

LOCUS MAP
1"=2,000'



PROJECT LOCATION

3 NEWBURYPORT TURNPIKE – NEWBURY
MAP R47, LOT 0-38
MAP R47, LOT 0-39
177 STATE STREET – NEWBURYPORT
MAP 34, LOT 1

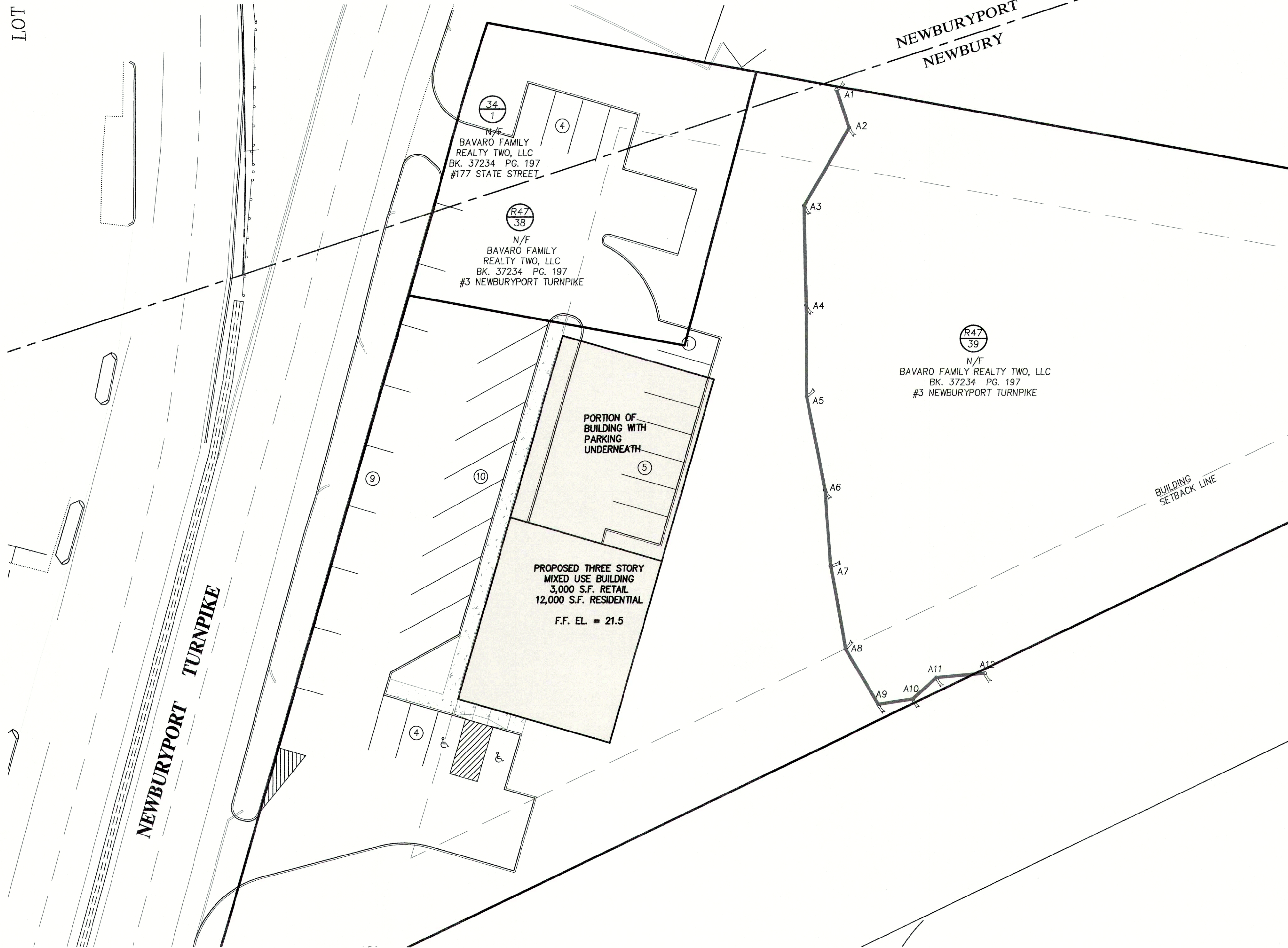
OWNER OF RECORD

BAVARO FAMILY REALTY TRUST, LLC
BK. 37234 PG. 197
#3 NEWBURYPORT TURNPIKE

PROPOSED SITE PLAN FOR 3 NEWBURYPORT TURNPIKE IN NEWBURY, MA

JULY 15, 2020

LOT



NEWBURY PLANNING BOARD APPROVAL

DATE

ZONING TABLE

3 NEWBURYPORT TURNPIKE – ASSESSORS MAP R47 LOTS 38 AND 39 ZONING DISTRICT BL1			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	40,000 S.F.	72,774 S.F.	72,774 S.F.
LOT FRONTAGE:	200 FT.	277.05 FT.	277.05 FT.
FRONT SETBACK:	50 FT.	**	50.5 FT.
SIDE SETBACK:	25 FT.	**	30.7 FT.
REAR SETBACK:	25 FT.	**	NA
LOT COVERAGE:	50% (MAX)	**	29.8%
OPEN SPACE:	**	**	**
BLDG HEIGHT:	35 FT.	**	35 FT

