LOCUS MAP 1"=2,000'

PROPOSED SITE PLAN FOR 3 NEWBURYPORT TURNPIKE

NEWBURY, MA

NEWBURY PLANNING BOARD APPROVA

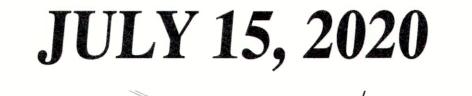


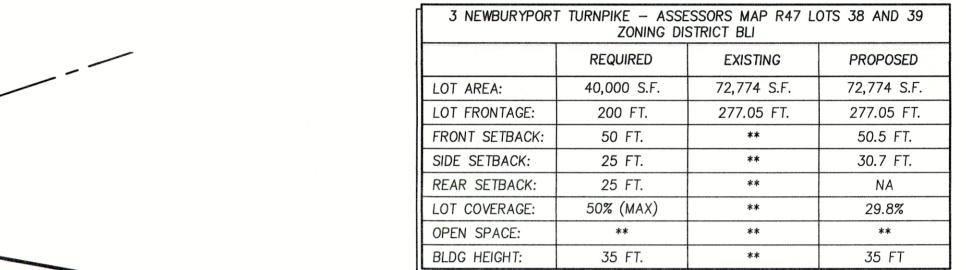
PROJECT LOCATION

3 NEWBURYPORT TURNPIKE - NEWBURY MAP R47, LOT 0-38 MAP R47, LOT 0-39 177 STATE STREET - NEWBURYPORT

OWNER OF RECORD

BAVARO FAMILY REALTY TRUST, LLC BK. 37234 PG. 197 #3 NEWBURYPORT TURNPIKE





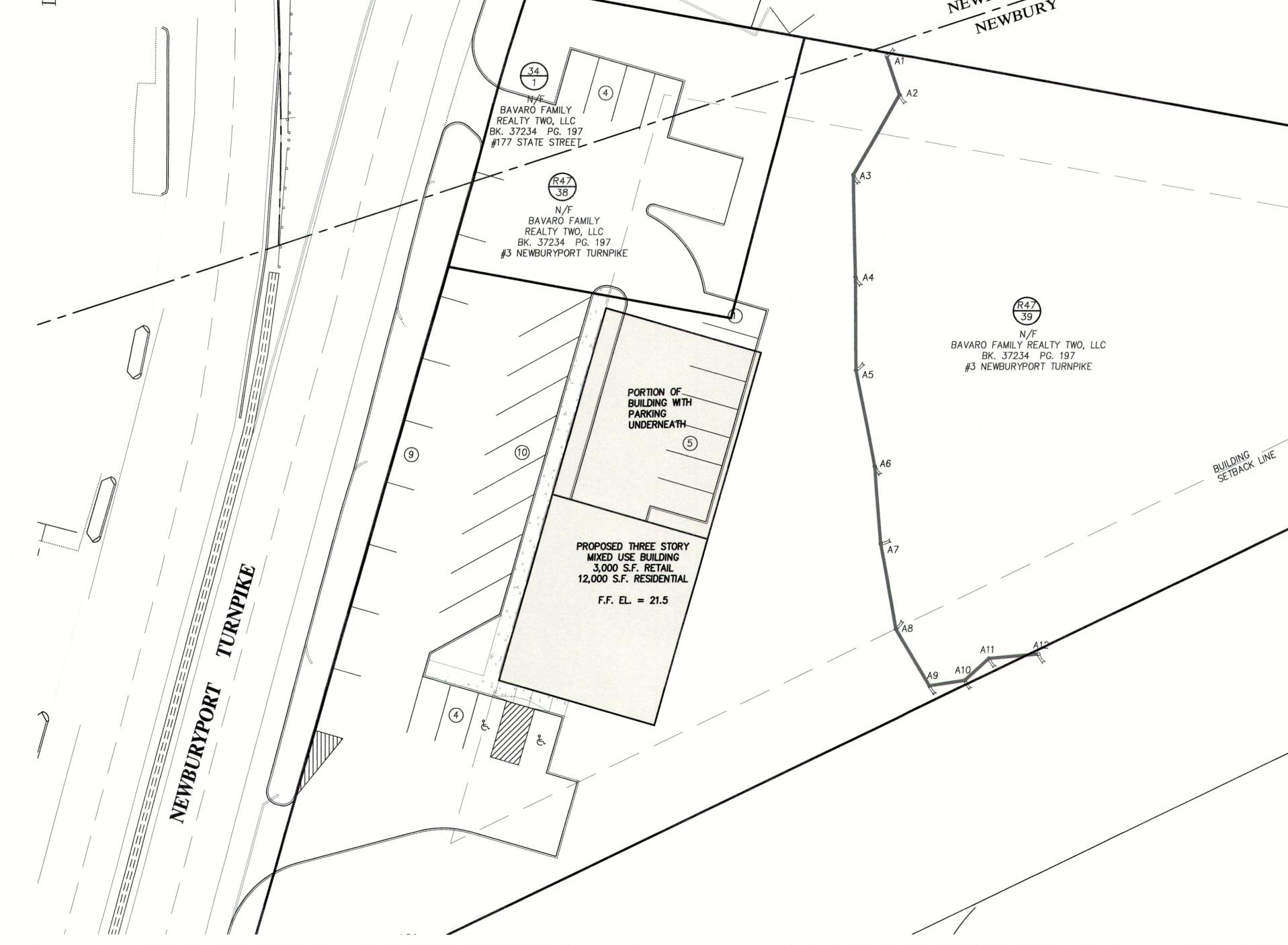
ZONING TABLE

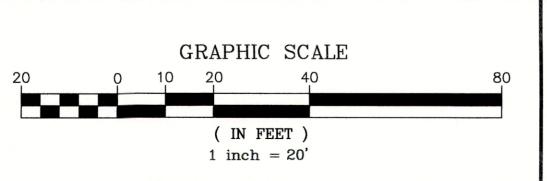
ZONING TABLE

177 STATE STREET — ASSESSORS MAP 34 LOT 1 BUSINESS DISTRICT						
	REQUIRED	EXISTING	PROPOSED			
LOT AREA:	20,000 S.F.	3,397 S.F.	3,397 S.F.			
LOT FRONTAGE:	90 FT.	62.66 FT.	62.66 FT.			
FRONT SETBACK:	20 FT.	**	**			
SIDE SETBACK:	20 FT.	**	**			
REAR SETBACK:	20 FT.	**	**			
LOT COVERAGE:	30% (MAX)	**	**			
OPEN SPACE:	**	**	**			
BLDG HEIGHT:	35 FT.	**	**			

PLAN INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	SITE PLAN
4	GRADING PLAN
5	UTILITIES PLAN
6-8	CONSTRUCTION DETAIL
E-1	LIGHTING PLAN
L-1	LANDSCAPE PLAN







NEWBURYPORT, MA

BAVARO FAMILY REALTY TWO, LLC 18 GRAF ROAD UNIT #31

PREPARED FOR

				MILLE ENGINEERING 62 ELM ST. 13 HAMPTON
1	10/5/20	RESPONSE TO TOWN COMMENTS	J.T.M.	SCALE: 1"=20'
NO.	DATE	DESCRIPTION	BY	DATE: JULY 15, 2020

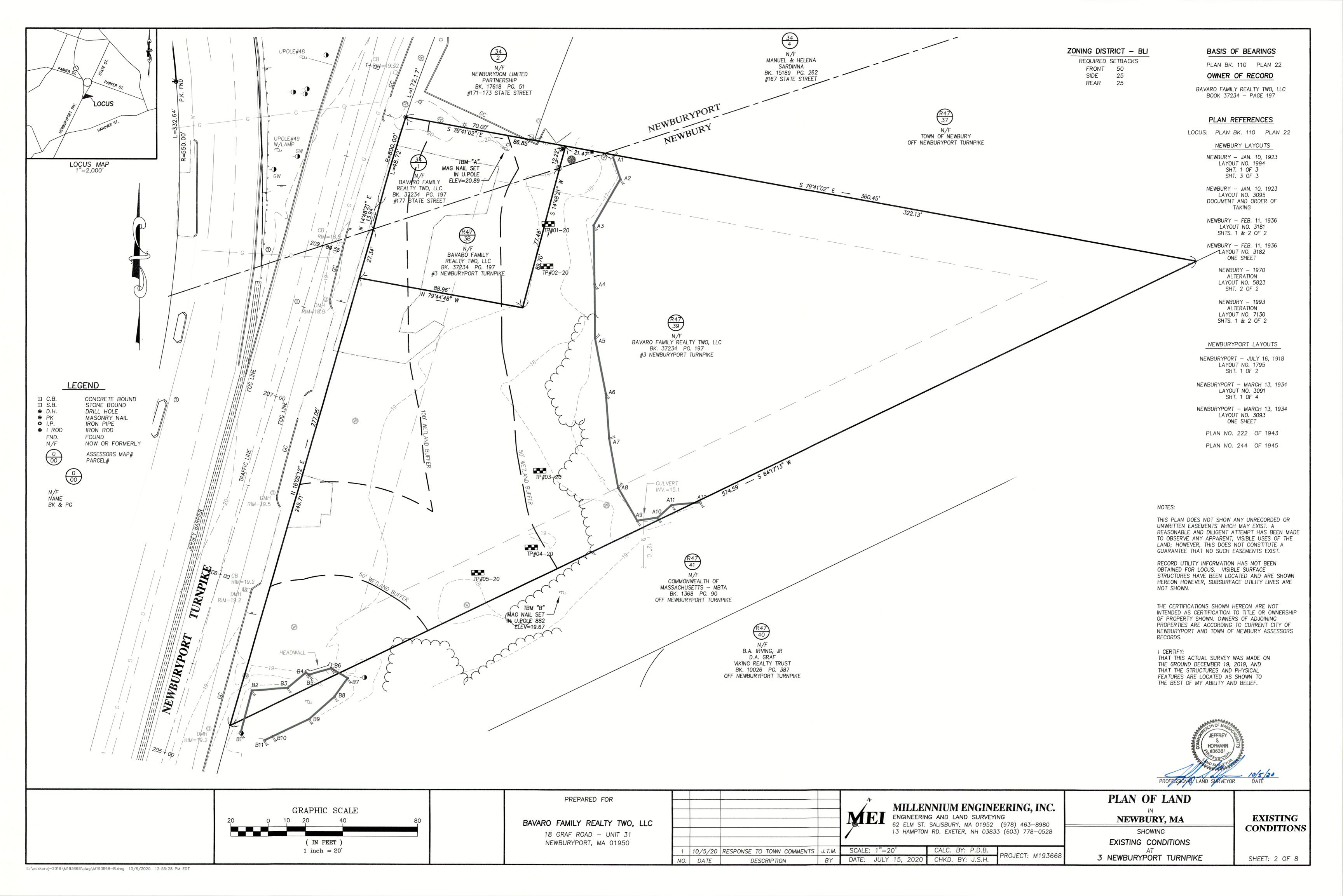
MILLENNIUM ENGINEERING, INC.

