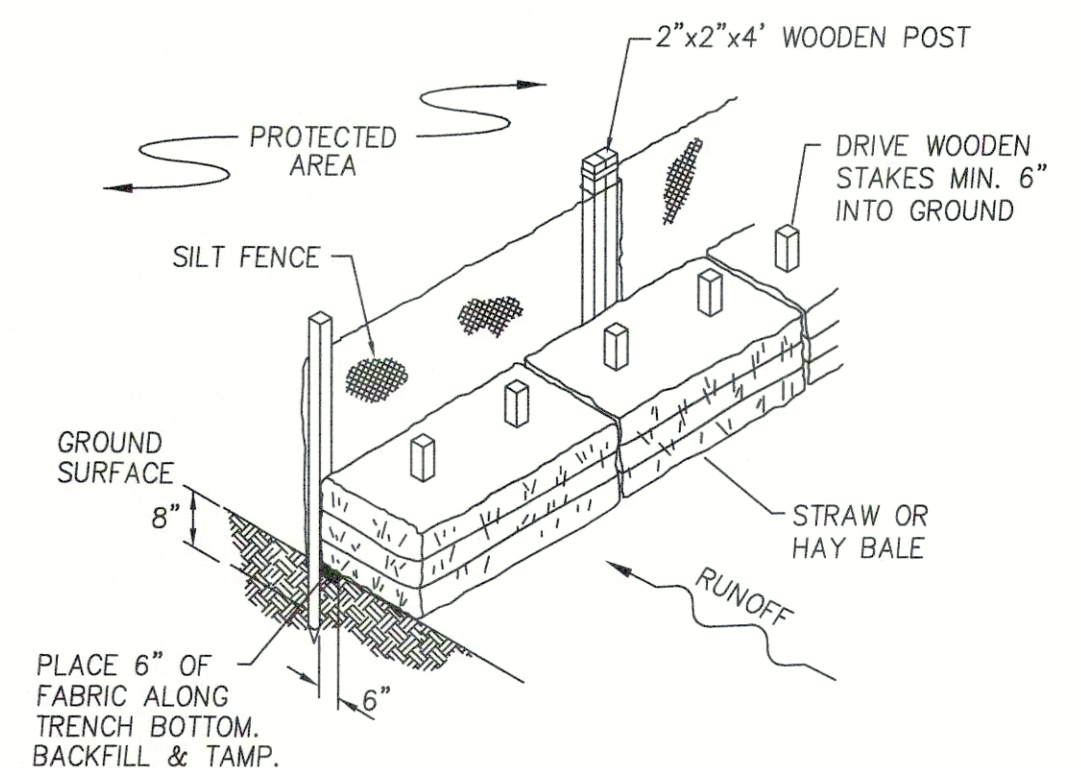
NOTES

1. TO INSTALL SILTSACK TO THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
2. WHEN THE RESTRAINT CORPUS IS FULL, THE SILTSACK IS VISIBLE, THE SACK IS FULL, AND SHOULD BE EMPTIED.
3. REMOVE SILTSACK. TAKE TWO PIECES OF 1/2 INCH WIDE REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
4. TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL LOCATION AND PLACE BACK IN THE CATCH BASIN.
5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

**SILT SACK**

## DETAIL

N.T.S.



## NOTES

1. POSTS SHALL BE DOUBLED AND COUPLED AT FILTER CLOTH SEAMS.
2. FILTER CLOTH TO BE FASTENED SECURELY TO SUPPORT NETTING WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.

## MAINTENANCE

1. SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON THE SILT FENCE SHALL DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHALL BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

## SILT FENCE/ HAYBALE INSTALLATION

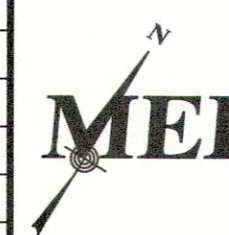
N.T.S.



PREPARED FOR

BAVARO FAMILY REALTY TWO, LLC  
18 GRAF ROAD UNIT #31  
NEWBURYPORT, MA

	8	3/16/21	RESPONSE TO TOWN COMMENTS	J.T.M.
	7	2/1/21	RESPONSE TO TOWN COMMENTS	J.T.M.
	6	1/19/21	RESPONSE TO TOWN COMMENTS	J.T.M.
	5	1/13/21	RESPONSE TO TOWN COMMENTS	J.T.M.
	4	12/30/20	RESPONSE TO TOWN COMMENTS	J.T.M.
	3	12/9/20	RESPONSE TO TOWN COMMENTS	J.T.M.
	2	11/18/20	RESPONSE TO TOWN COMMENTS	J.T.M.
NO.	DATE	DESCRIPTION		BY



**MILLENNIUM ENGINEERING, INC.**  
ENGINEERING AND LAND SURVEYING  
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980  
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'	DESG. BY: C.M.Y.	PROJECT: M193668
DATE: JULY 15, 2020	CHKD. BY: E.W.B.	