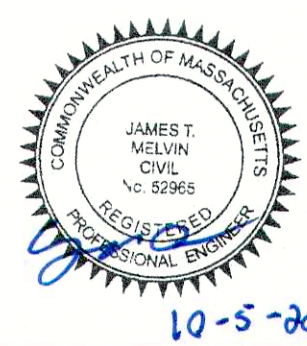
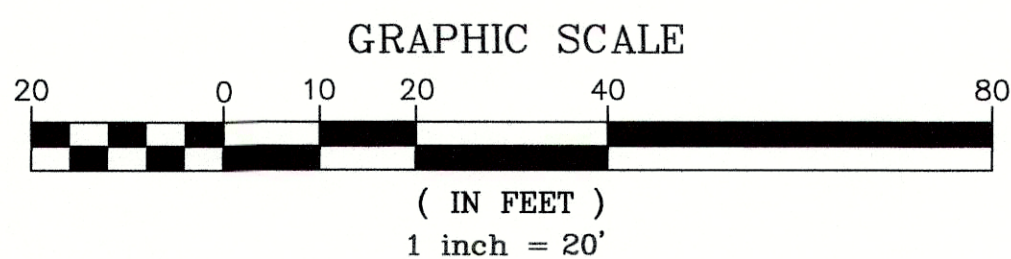
1. THIS SITE IS LOCATED WITHIN THE WATER SUPPLY PROTECTION OVERLAY DISTRICT

ZONING TABLE

177 STATE STREET – ASSESSORS MAP 34 LOT 1 BUSINESS DISTRICT			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	20,000 S.F.	3,397 S.F.	3,397 S.F.
LOT FRONTAGE:	90 FT.	62.66 FT.	62.66 FT.
FRONT SETBACK:	20 FT.	**	**
SIDE SETBACK:	20 FT.	**	**
REAR SETBACK:	20 FT.	**	**
LOT COVERAGE:	30% (MAX)	**	**
OPEN SPACE:	**	**	**
BLDG HEIGHT:	35 FT.	**	**

PLAN INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	SITE PLAN
4	GRADING PLAN
5	UTILITIES PLAN
6-8	CONSTRUCTION DETAILS
E-1	LIGHTING PLAN
L-1	LANDSCAPE PLAN



PREPARED FOR
BAVARO FAMILY REALTY TWO, LLC
18 GRAF ROAD UNIT #31
NEWBURYPORT, MA

NO.	DATE	DESCRIPTION	BY
1	10/5/20	RESPONSE TO TOWN COMMENTS	J.T.M.



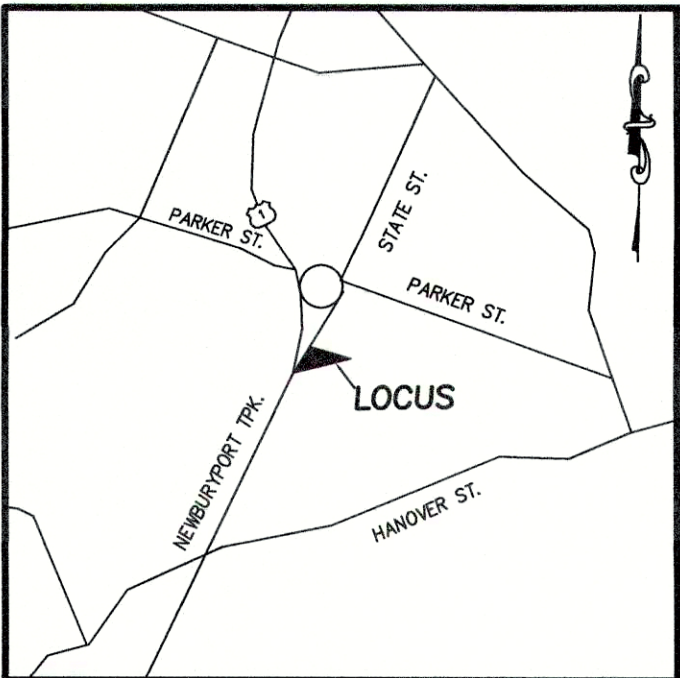
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'	DESG. BY: C.M.Y.	PROJECT: M193668
DATE: JULY 15, 2020	CHKD. BY: E.W.B.	