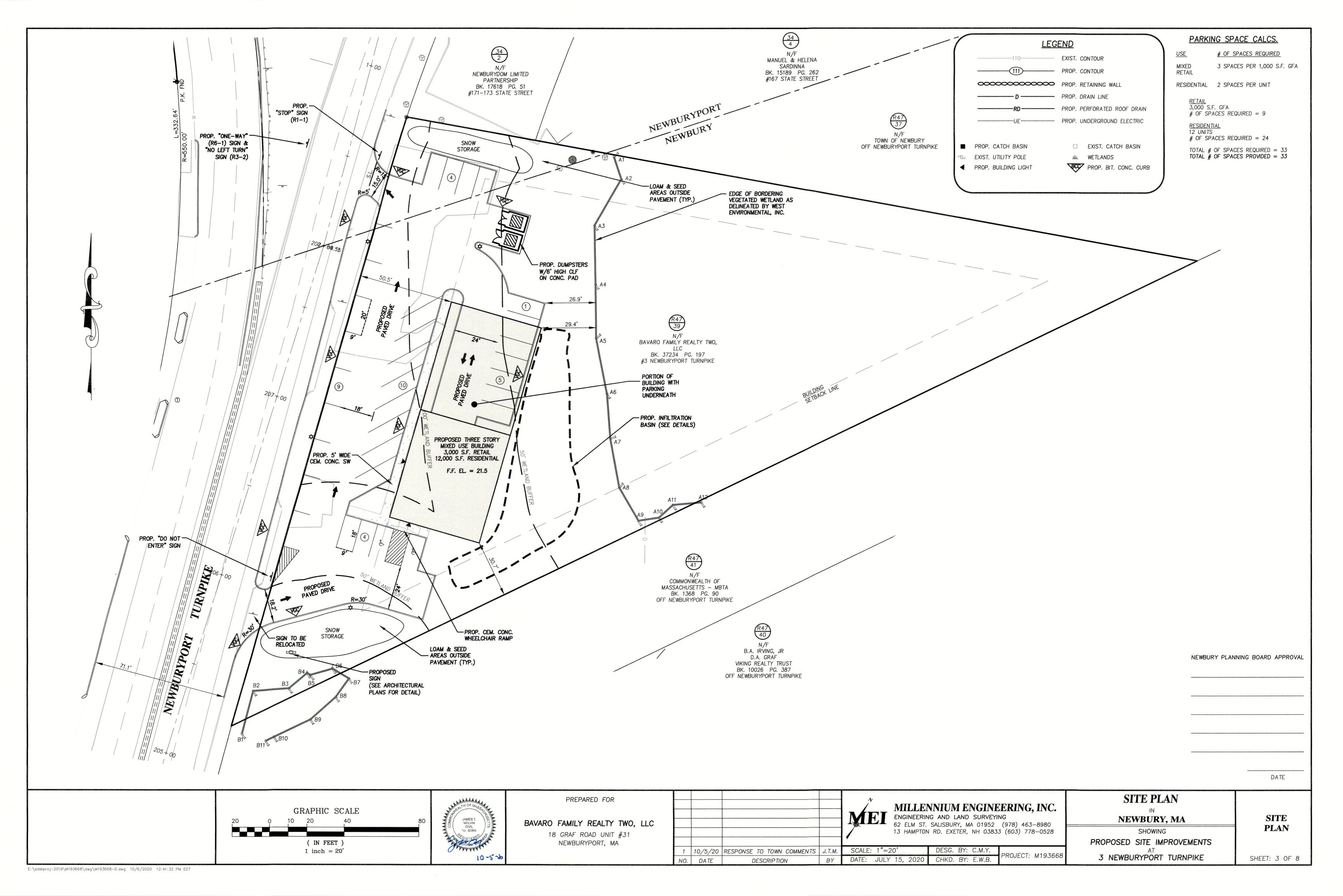
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

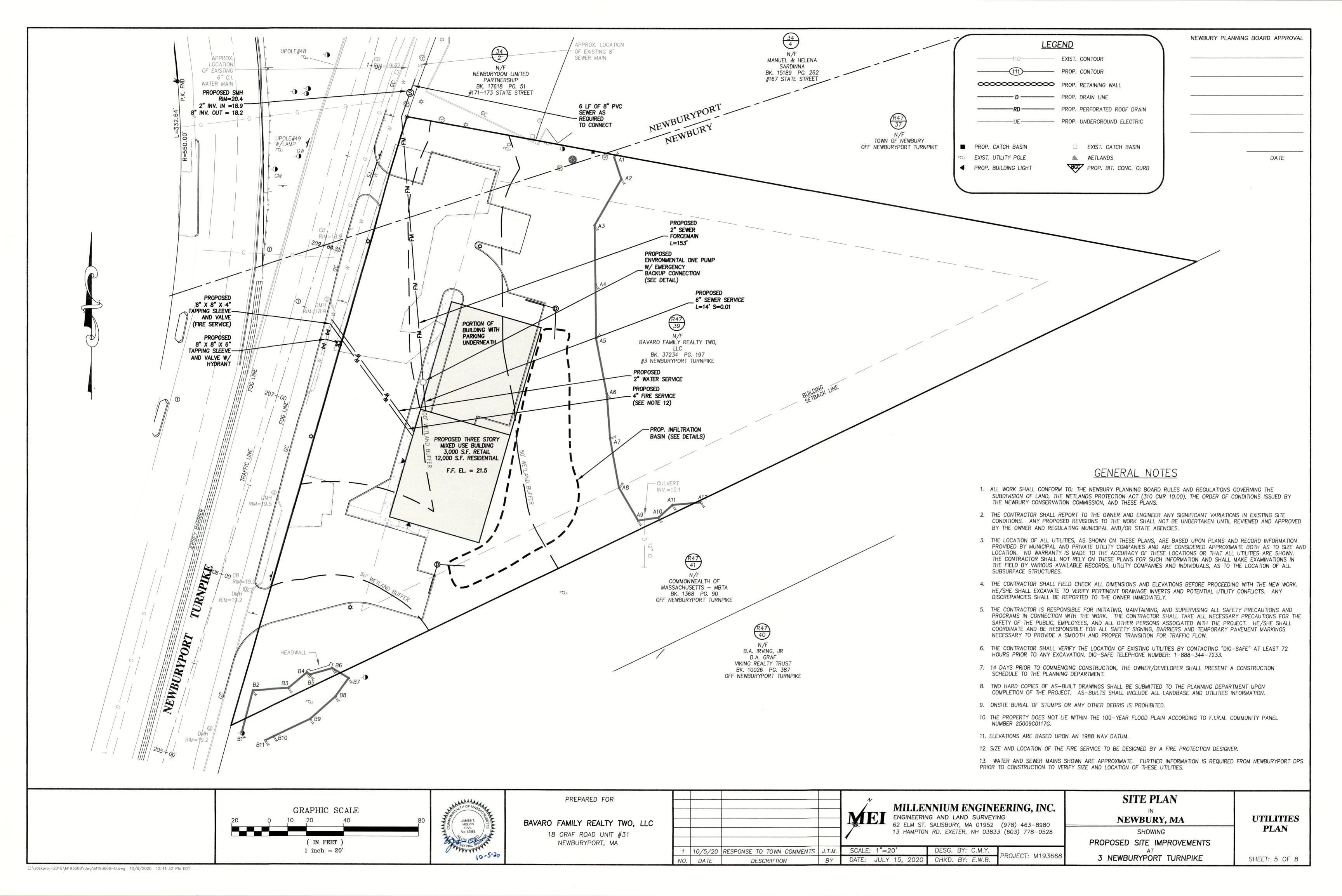
CHKD. BY: E.W.B.