# PLAN OF LAND

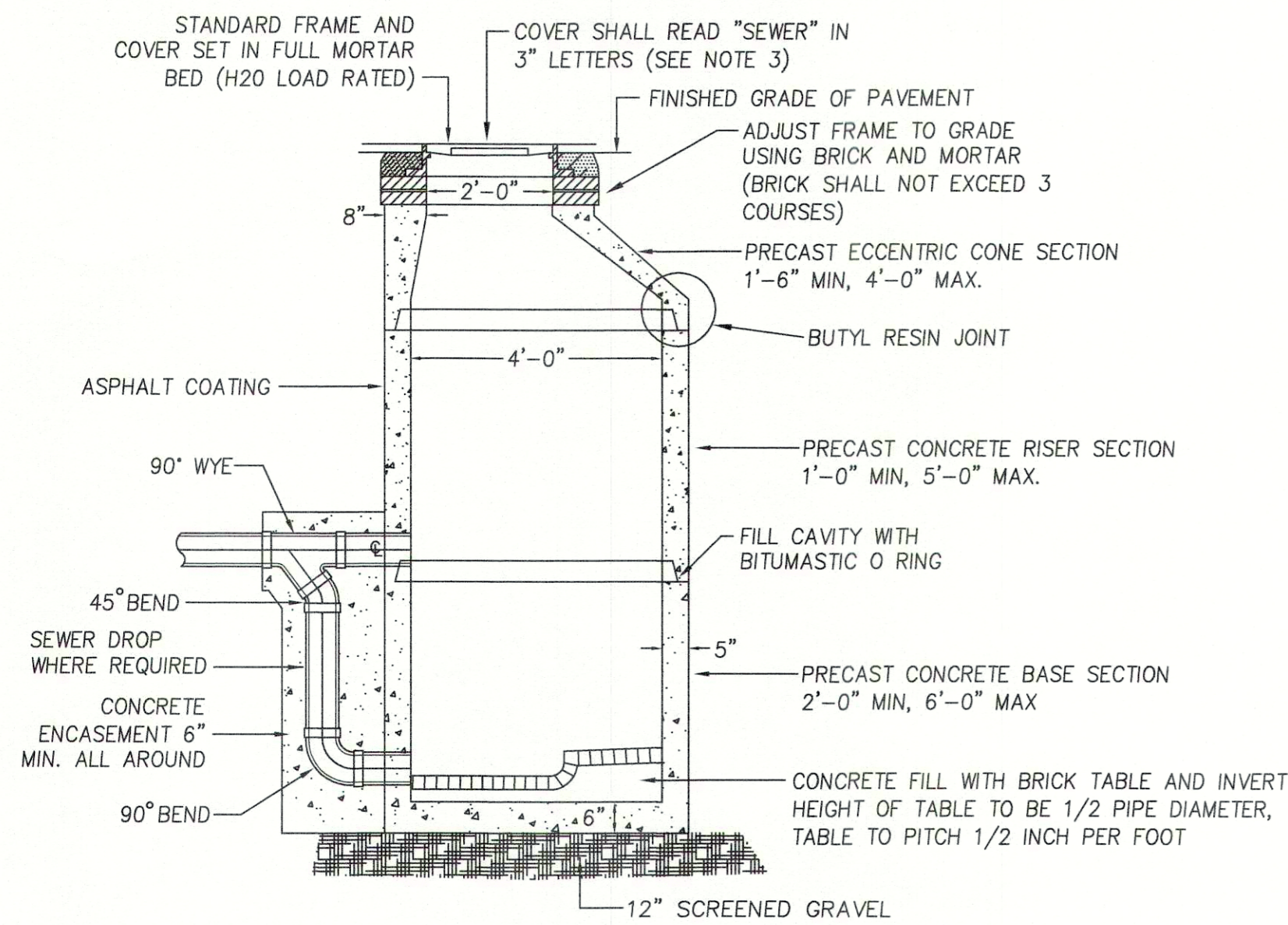
IN

## NEWBURY, MA

SHOWING  
PROPOSED SITE IMPROVEMENTS  
AT  
3 NEWBURYPORT TURNPIKE

## CONSTRUCTION DETAILS

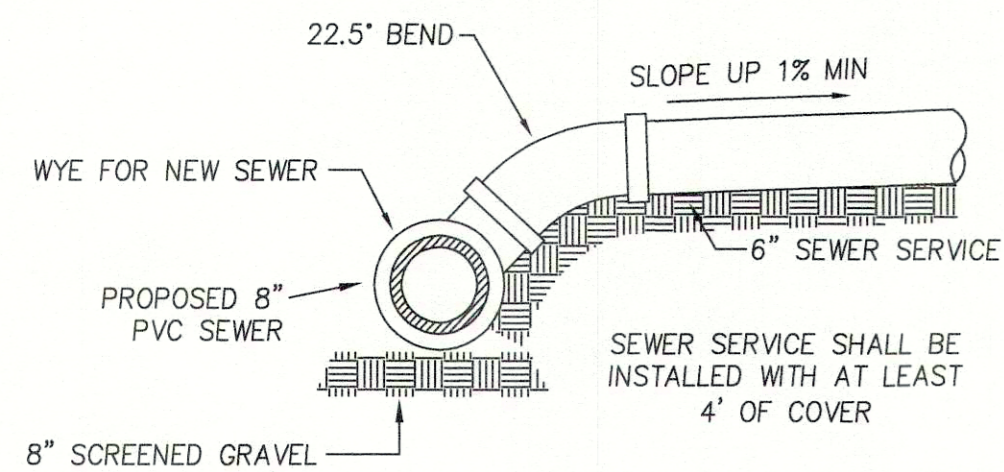
SHEET: 7 OF 8



- NOTES: 1) SEWER MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185  
2) COVER SHALL BE LEBARON FOUNDRY (MODEL NO. LA246), MECHANICS IRON FOUNDRY, NEEHAN FOUNDRY, OR EQUAL.