SITE PLAN
IN
NEWBURY, MA
SHOWING
PROPOSED SITE IMPROVEMENTS
AT
3 NEWBURYPORT TURNPIKE

COVER SHEET

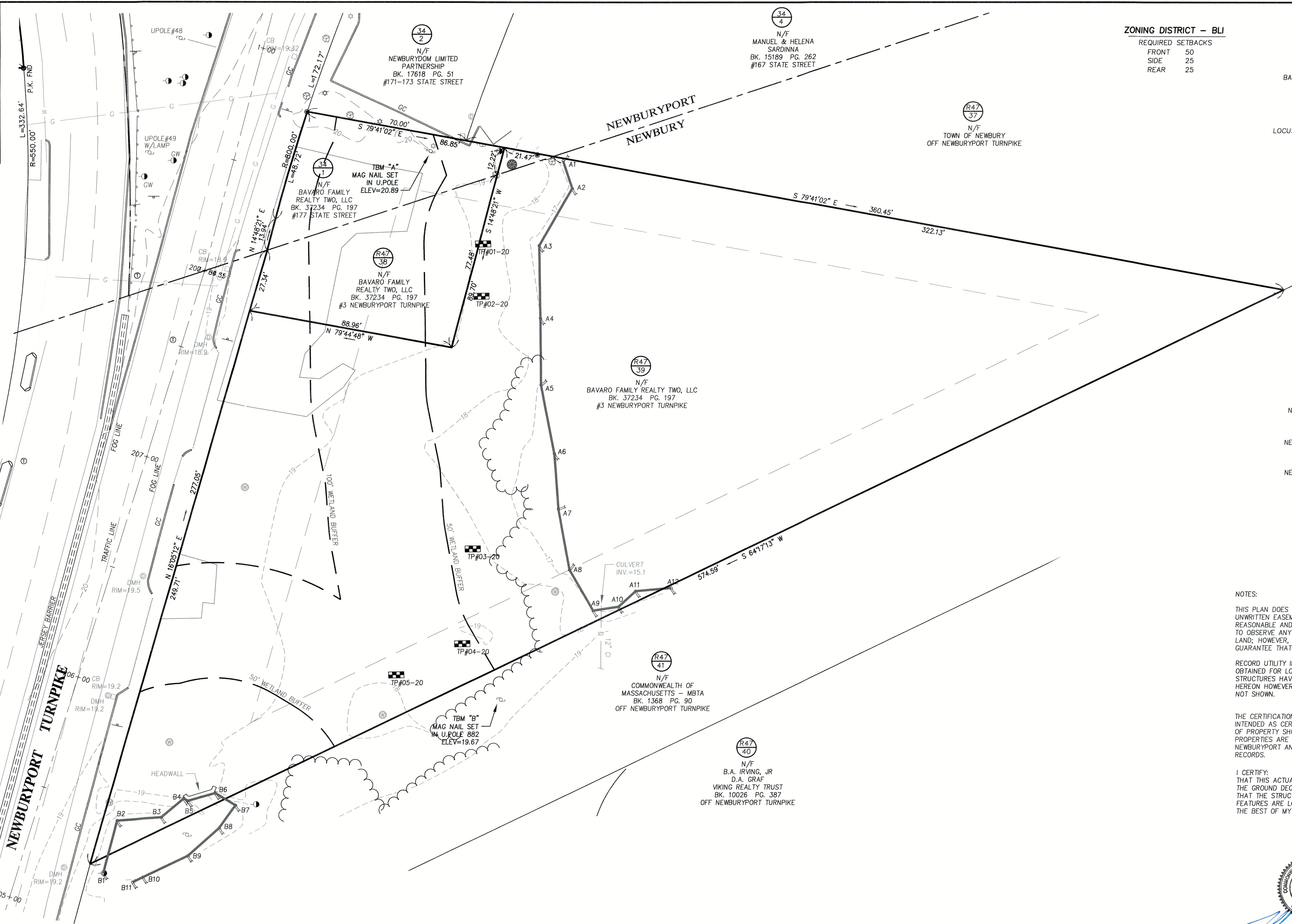
SHEET: 1 OF 8



LOCUS MAP
1"=2,000'

LEGEND

- C.B. CONCRETE BOUND
- S.B. STONE BOUND
- D.H. DRILL HOLE
- PK MASONRY NAIL
- I.P. IRON PIPE
- I ROD IRON ROD
- FND. FOUND
- N/F NOW OR FORMERLY
- ASSESSORS MAP#
- PARCEL#
- N/F NAME
- BK & PG



ZONING DISTRICT - BLI

REQUIRED SETBACKS
FRONT 50
SIDE 25
REAR 25

BASIS OF BEARINGS

PLAN BK. 110 PLAN 22

OWNER OF RECORD

BAVARO FAMILY REALTY TWO, LLC
BOOK 37234 - PAGE 197

PLAN REFERENCES

LOCUS: PLAN BK. 110 PLAN 22

NEWBURY LAYOUTS

NEWBURY - JAN. 10, 1923
LAYOUT NO. 1994
SHT. 1 OF 3
SHT. 3 OF 3

NEWBURY - JAN. 10, 1923
LAYOUT NO. 3095
DOCUMENT AND ORDER OF
TAKING

NEWBURY - FEB. 11, 1936
LAYOUT NO. 3181
SHTS. 1 & 2 OF 2

NEWBURY - FEB. 11, 1936
LAYOUT NO. 3182
ONE SHEET

NEWBURY - 1970
ALTERATION
LAYOUT NO. 5823
SHT. 2 OF 2

NEWBURY - 1993
ALTERATION
LAYOUT NO. 7130
SHTS. 1 & 2 OF 2

NEWBURYPORT LAYOUTS

NEWBURYPORT - JULY 16, 1918
LAYOUT NO. 1795
SHT. 1 OF 2

NEWBURYPORT - MARCH 13, 1934
LAYOUT NO. 3091
SHT. 1 OF 4

NEWBURYPORT - MARCH 13, 1934
LAYOUT NO. 3093
ONE SHEET

PLAN NO. 222 OF 1943

PLAN NO. 244 OF 1945

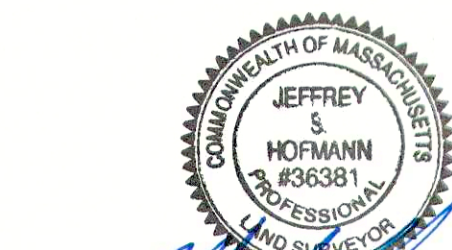
NOTES:

THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

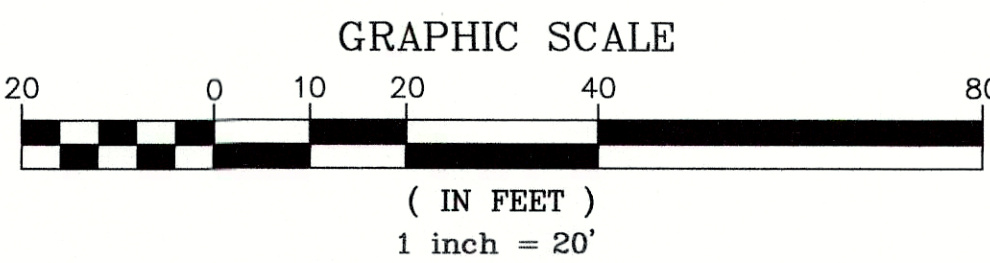
RECORD UTILITY INFORMATION HAS NOT BEEN OBTAINED FOR LOCUS. VISIBLE SURFACE STRUCTURES HAVE BEEN LOCATED AND ARE SHOWN HEREON HOWEVER, SUBSURFACE UTILITY LINES ARE NOT SHOWN.

THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT CITY OF NEWBURYPORT AND TOWN OF NEWBURY ASSESSORS RECORDS.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON
THE GROUND DECEMBER 19, 2019, AND
THAT THE STRUCTURES AND PHYSICAL
FEATURES ARE LOCATED AS SHOWN TO
THE BEST OF MY ABILITY AND BELIEF.