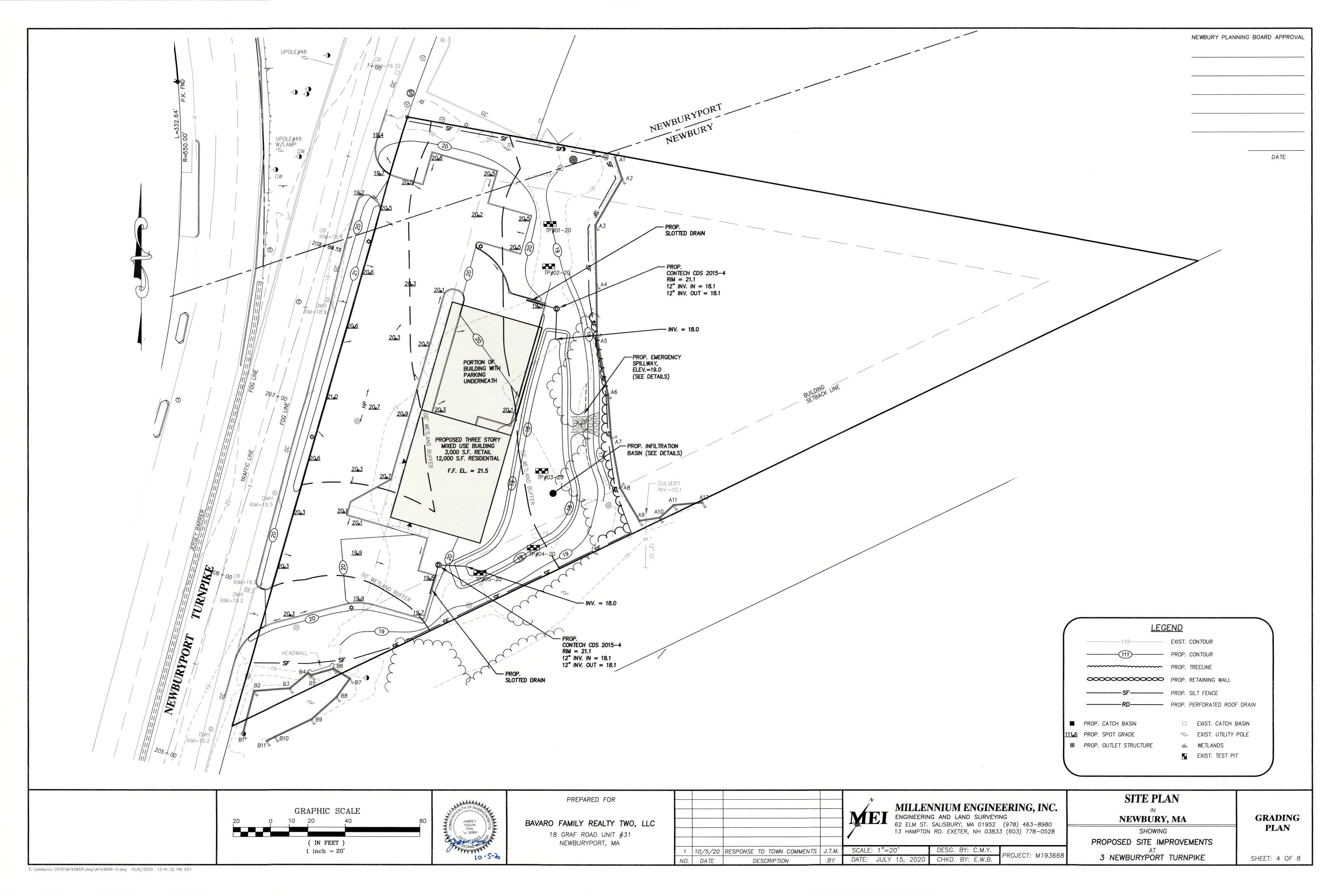
PROJECT: M193668

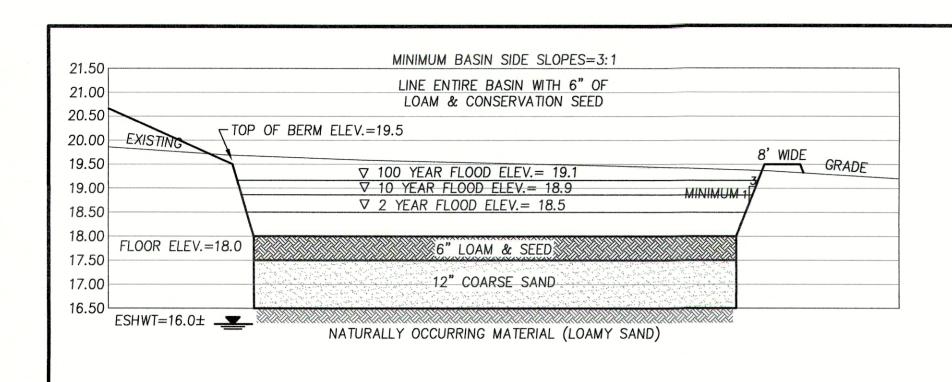
SITE PLAN NEWBURY, MA **COVER** SHEET SHOWING PROPOSED SITE IMPROVEMENTS 3 NEWBURYPORT TURNPIKE SHEET: 1 OF 8











INFILTRATION BASIN

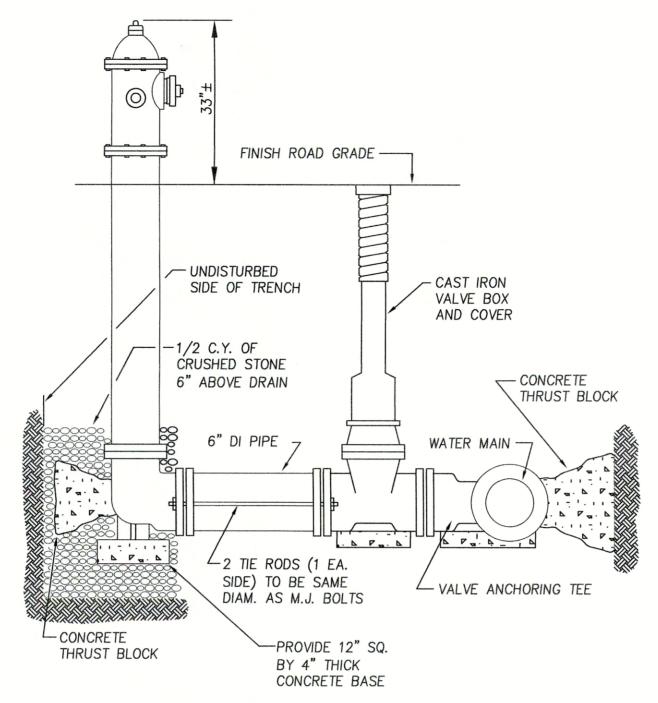
TYP. CROSS-SECTION

HORIZ. SCALE: N.T.S. VERT. SCALE: 1"=2

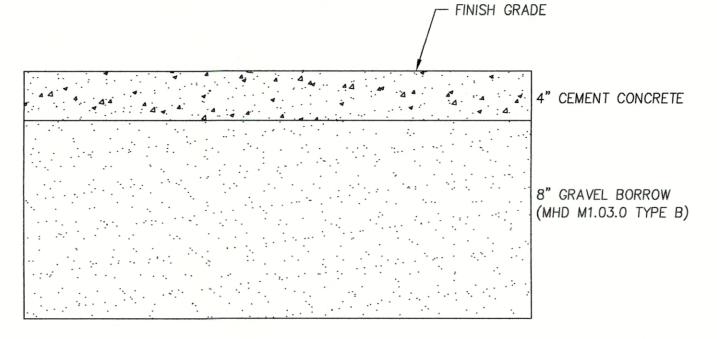
CONSTRUCTION SPECIFICATIONS

- 1. BERMS SHALL BE CONSTRUCTED OF FILL MATERIAL FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6". OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE BERM SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC. SC. CH. OR CL AND HAVE AT LEAST 30% PASSING THE #200 SIEVE. MATERIALS USED IN THE OUTER SHELL OF THE BERMS SHALL BE CAPABLE OF SUPPORTING THE VEGETATION SPECIFIED ON THE PLANS.
- 2. FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED WITH A MINIMUM REQUIRED DENSITY OF NOT LESS THAN 95% OF MAXIMUM DRY DENSITY.
- 3. PRIOR TO FILL MATERIAL INSTALLATION, ALL TOPSOIL, SUBSOIL, AND UNSUITABLE
- MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL 4. AFTER THE INFILTRATION BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE
- FLOOR SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG. 5. EROSION CONTROL MATTING SHALL BE INSTALLED ON ALL OUTSIDE SLOPES OF STORMWATER BASINS. MATTING SHALL BE A WOVEN JUTE MESH MANUFACTURED BY
- MACCAFERRI COMPANY, OR APPROVED EQUAL. 6. THE INFILTRATION BASIN BOTTOM SHALL BE CONSTRUCTED OF 6" LOAM & CONSERVATION

SEED OVER A 12" LAYER OF COARSE SAND.

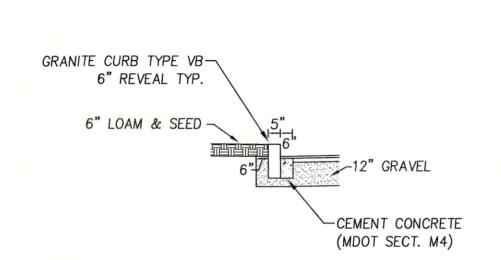


TYPICAL FIRE HYDRANT INSTALLATION N.T.S.



CONCRETE SIDEWALK

DETAIL N.T.S.



TYPICAL GRANITE CURBING INSTALLATION DETAIL

N.T.S.

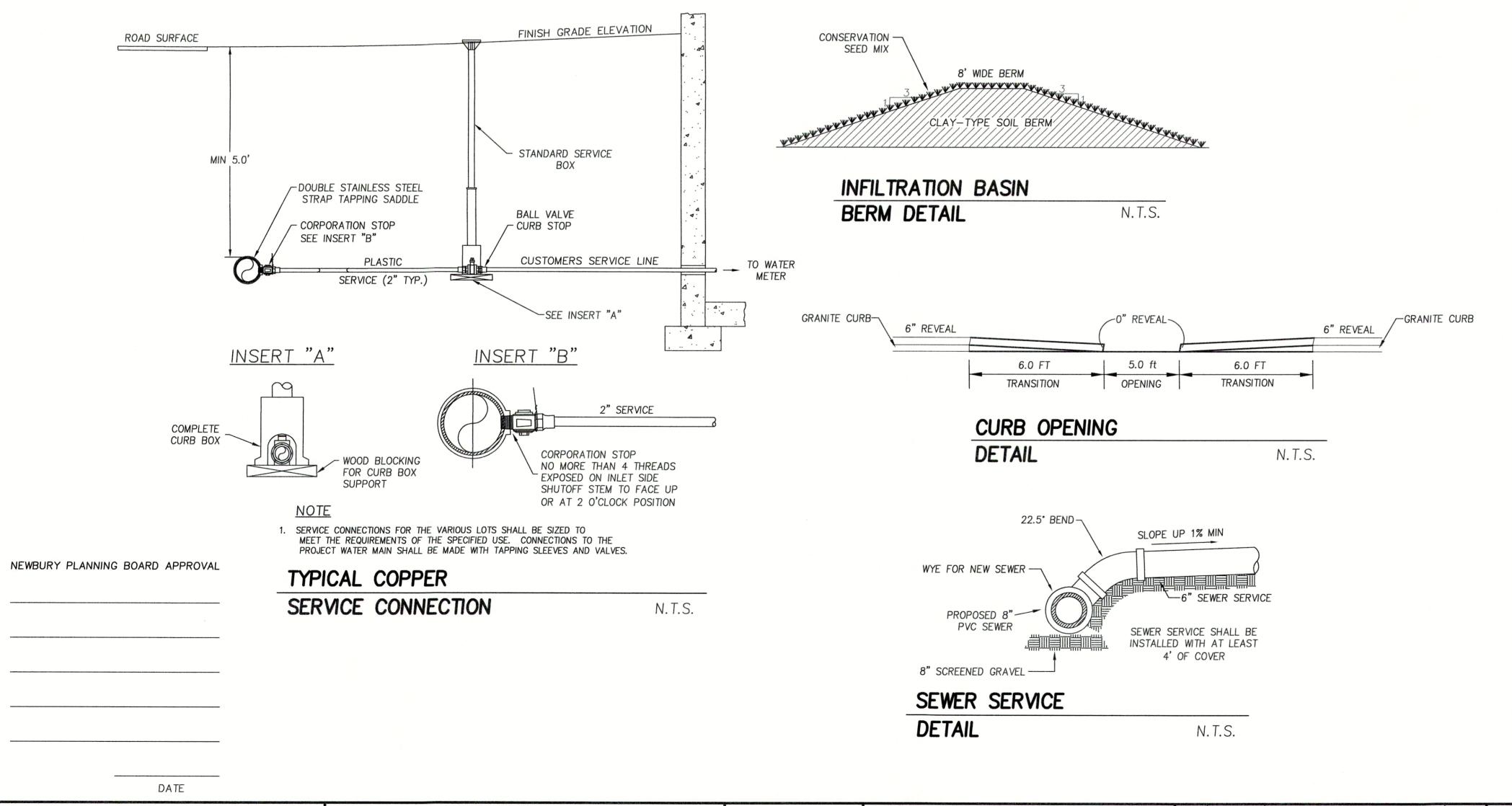
- FINISH GRADE ' TYPE I-1 TOP COURSE 2" TYPE I-1 BINDER COURSE 12" GRAVEL BORROW (MHD M1.03.0 TYPE B)

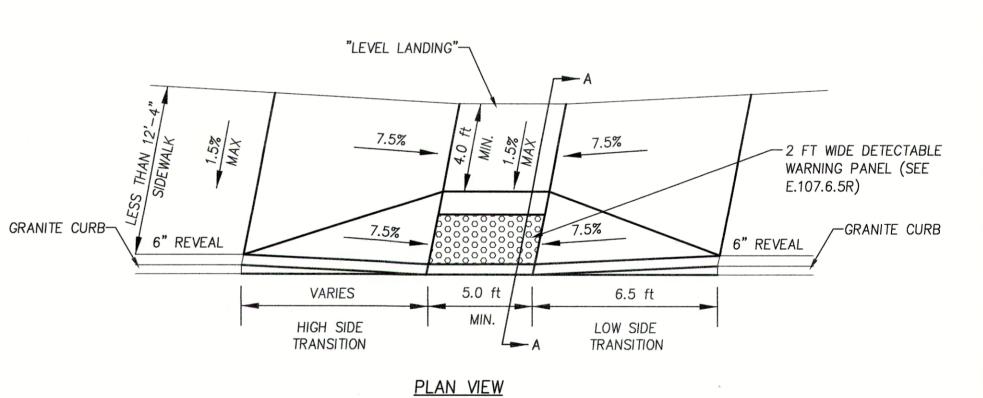
PAVEMENT

DETAIL N.T.S.