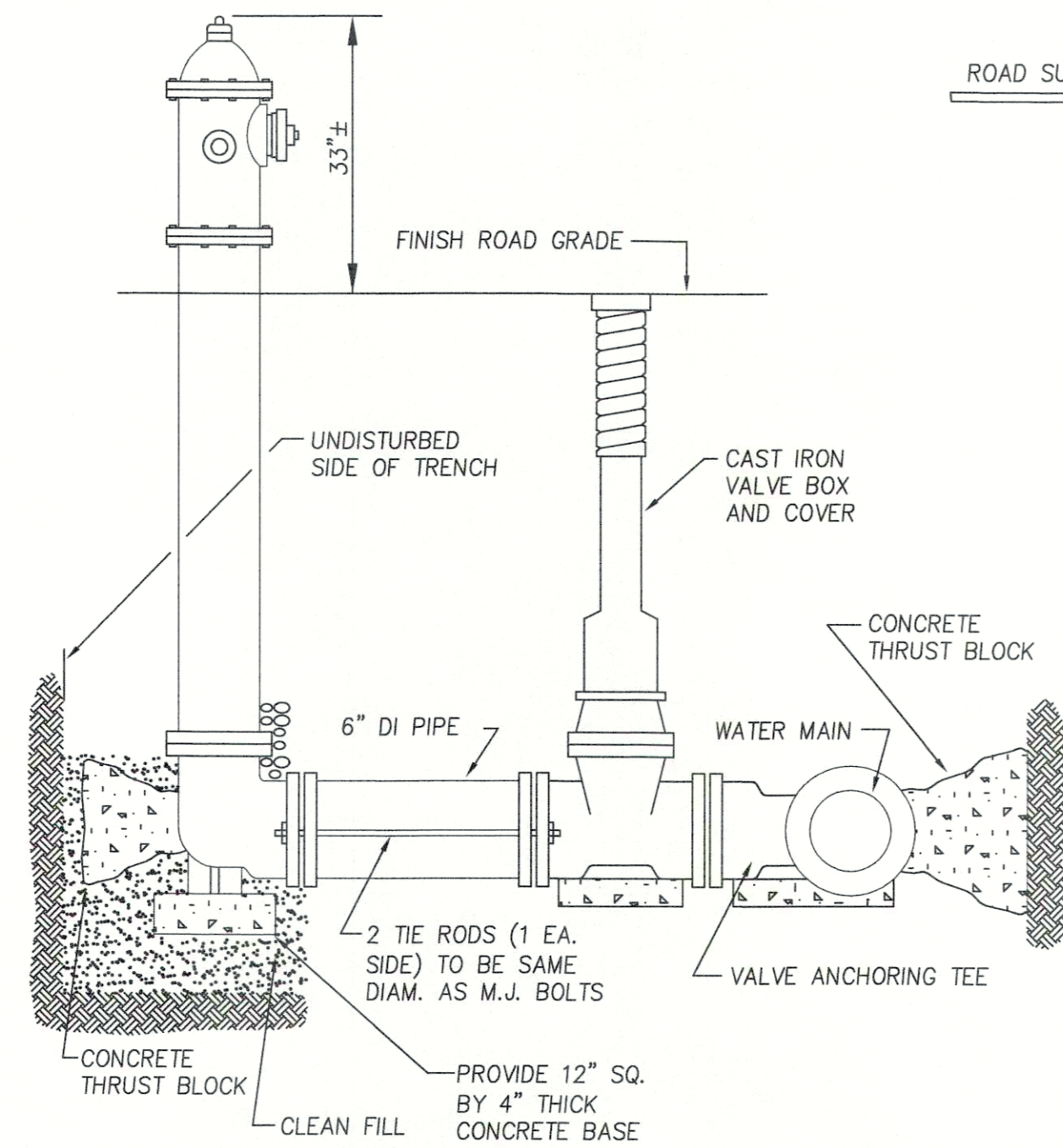
### PRECAST SEWER MANHOLE DETAIL

N.T.S.