PROFESSIONAL LAND SURVEYOR DATE 10/5/20



PREPARED FOR

BAVARO FAMILY REALTY TWO, LLC
18 GRAF ROAD - UNIT 31
NEWBURYPORT, MA 01950



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

PLAN OF LAND IN NEWBURY, MA

SHOWING

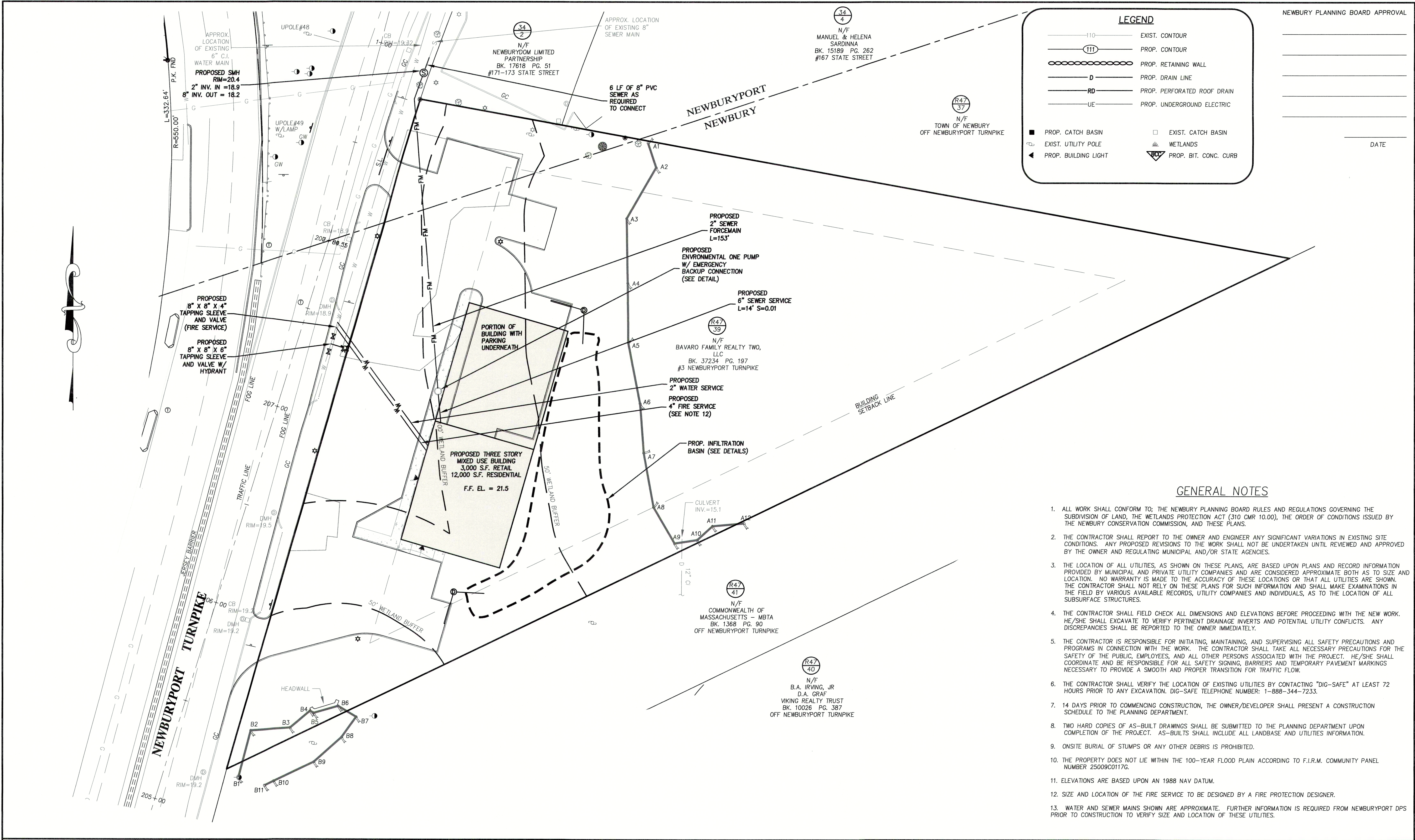
EXISTING CONDITIONS

AT
3 NEWBURYPORT TURNPIKE

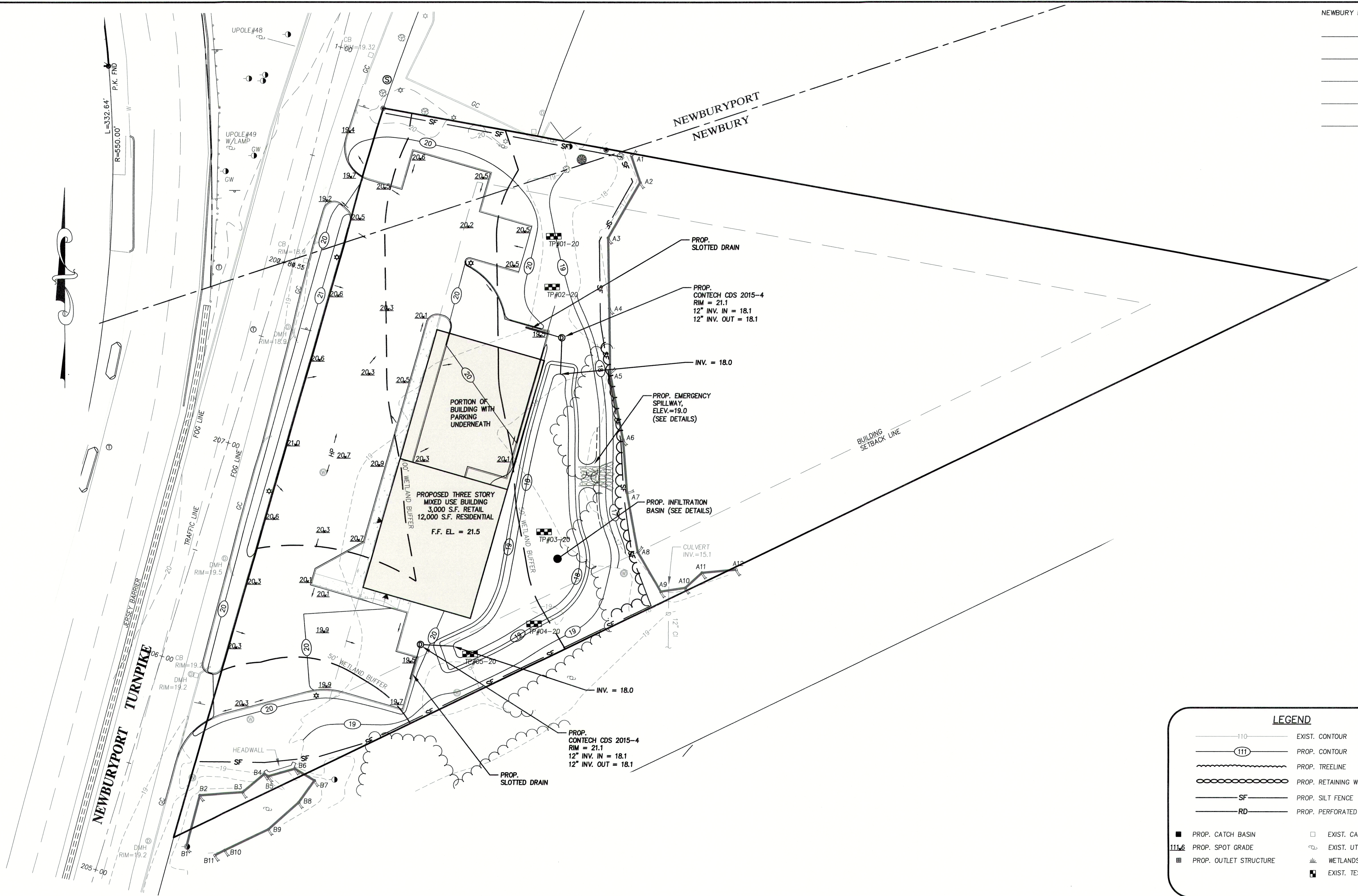
EXISTING CONDITIONS

SHEET: 2 OF 8

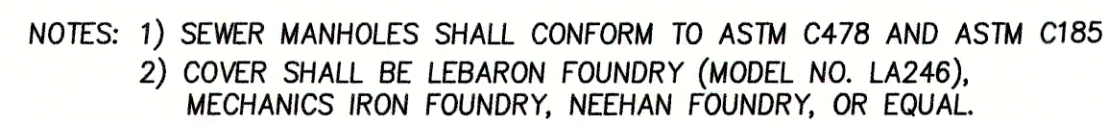
NO.	DATE	DESCRIPTION	BY	SCALE: 1"=20'	CALC. BY: P.D.B.	PROJECT: M193668
1	10/5/20	RESPONSE TO TOWN COMMENTS	J.T.M.	DATE: JULY 15, 2020	CHKD. BY: J.S.H.	



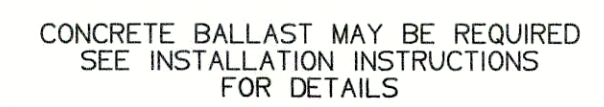
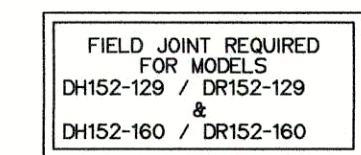
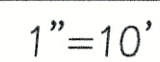