PAVEMENT NOTES

- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- 2.) PAVEMENT SHALL NOT BE CONSTRUCTED DURING FREEZING
- WEATHER OR ON WET OR FROZEN SUBGRADE. 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- 4.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- 5.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE TRACK WILL EFFECTIVELY BE DRAINED.
- 6.) THE CONTRACTOR SHALL REFER TO THE NEWBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, ARTICLES I - VIII.





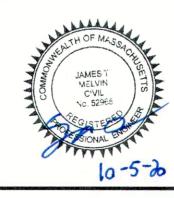
4'-0" MIN. LANDING 1.5% 7.5% 4" CEM. CONC ROADWAY 8" FOUNDATION

SECTION A-A

NOTES:

- 1.) RAMP CROSS SECTION TO BE SAME AS SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
- 2.) BASE OF RAMP SHALL MEET PAVEMENT GUTTER SUCH THAT THERE IS NO DIFFERENCE IN ELEVATION. RAMP SHALL BE CONSTRUCTED SUCH THAT WATER DOES NOT "PUDDLE" AT THE BASE OF THE RAMP
- 3.) THE PAVEMENT AT THE BASE OF THE RAMP SHALL BE PART OF THE CONTINUOUS TOP COURSE. THE USE OF A "PAVEMENT PATCH" TO COMPLY WITH THE CONDITIONS IN NOTE 2, ABOVE IS PROHIBITED.
- 4.) RAMPS SHALL CONFORM TO MASS DOT WHEELCHAIR RAMP STANDARDS LATEST REVISIONS.

CEMENT CONCRETE WHEELCHAIR RAMP DETAIL N.T.S.



BAVARO FAMILY REALTY TWO, LLC

PREPARED FOR

18 GRAF ROAD UNIT #31 NEWBURYPORT, MA

							ME
1	10/5/20	RESPONSE	TO	TOWN	COMMENTS	J.T.M.	SCALE: 1"

DESCRIPTION

NO. DATE

BY DATE: JULY 15, 2020

MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

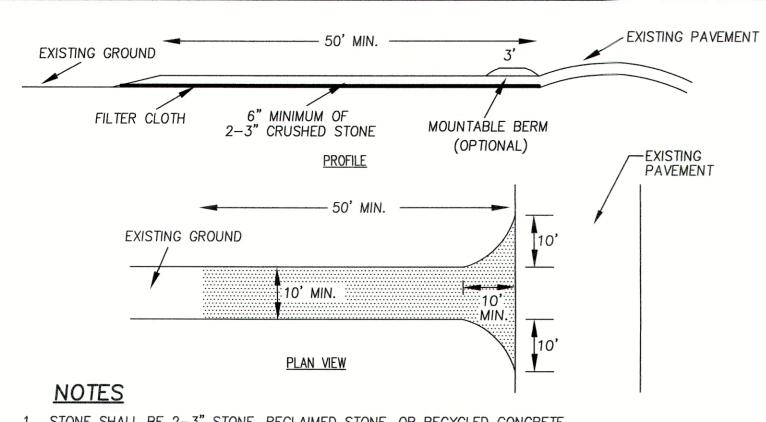
CHKD. BY: E.W.B.

ROJECT: M193668

SITE PLAN **NEWBURY, MA** SHOWING PROPOSED SITE IMPROVEMENTS

CONSTRUCTION **DETAILS**

3 NEWBURYPORT TURNPIKE SHEET: 6 OF 8



- 1. STONE SHALL BE 2-3" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- 2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'. 3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE
- 4. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. 5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION
- ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.

6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR

DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED

FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-

STABILIZED CONSTRUCTION

WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

ENTRANCE

N.T.S.

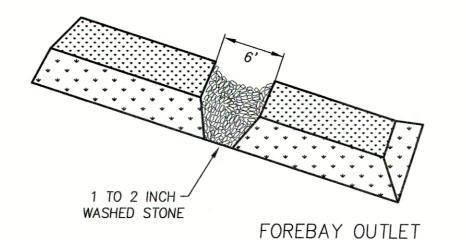
GENERAL EROSION

CONTROL NOTES

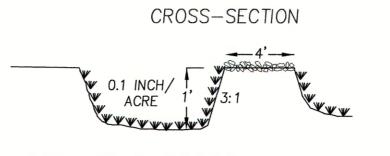
- 1. ALL SILT FENCE SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. SILT FENCE SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
- 2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES. LEDGE ENCOUNTERED ONSITE CAN BE GROUND UP TO A MAXIMUM 3" SIZE AND USED FOR FILL.
- ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED. 4. EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF
- RAINFALL AND PROMPTLY REPAIRED OR REPLACED AS NECESSARY. 5. ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED
- OF ON A REGULAR BASIS 6. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR
- 7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
- 8. TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE
- REQUIRED BY THE NEWBURY PLANNING BOARD AND CONSERVATION COMMISSION
- 9. ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
- 10. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED: A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED: A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 11. THE CONTRACTOR SHALL IDENTIFY TO THE TOWN HIS/HER TOPSOIL STOCKPILING OPERATIONS AND LOCATIONS.
- 12. PROVIDE SILTSACK (OR APPROVED EQUAL) SEDIMENT FILTER AT ALL CATCH BASINS.
- 13. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES. 14. SEED MIX SHALL BE NO LESS THAN 4 LBS./1000 S.F. OF LAND AREA. SEED SHALL CONSIST OF A MAXIMUM OF 10% RYE GRASS AND A MINIMUM OF 90% PERMANENT BLUEGRASS AND/OR FESCUE. LIME SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
- 15. NO MORE THAN 6 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE
- STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. 16. WHERE PLACEMENT OF FILL IS REQUIRED FOR THE CONSTRUCTED WETLAND, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND.

CONSTRUCTION SEQUENCE

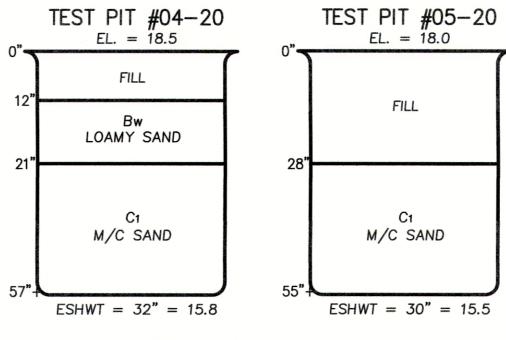
- INSTALL SILT FENCE AT LIMIT OF WORK & STAKE OUT INFILTRATION BASIN.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED.
- CLEAR AND GRUB DEBRIS TO PHASE LINE AND DISPOSE OF PROPERLY. 4. STRIP, SCREEN AND STOCKPILE TOPSOIL. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON SITE PROVIDING THAT THE PERIMETER OF THE STOCKPILES ARE PROPERLY STAKED WITH SILT FENCE AT THE TOE OF SLOPE.
- ROUGH GRADE INFILTRATION BASIN.
- 6. GRADE PAVEMENT TO TOP OF SUBGRADE ELEVATIONS. ALL ROADWAYS MUST BE
- STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN BUILDING CONSTRUCTION. 8. INSTALL UTILITIES/DRAINAGE STRUCTURES.
- 9. PLACE RIPRAP WHERE SHOWN ON PLANS. LOAM AND HYDROSEED SIDESLOPES AND ALL
- DISTURBED AREAS WITHIN 72 HOURS. 10. SPREAD, SHAPE, AND COMPACT PAVEMENT SUBBASE AS PER TYPICAL PAVEMENT SECTION
- TO ATTAIN FINAL DESIGN ELEVATIONS. 11. PERFORM BINDER COURSE PAVING.
- 12. LOAM AND HYDROSEED ANY DISTURBED SURFACES ALONG EDGES OF PAVEMENT AS
- 13. PERFORM FINAL PAVING (TOP COURSE).
- 14. REMOVE EROSION CONTRÒL.



VOLUME OF SEDIMENT FOREBAY DRAINAGE AREA VOLUME VOLUME OUTLET DIMENSIONS (ACRES) (CU. YD) LENGTH FOREBAY #1 0.24 10'x10'x1.0' FOREBAY #2 2.0 0.15 8'x8'x1.0' 6.0'



SEDIMENT FOREBAY DETAIL N.T.S.