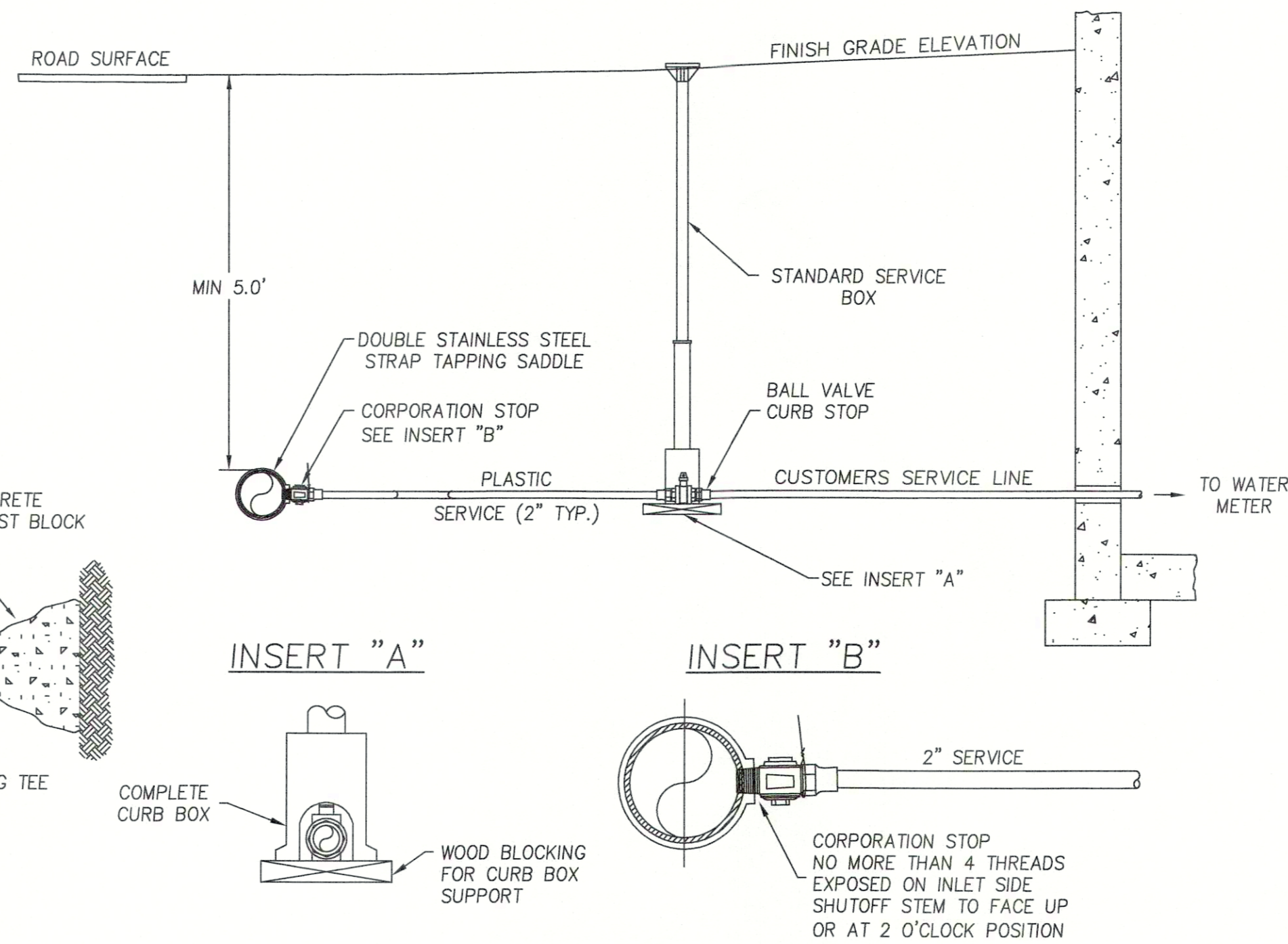
### SEWER SERVICE DETAIL

N.T.S.