		PREPARED FOR BAVARO FAMILY REALTY TWO, LLC 18 GRAF ROAD UNIT #31 NEWBURYPORT, MA	<table><tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th><th>BY</th></tr><tr><td>1</td><td>10/5/20</td><td>RESPONSE TO TOWN COMMENTS</td><td>J.T.M.</td></tr></table>	NO.	DATE	DESCRIPTION	BY	1	10/5/20	RESPONSE TO TOWN COMMENTS	J.T.M.	MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 ELM ST. SALISBURY, MA 01952 (978) 463-8980 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528	SITE PLAN IN NEWBURY, MA SHOWING PROPOSED SITE IMPROVEMENTS AT 3 NEWBURYPORT TURNPIKE		UTILITIES PLAN SHEET: 5 OF 8
				NO.	DATE	DESCRIPTION	BY								
1	10/5/20	RESPONSE TO TOWN COMMENTS	J.T.M.												
SCALE: 1"=20' DATE: JULY 15, 2020	DESG. BY: C.M.Y. CHKD. BY: E.W.B.	PROJECT: M193668													



ATE

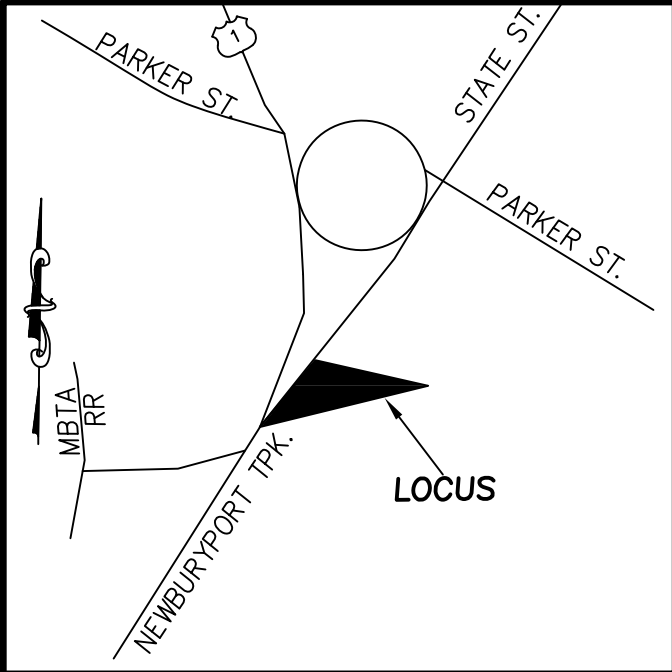


N.T.S.