TEST PIT #02-20

EL. = 18.5

FILL

LOAMY SAND

MEDIUM SAND

ESHWT = 30" = 16.0

TEST PIT #01-20

EL. = 18.5

FILL

LOAMY SAND

C1

M/C SAND

ESHWT = 30" = 16.0

TEST PIT #03-20 EL. = 18.0FILL **OPENING** Bw LOAMY SAND REMOVAL FROM INLET (REBAR NOT INCLUDED) OPTIONAL OVERFLOW MEDIUM SAND SILTSACK DUMP LOOPS (REBAR NOT INCLUDED) DATE ESHWT = 28" = 15.7SIDE VIEW INSTALLED

NOTES

- 1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS, REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED. 3. TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS
- ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK. 4. TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM

THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL

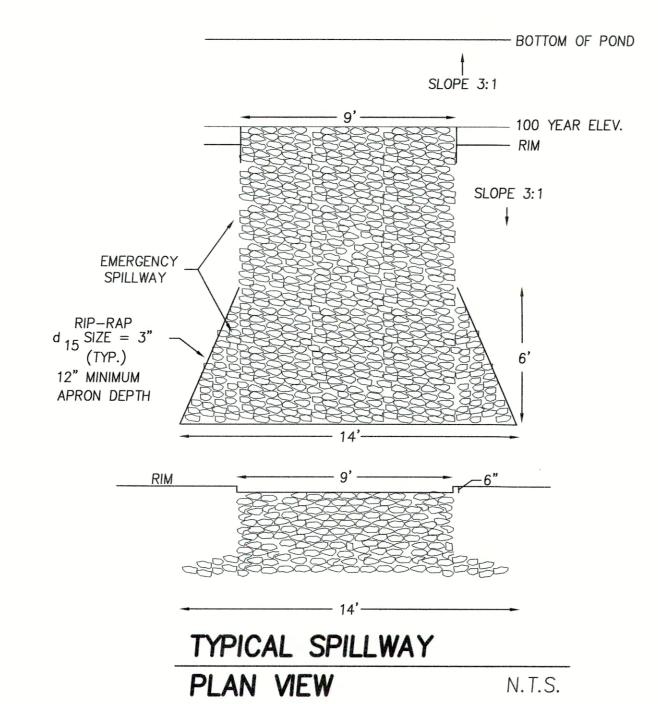
SHAPE AND PLACE BACK IN THE BASIN. 5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

SILT SACK

DETAIL

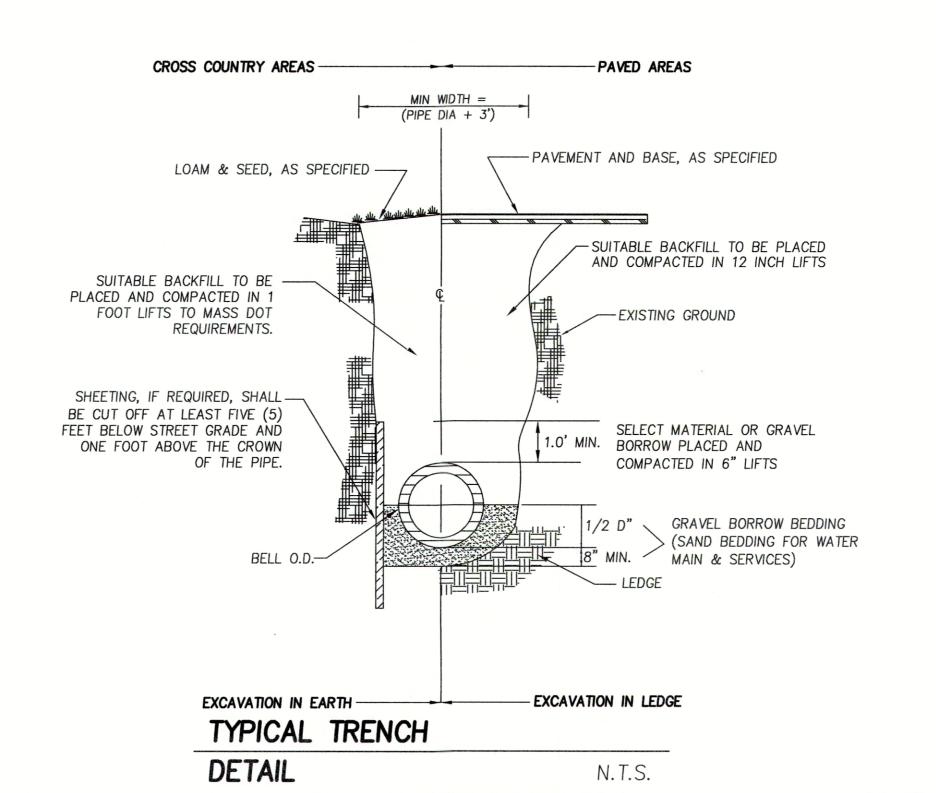
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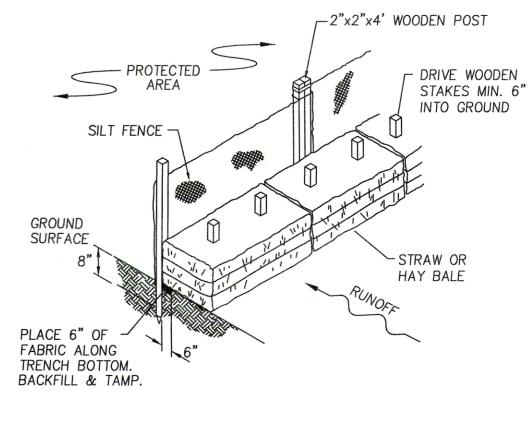
INSTALLATION DETAIL



GUTTER OVERFLOW -(INVERTED WYE) PARKING LO FLOOR SLAB -(TO DRAINAGE SYSTEM)

GUTTER DOWN SPOUT DETAIL N.T.S.





NOTES

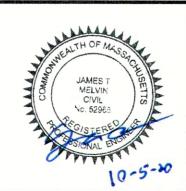
- 1. POSTS SHALL BE DOUBLED AND COUPLED AT FILTER CLOTH SEAMS.
- 2. FILTER CLOTH TO BE FASTENED SECURELY TO SUPPORT NETTING WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
- 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.

MAINTENANCE

ROJECT: M193668

- 1. SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 2. IF THE FABRIC ON THE SILT FENCE SHALL DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 3. SEDIMENT DEPOSITS SHALL BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- 4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE/ HAYBALE INSTALLATION N.T.S.



BAVARO FAMILY REALTY TWO, LLC 18 GRAF ROAD UNIT #31

PREPARED FOR

NEWBURYPORT, MA

10/5/20 RESPONSE TO TOWN COMMENTS J.T.M. SCALE: 1"=20' DESG. BY: C.M.Y. NO. DATE DATE: JULY 15, 2020 CHKD. BY: E.W.B. DESCRIPTION

MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

PLAN OF LAND **NEWBURY, MA**

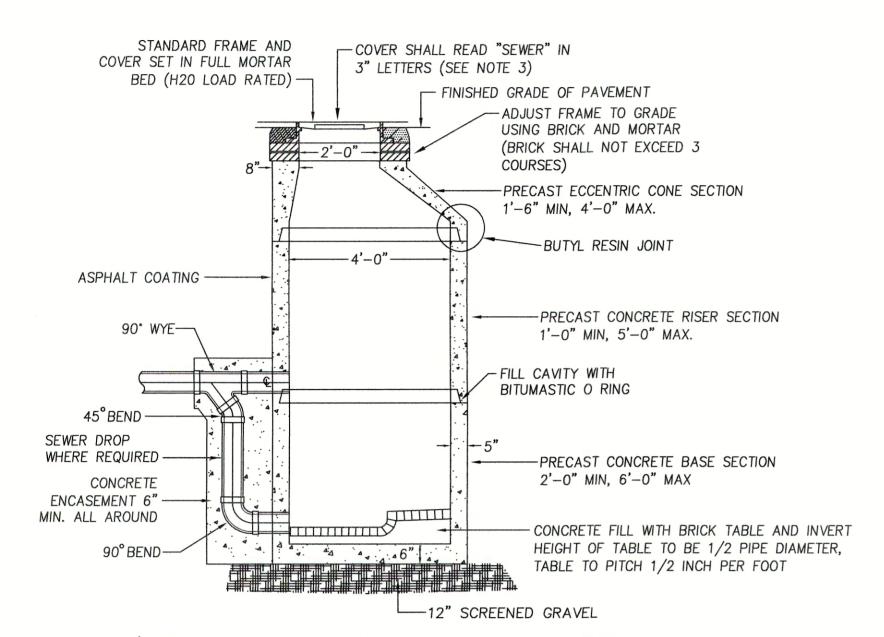
CONSTRUCTION **DETAILS**

NEWBURY PLANNING BOARD APPROVAL

SHOWING PROPOSED SITE IMPROVEMENTS 3 NEWBURYPORT TURNPIKE

SHEET: 7 OF 8

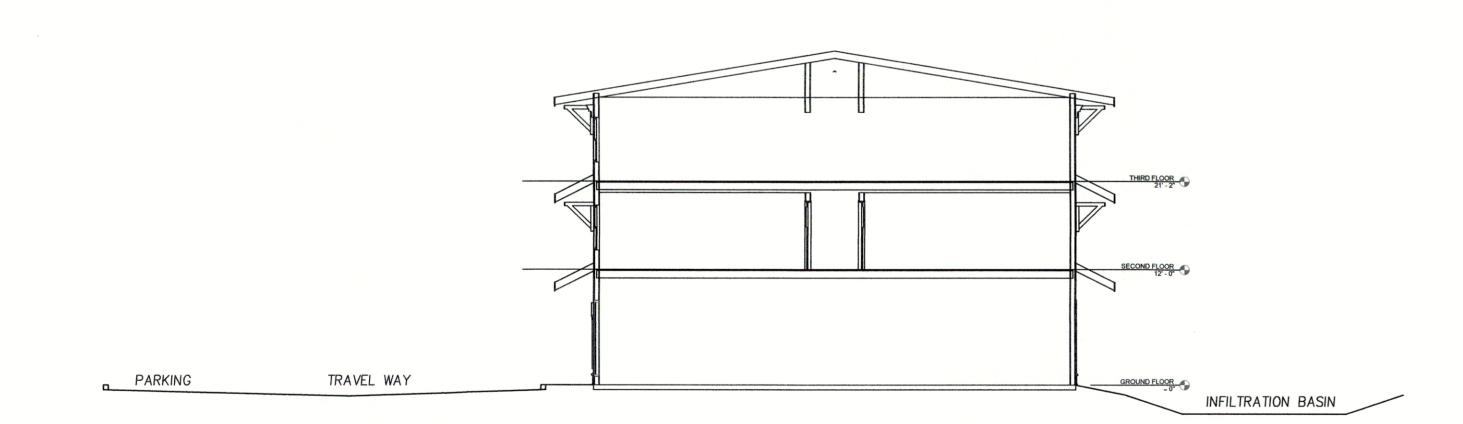
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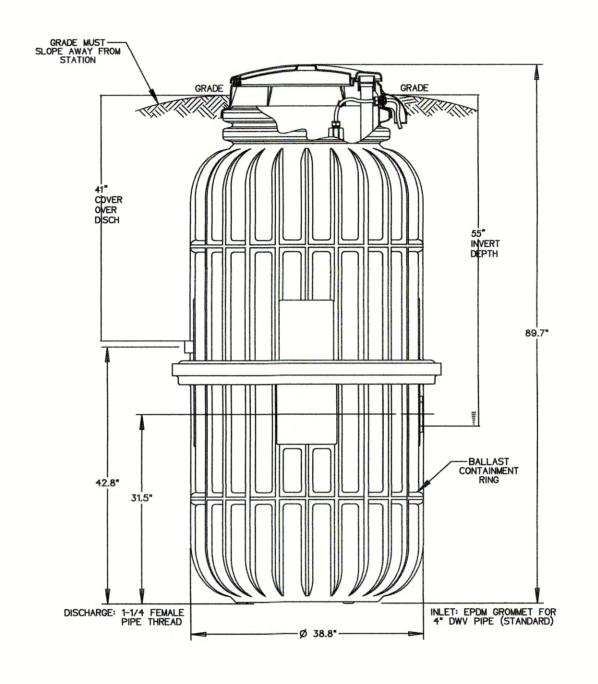
NOTES: 1) SEWER MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185 COVER SHALL BE LEBARON FOUNDRY (MODEL NO. LA246), MECHANICS IRON FOUNDRY, NEEHAN FOUNDRY, OR EQUAL.