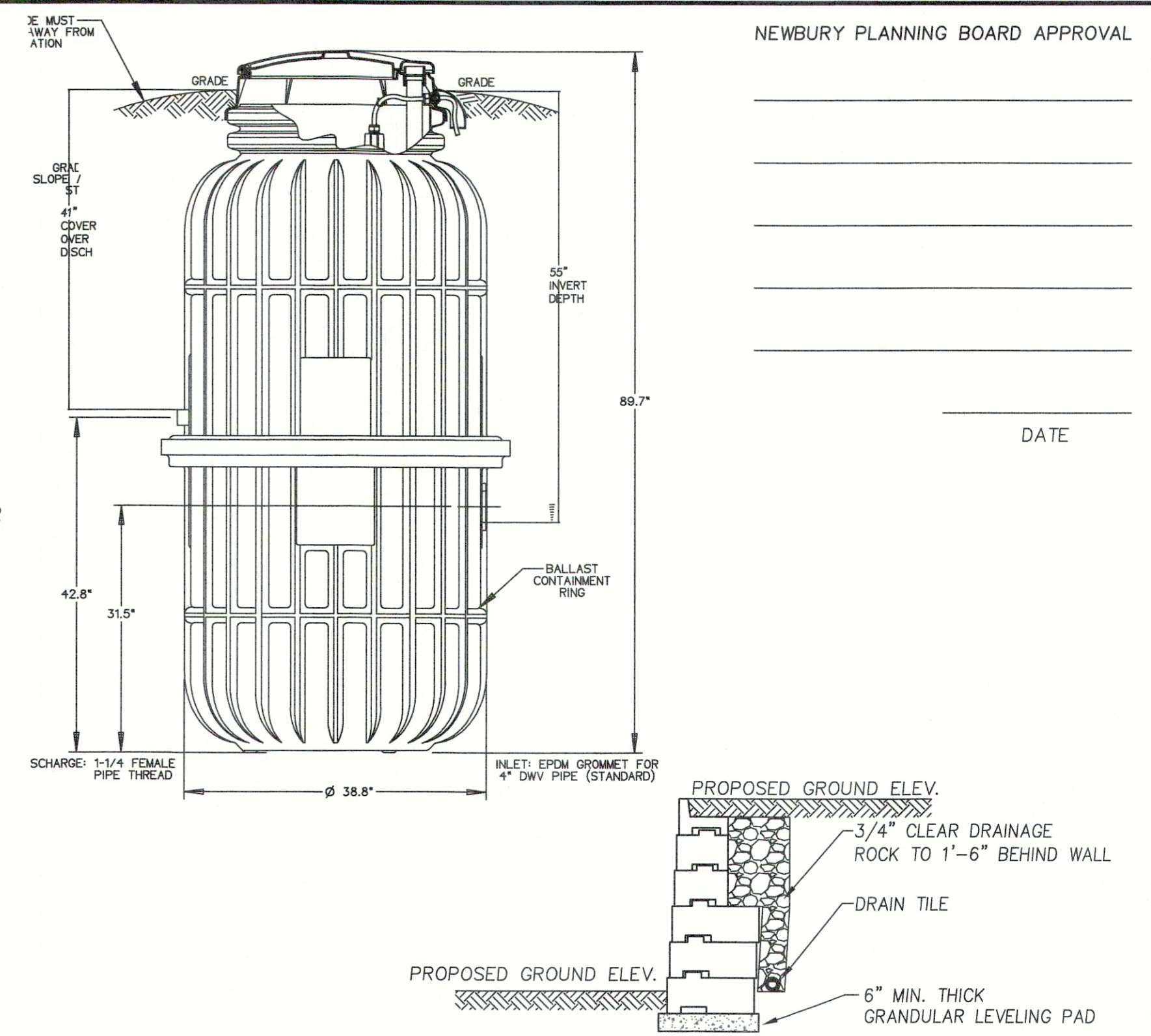
### TYPICAL FIRE HYDRANT INSTALLATION

N.T.S.