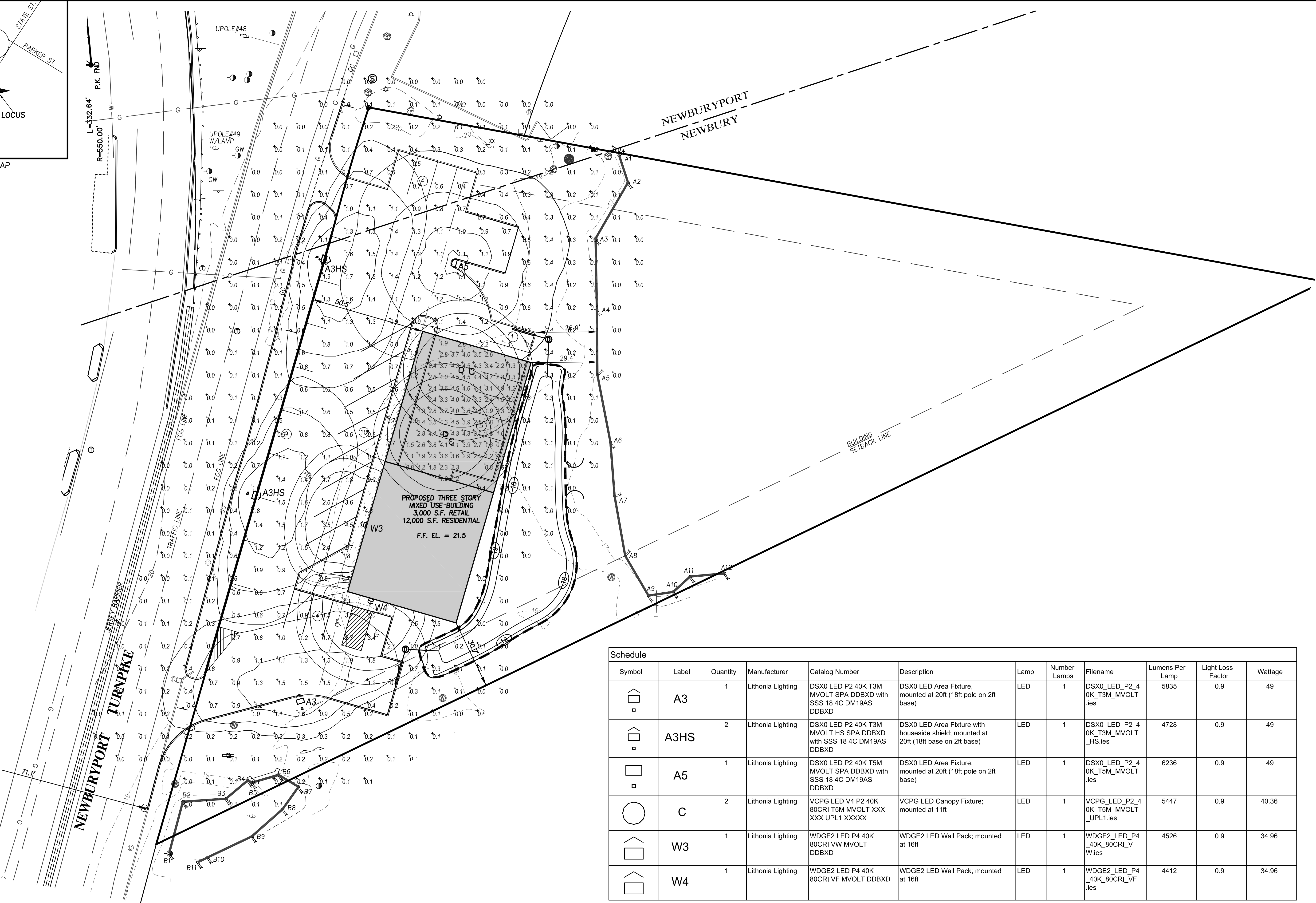


NOTE: DIMENSIONS ARE FOR REF ONLY

N.T.S.



LOCUS MAP
N.T.S.



Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A3	1	Lithonia Lighting	DSX0 LED P2 40K T3M MVOLT SPA DDBXD with SSS 18 4C DM19AS DDBXD	DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base)	LED	1	DSX0_LED_P2_40K_T3M_MVOLT_ies	5835	0.9	49
	A3HS	2	Lithonia Lighting	DSX0 LED P2 40K T3M MVOLT HS SPA DDBXD with SSS 18 4C DM19AS DDBXD	DSX0 LED Area Fixture with houseside shield; mounted at 20ft (18ft base on 2ft base)	LED	1	DSX0_LED_P2_40K_T3M_MVOLT_HS_ies	4728	0.9	49
	A5	1	Lithonia Lighting	DSX0 LED P2 40K T5M MVOLT SPA DDBXD with SSS 18 4C DM19AS DDBXD	DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base)	LED	1	DSX0_LED_P2_40K_T5M_MVOLT_ies	6236	0.9	49
	C	2	Lithonia Lighting	VCPG LED V4 P2 40K 80CRI T5M MVOLT XXX XXX UPL1 XXXXX	VCPG LED Canopy Fixture; mounted at 11ft	LED	1	VCPG_LED_P2_40K_T5M_MVOLT_UPL1_ies	5447	0.9	40.36
	W3	1	Lithonia Lighting	WDGE2 LED P4 40K 80CRI VV MVOLT DDBXD	WDGE2 LED Wall Pack; mounted at 16ft	LED	1	WDGE2_LED_P4_40K_80CRI_VW_ies	4526	0.9	34.96
	W4	1	Lithonia Lighting	WDGE2 LED P4 40K 80CRI VF MVOLT DDBXD	WDGE2 LED Wall Pack; mounted at 16ft	LED	1	WDGE2_LED_P4_40K_80CRI_VF_ies	4412	0.9	34.96