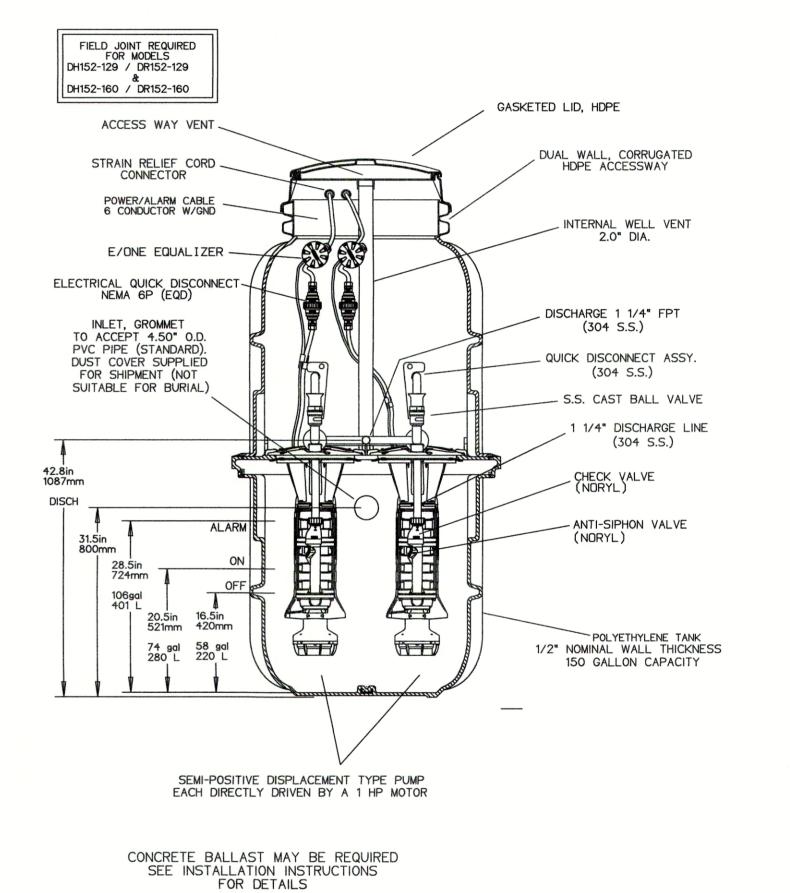
> PRECAST SEWER MANHOLE DETAIL

N.T.S.



BUILDING CROSS-SECTION 1"=10'





NEWBURY PLANNING BOARD APPROVAL

DATE

E-ONE SEWER PUMP MODEL DH152 DETAIL

NOTE: DIMENSIONS ARE FOR REF ONLY

PREPARED FOR

BAVARO FAMILY REALTY TWO, LLC

18 GRAF ROAD UNIT #31 NEWBURYPORT, MA

				MILLE ENGINEERIN 62 ELM ST. 13 HAMPTON
1	10/5/20	RESPONSE TO TOWN COMMENTS	J.T.M.	SCALE: 1"=20'
NO.	DATE	DESCRIPTION	BY	DATE: JULY 15, 2020

CHKD. BY: E.W.B.

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

PROJECT: M193668

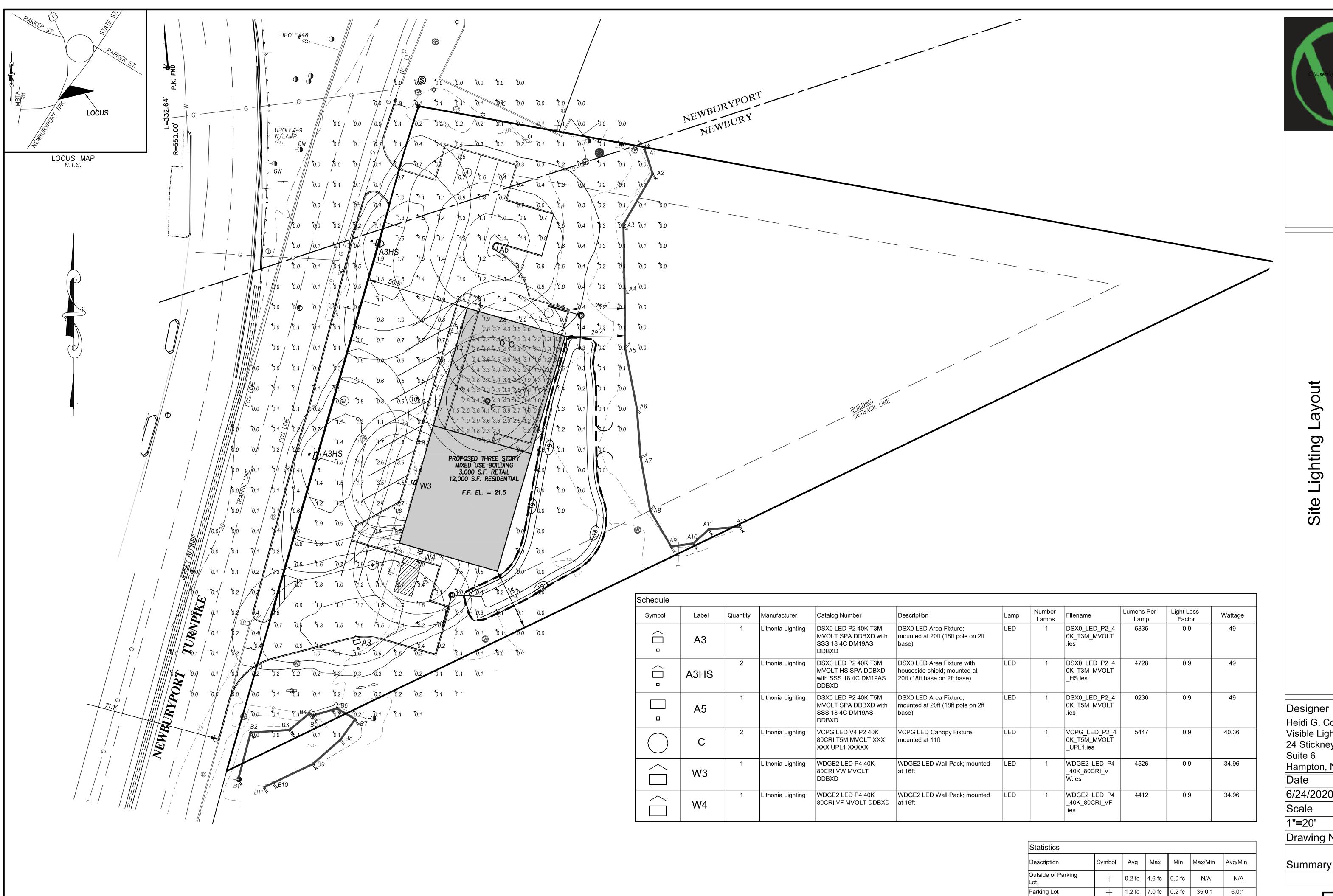
SITE PLAN **NEWBURY, MA** SHOWING PROPOSED SITE IMPROVEMENTS

3 NEWBURYPORT TURNPIKE

CONSTRUCTION **DETAILS**

SHEET: 8 OF 8

E:\sdskproj-2019\M193668\dwg\M193668-D.dwg 10/6/2020 2:07:57 PM EDT





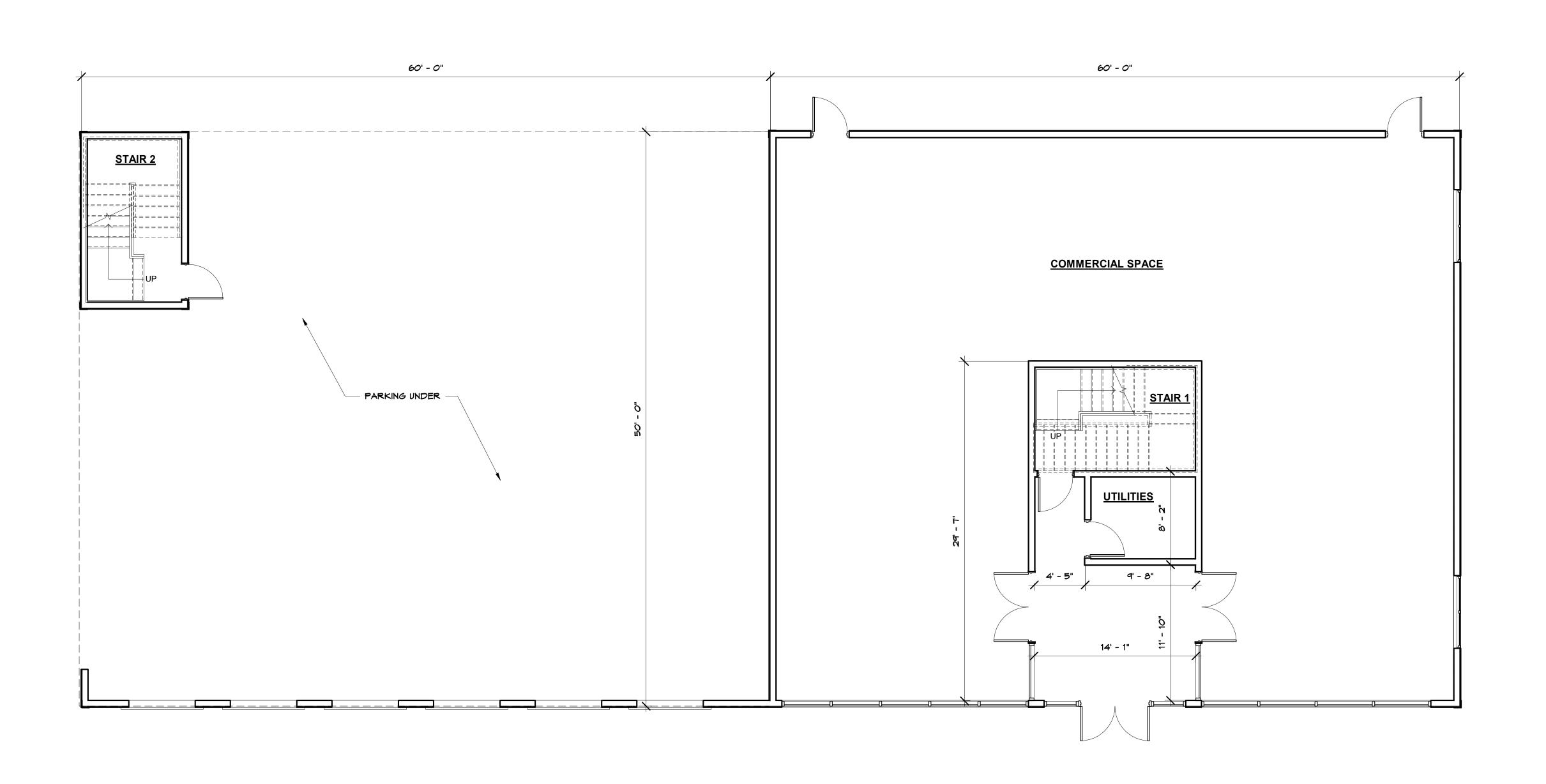
Site

Designer Heidi G. Connors Visible Light, Inc. 24 Stickney Terrace Suite 6 Hampton, NH 03842 Date 6/24/2020 Scale 1"=20' Drawing No.