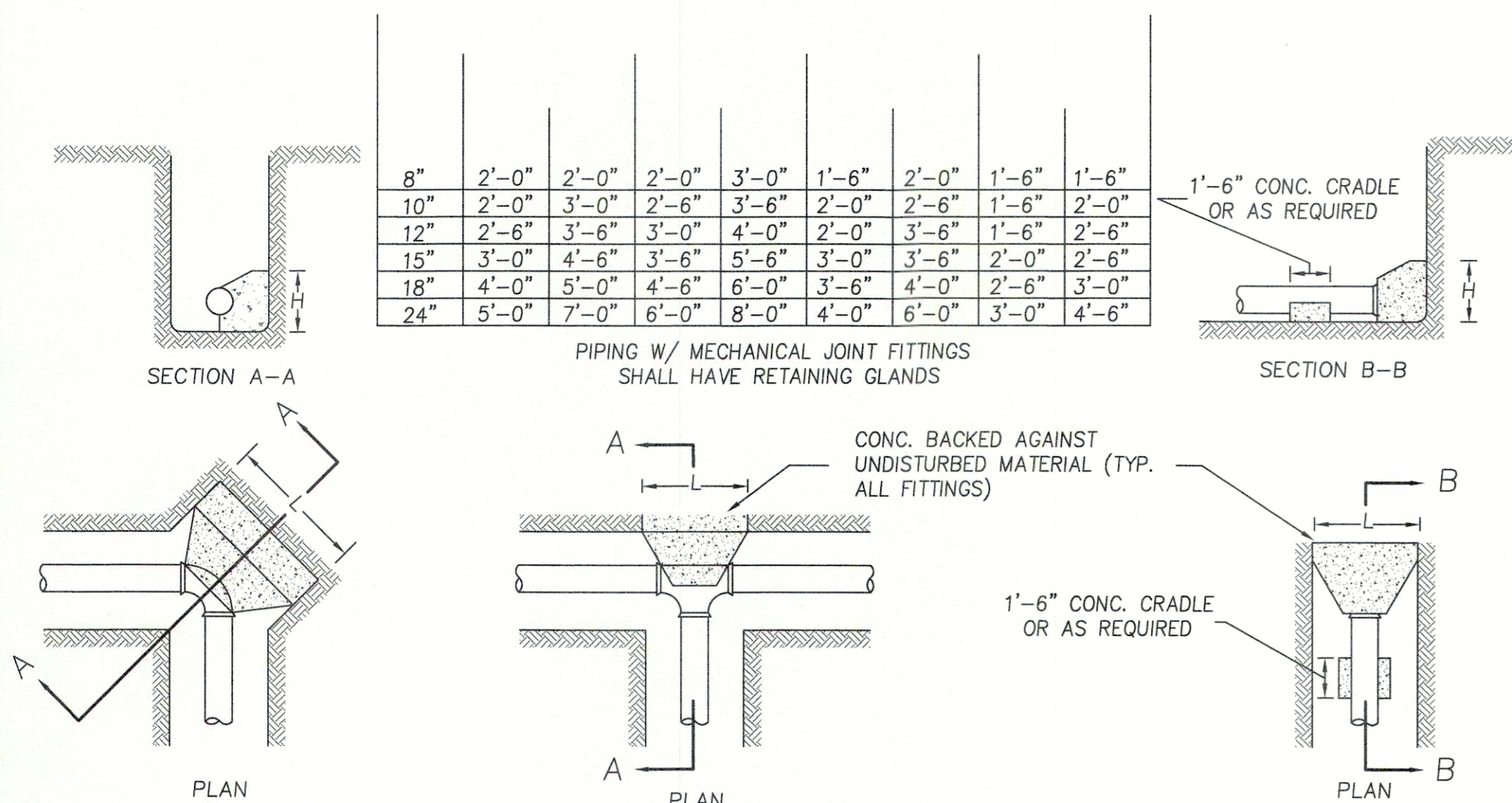
### TYPICAL WATER SERVICE CONNECTION

N.T.S.



### SEGMENTAL BLOCK RETAINING WALL

N.T.S.