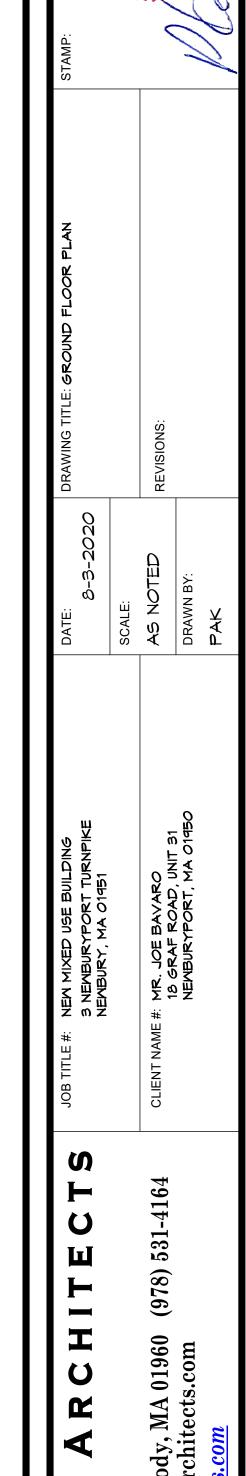
E-1

+ 2.7 fc 4.6 fc 0.5 fc 9.2:1 5.4:1

Under Canopy

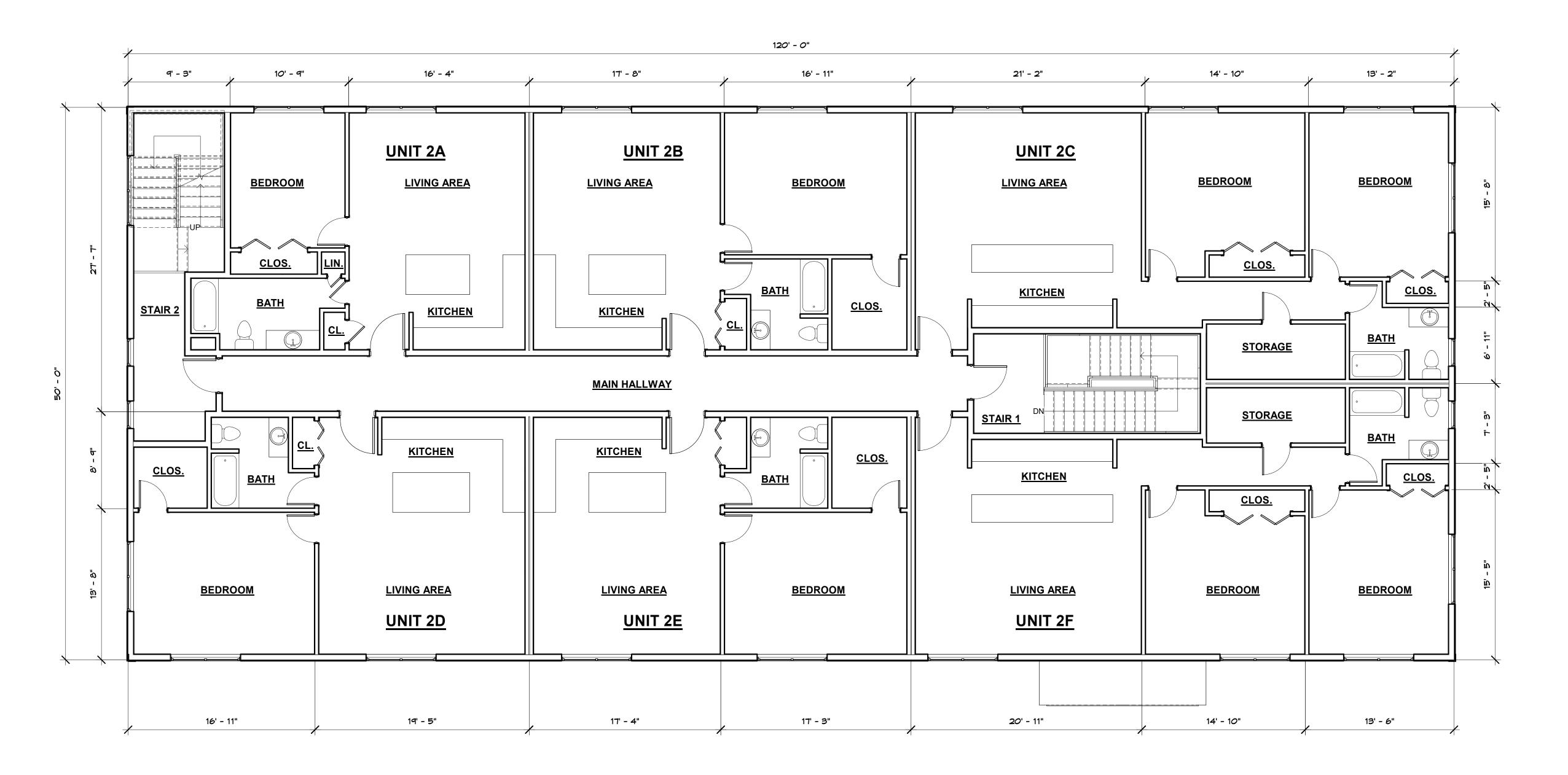


1 GROUND FLOOR PLAN 3/16" = 1'-0"

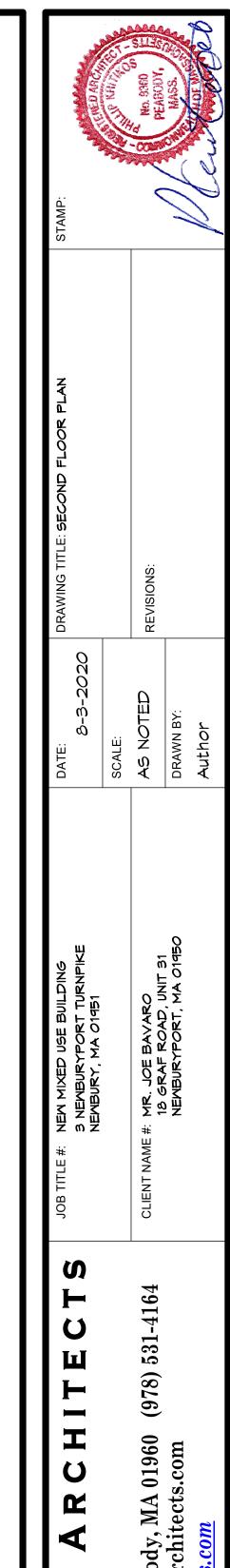


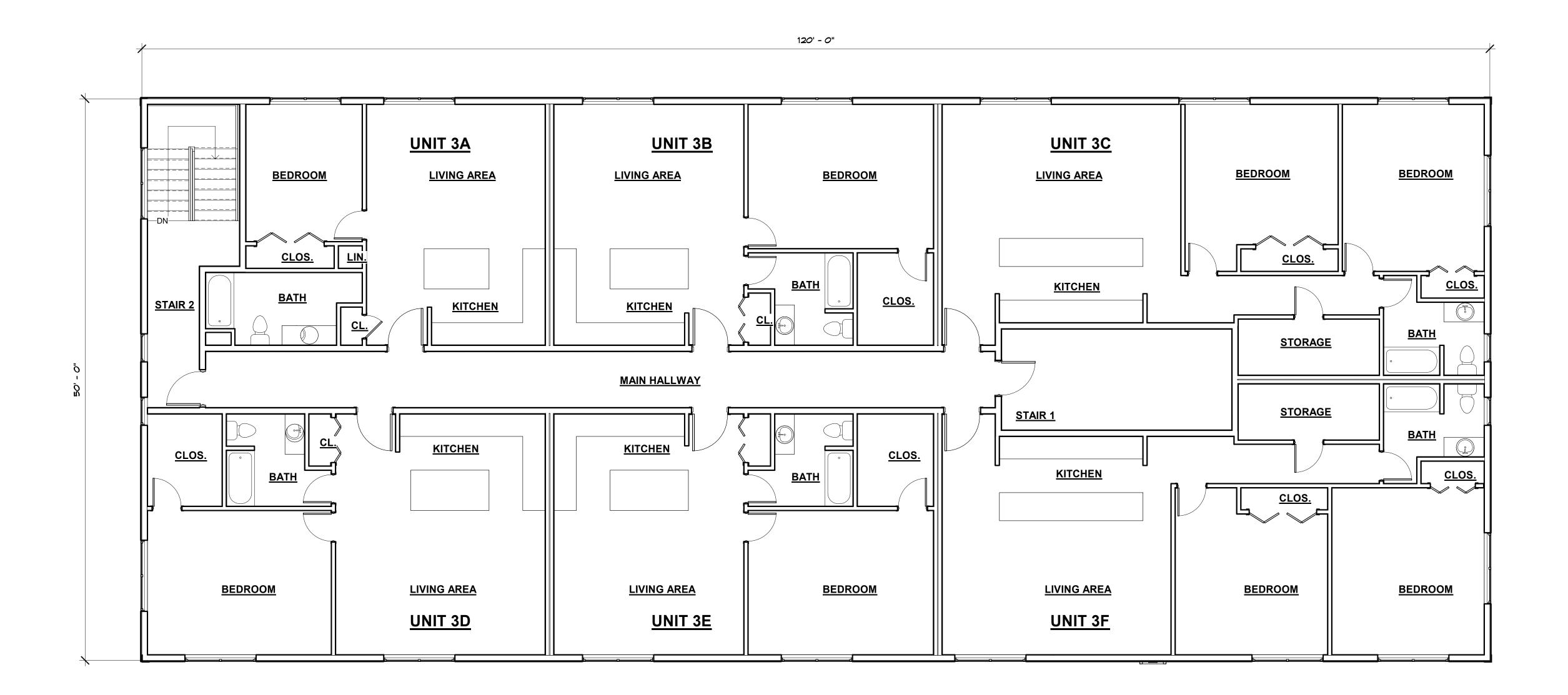
Architecture Flanning Interior Design

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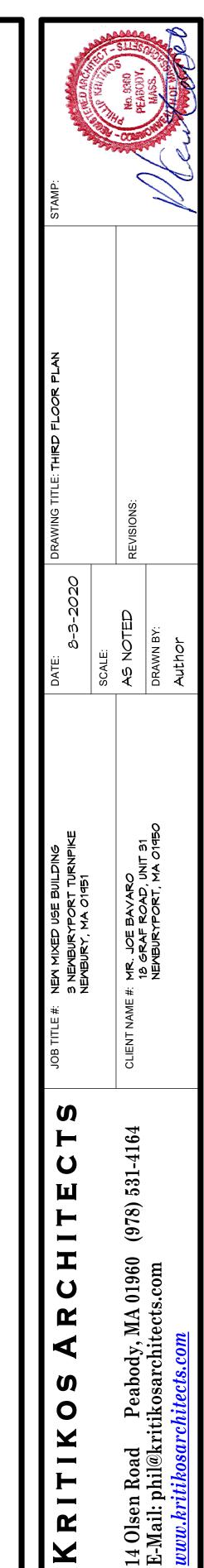


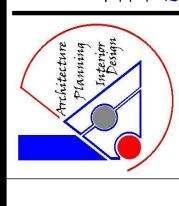
1 SECOND FLOOR PLAN 3/16" = 1'-0"



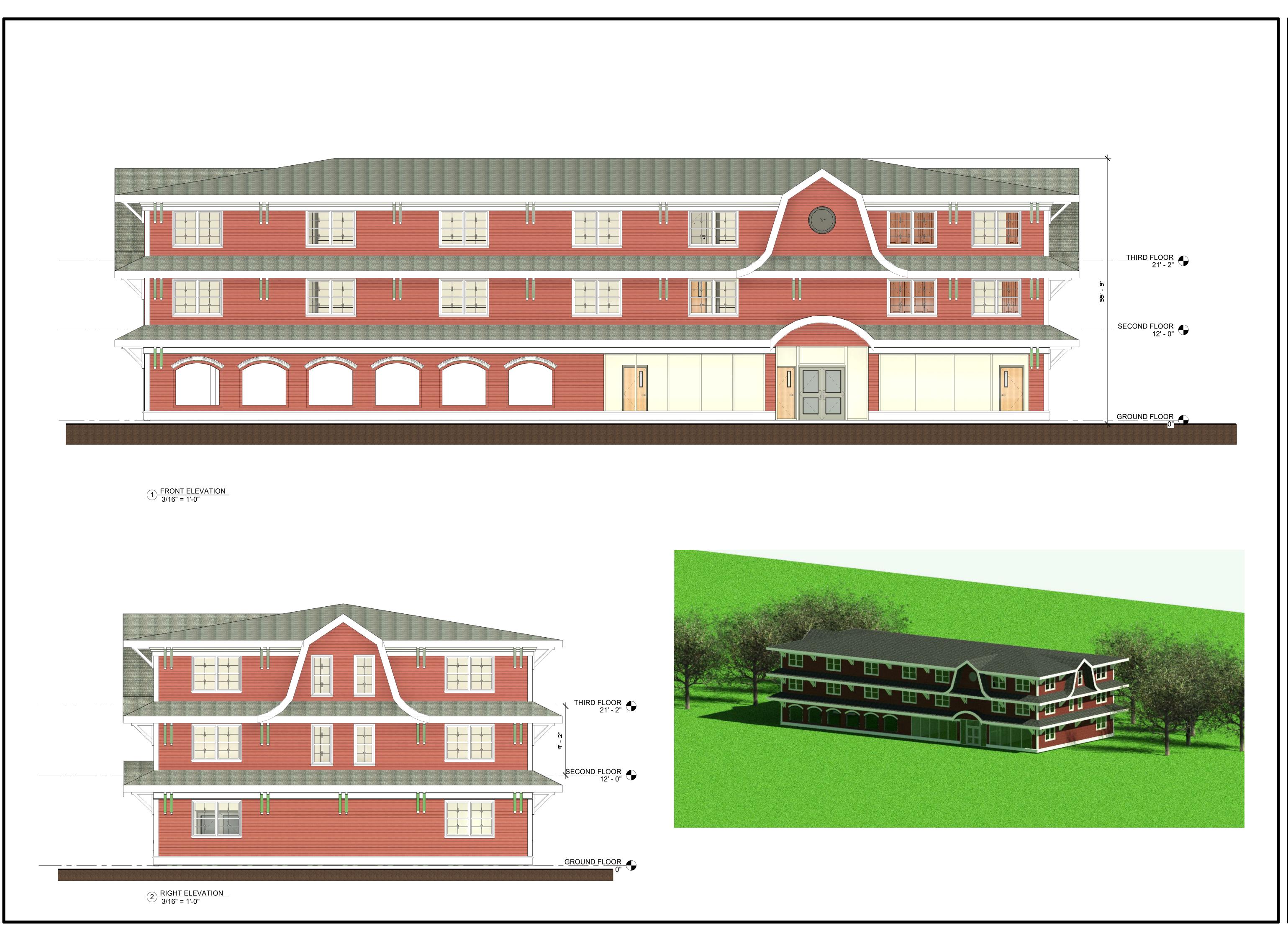


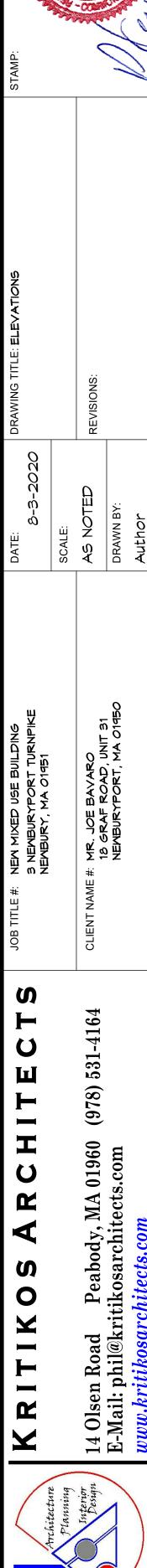
1 THIRD FLOOR PLAN
3/16" = 1'-0"

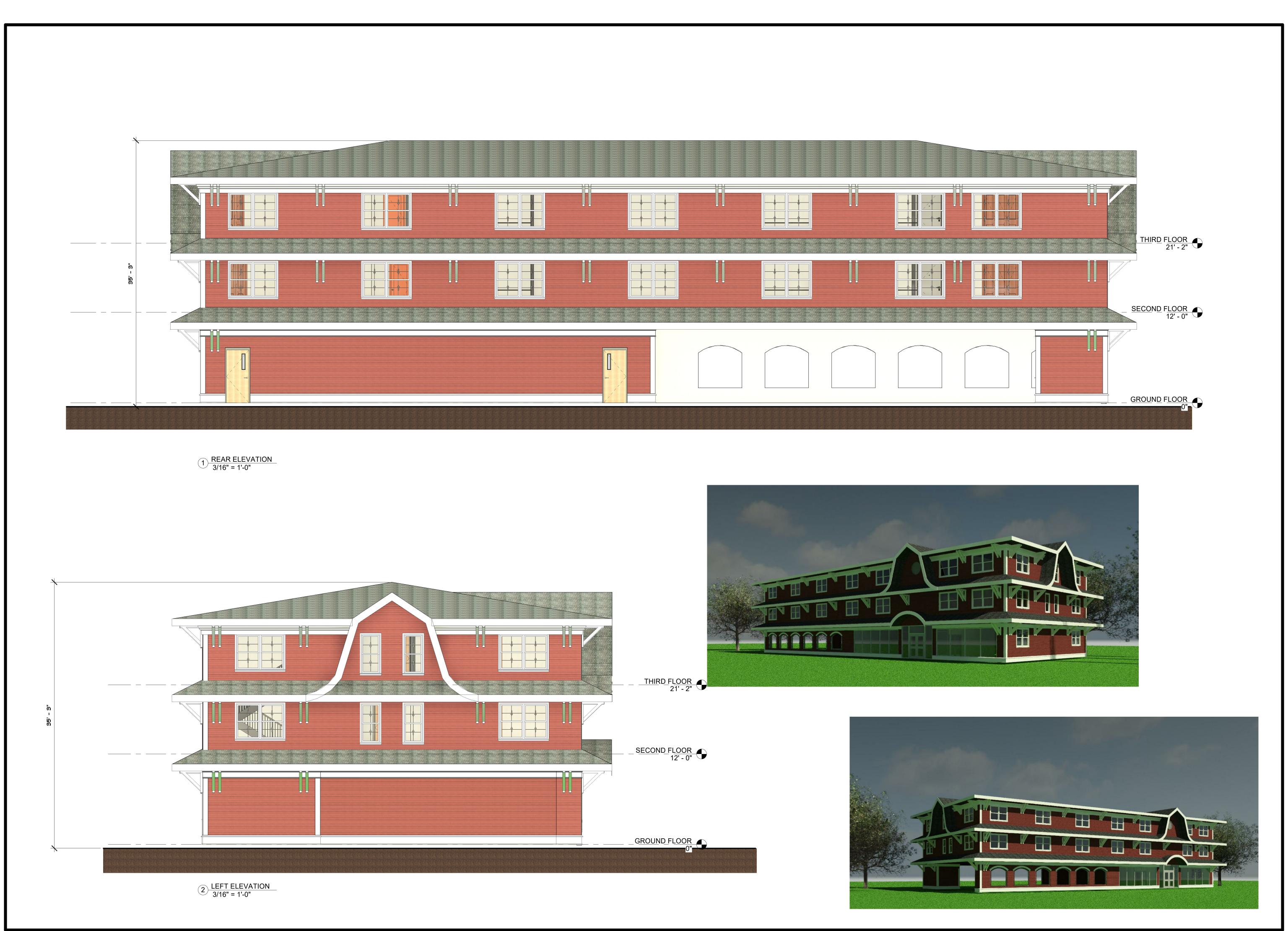


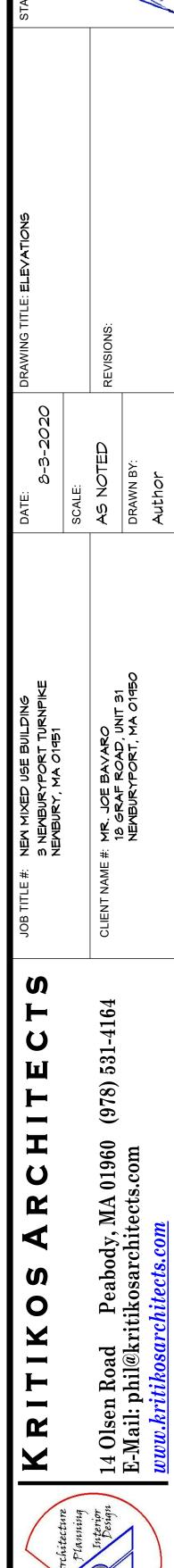


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