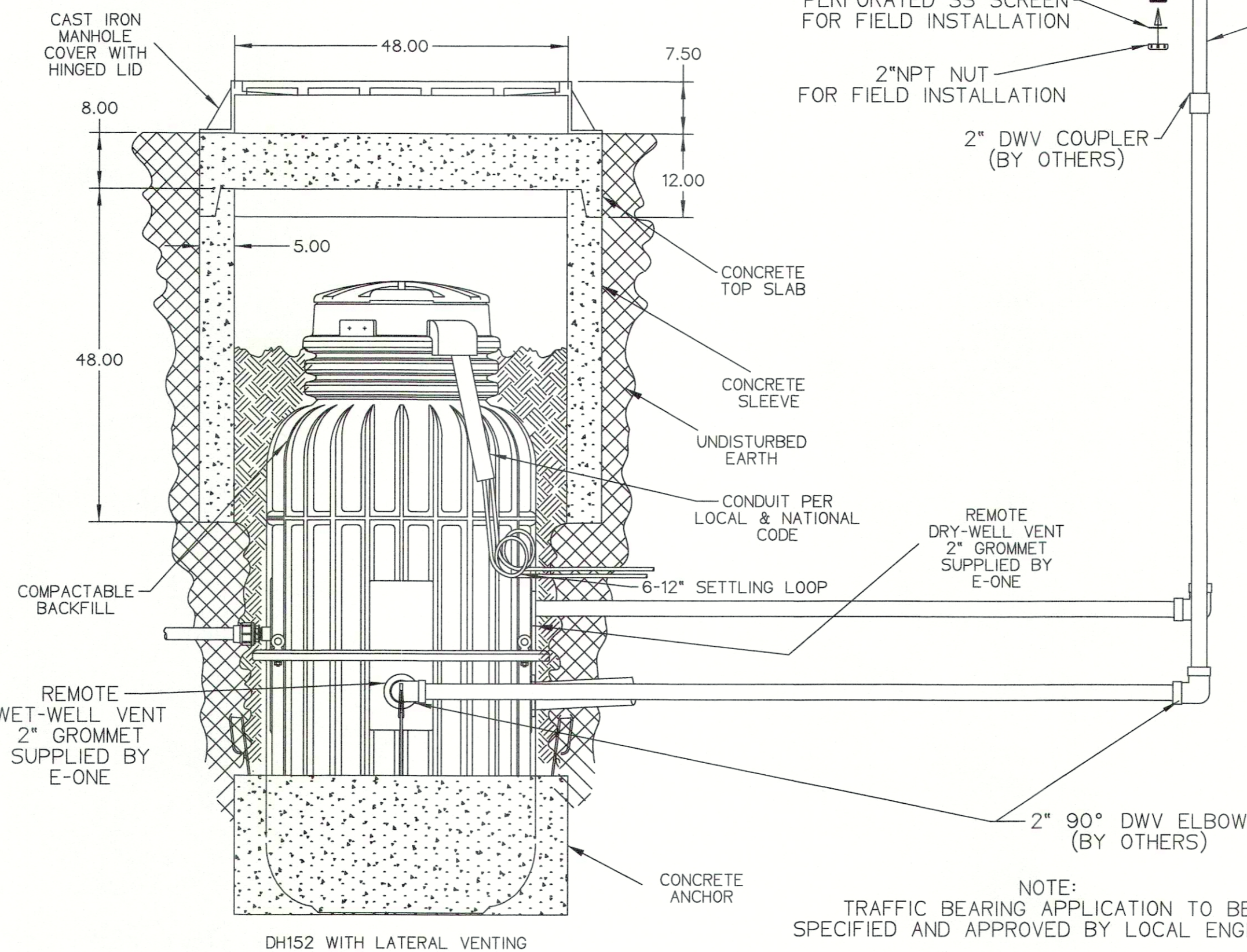


### NOTES

1. VALUES SHOWN ARE FOR TEST PRESSURE OF 150 PSI WITH A 100 PSI SURGE ALLOWANCE.  
2. THRUST BLOCKS SHALL NOT BE PLACED AGAINST THE FOLLOWING SOILS: PEAT, ORGANIC SILT AND ORGANIC SOILS, SOFT CLAY, RUBBISH FILL AND OTHER UNSUITABLE ARTIFICIAL FILL, SHATTERED SHALE, INORGANIC SILT AND VERY FINE SANDS.  
3. POURED CONCRETE THRUST BLOCKS SHALL NOT COVER ANY JOINTS, CLAMPS, NUTS, BOLTS, ETC.

### THRUST BLOCK DETAILS

N.T.S.

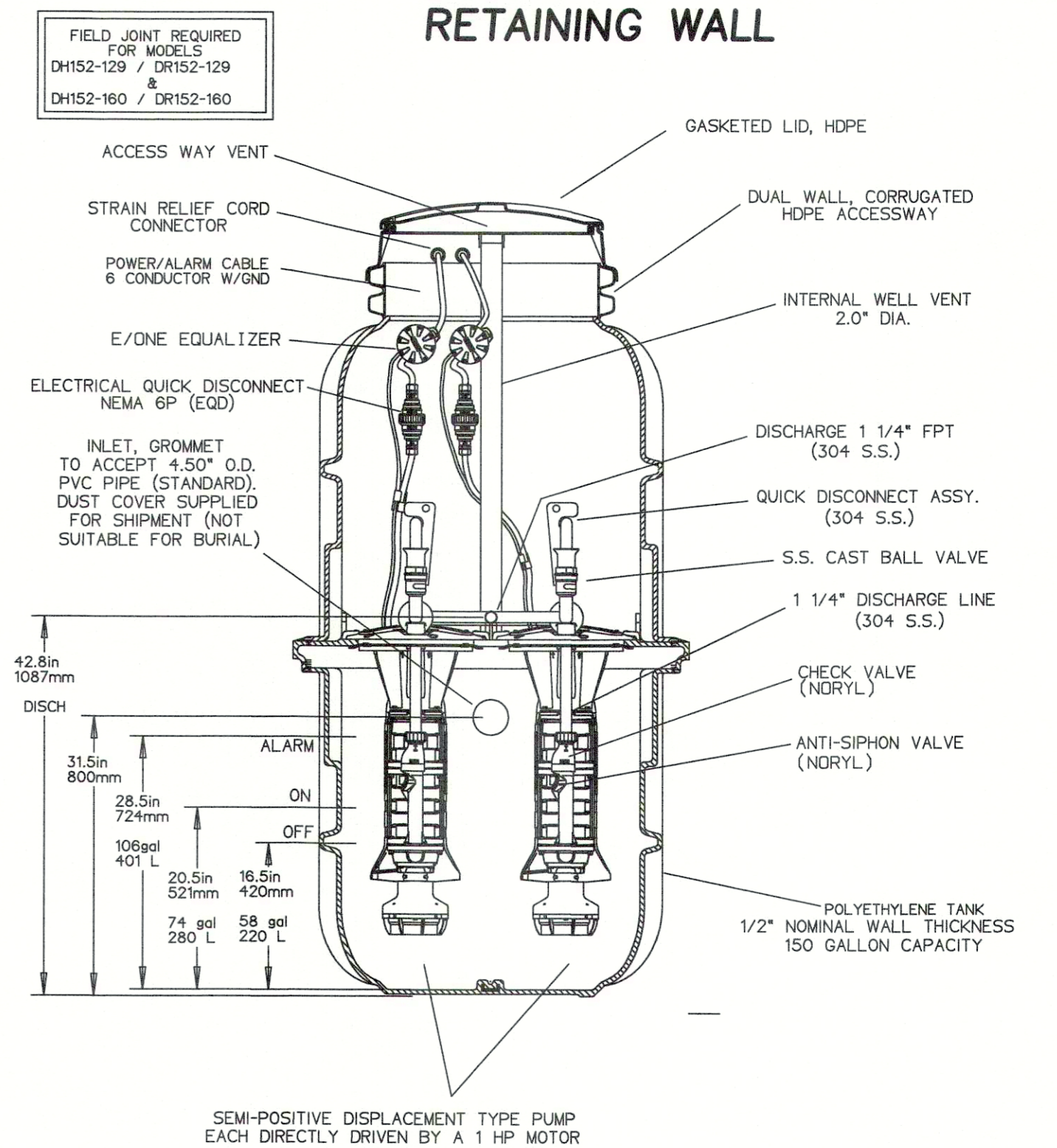


NOTE: TRAFFIC BEARING APPLICATION TO BE SPECIFIED AND APPROVED BY LOCAL ENGINEER

DH152 STATION ONLY IS PROVIDED BY E/ONE ALL ELSE IS PROVIDED BY OTHERS

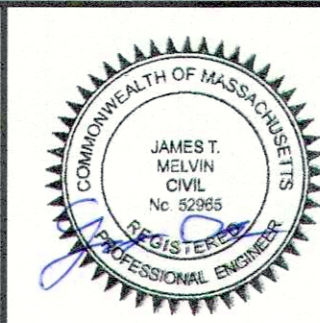
### E-ONE DH152 INSTALLATION DETAIL

N.T.S.



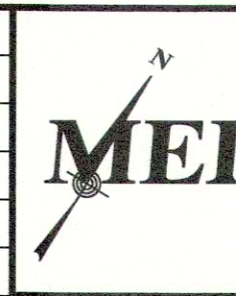
### E-ONE SEWER PUMP MODEL DH152 DETAIL

N.T.S.



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**SITE PLAN**  
IN  
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### CONSTRUCTION DETAILS

SHEET: 8 OF 8