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.2 fc	4.6 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.2 fc	7.0 fc	0.2 fc	35.0:1	6.0:1
Under Canopy	+	2.7 fc	4.6 fc	0.5 fc	9.2:1	5.4:1



Site Lighting Layout
At
3 NEWBURYPORT TURNPIKE

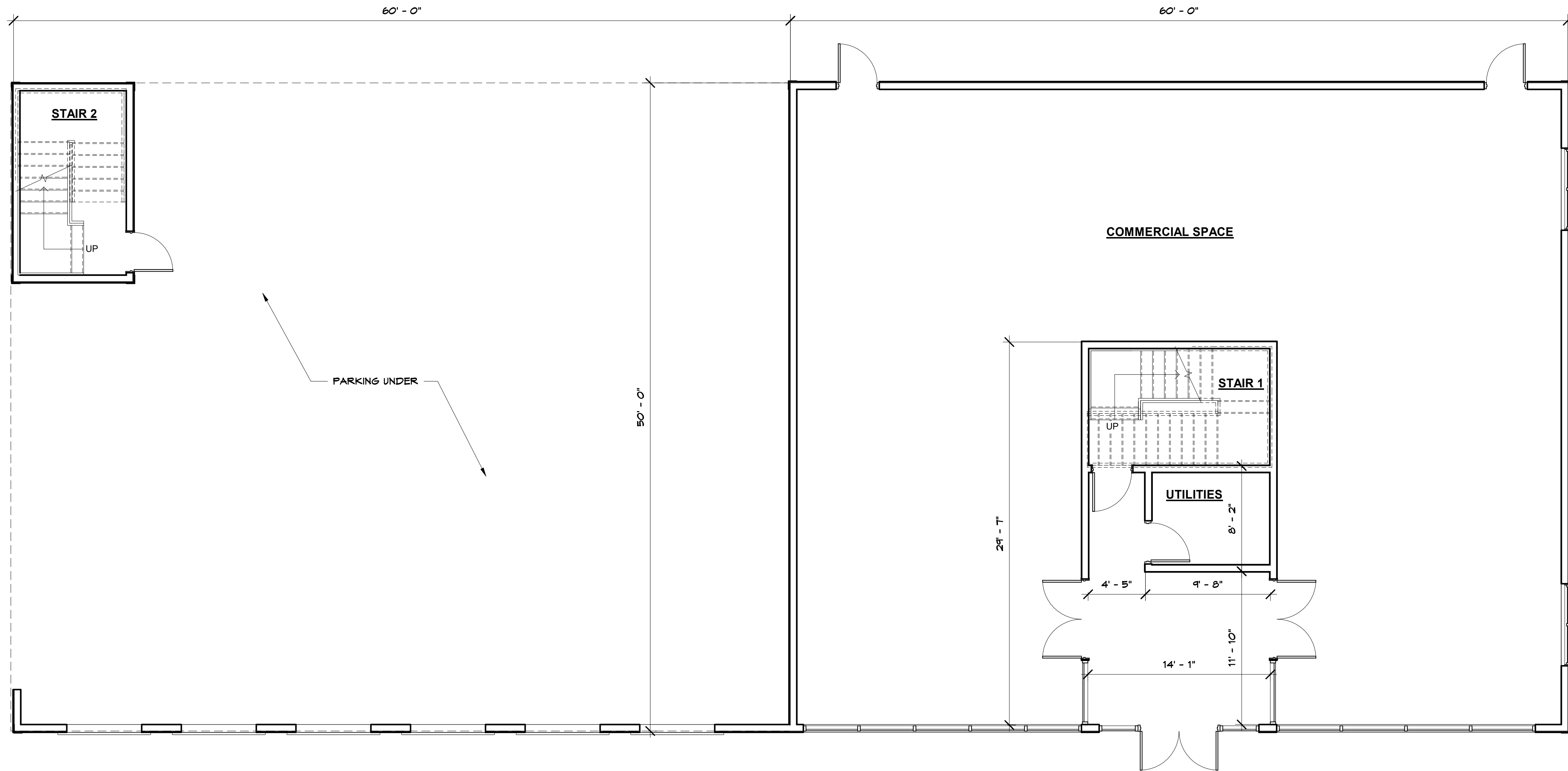
Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842

Date
6/24/2020

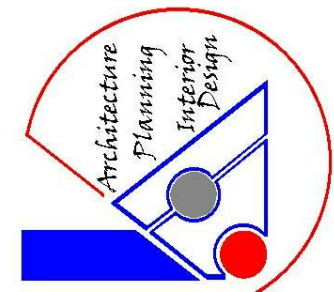
Scale
1"=20'

Drawing No.

Summary



① GROUND FLOOR PLAN
3/16" = 1'-0"



KRITIKOS ARCHITECTS

14 Olsen Road Peabody, MA 01960 (978) 531-4164
E-Mail: phil@kritikosarchitects.com
www.kritikosarchitects.com

JOB TITLE #: NEW MIXED USE BUILDING
NEWBURYPORT, DUNFRIE
NEWBURY, MA 01921

CLIENT NAME #: MR. JOE BAVARO
18 GRAF ROAD UNIT 31
NEWBURYPORT, MA 01950

DATE:

8-3-2020

SCALE:

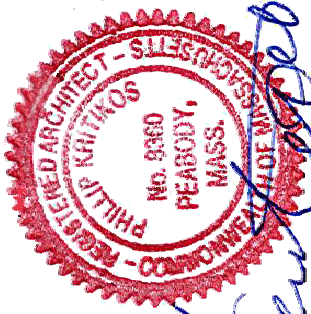
AS NOTED

DRAWN BY:

PAK

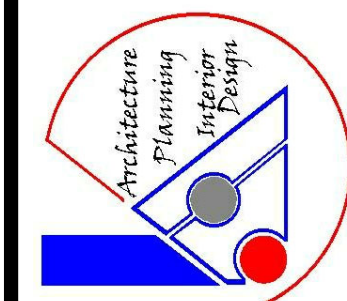
DRAWING TITLE: GROUND FLOOR PLAN

STAMP:





1 SECOND FLOOR PLAN
3/16" = 1'-0"



KRITIKOS ARCHITECTS

14 Olsen Road Peabody, MA 01960 (978) 531-4164
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www.kritikosarchitects.com

JOB TITLE #: NEW MIXED USE BUILDING
SEABURYPORT DUNFRIE
NEWBURYPORT, MA 01951

CLIENT NAME #: MR. JOE BAVARO
15 GRAF ROAD UNIT 31
NEWBURYPORT, MA 01950

DATE: 8-3-2020

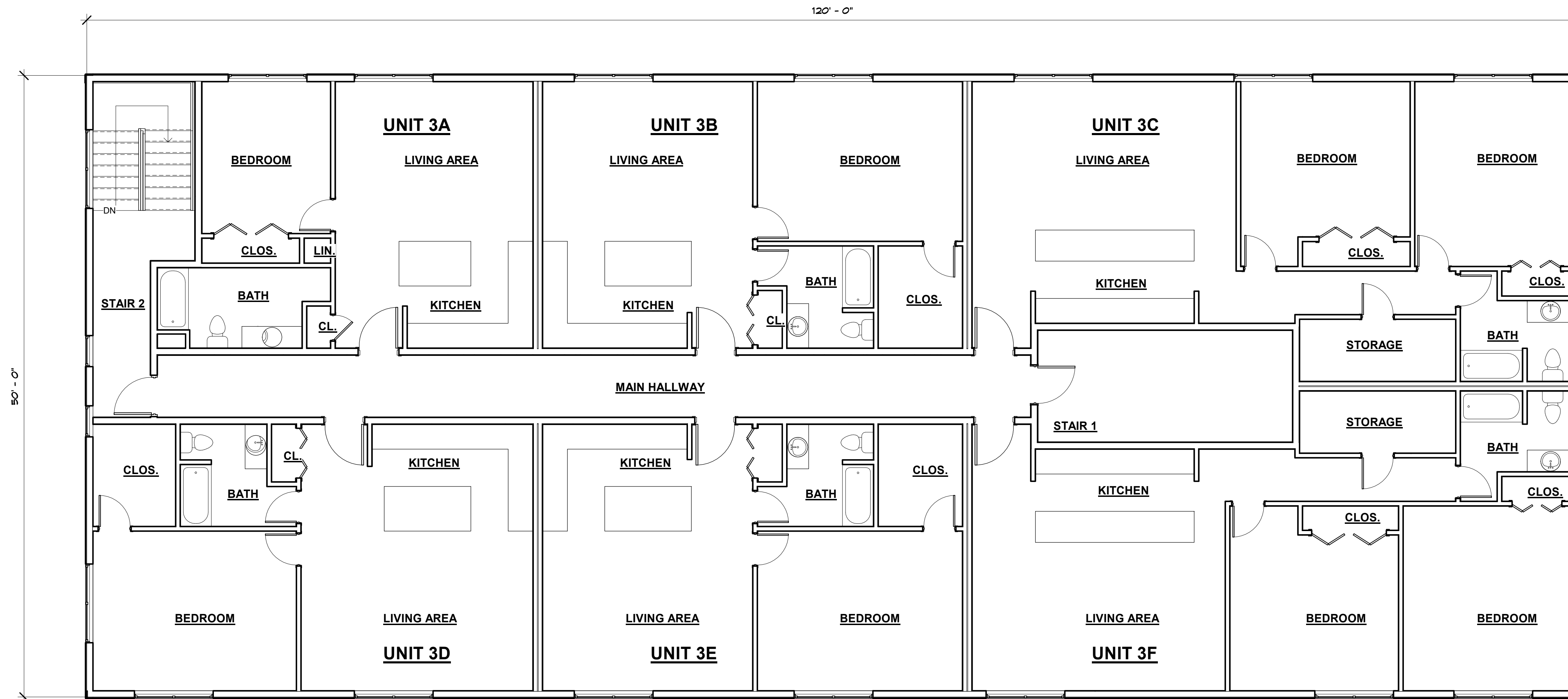
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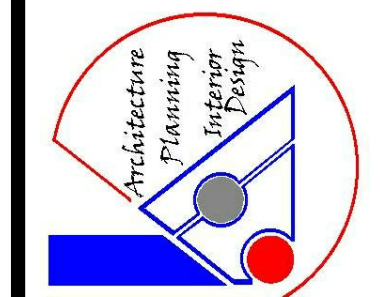
DRAWING TITLE: SECOND FLOOR PLAN

STAMP:





1 THIRD FLOOR PLAN
3/16" = 1'-0"



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14 Olsen Road Peabody, MA 01960 (978) 531-4164
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JOB TITLE #: NEW MIXED USE BUILDING
SEABURYPORT DUNFRIE
NEWBURYPORT, MA 01951

CLIENT NAME #: MR. JOE BAVARO
15 GRAF ROAD UNIT 31
NEWBURYPORT, MA 01950

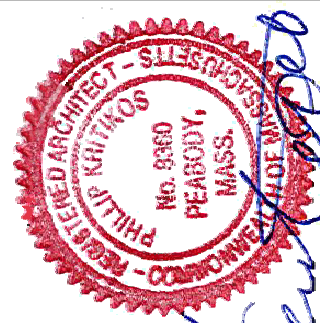
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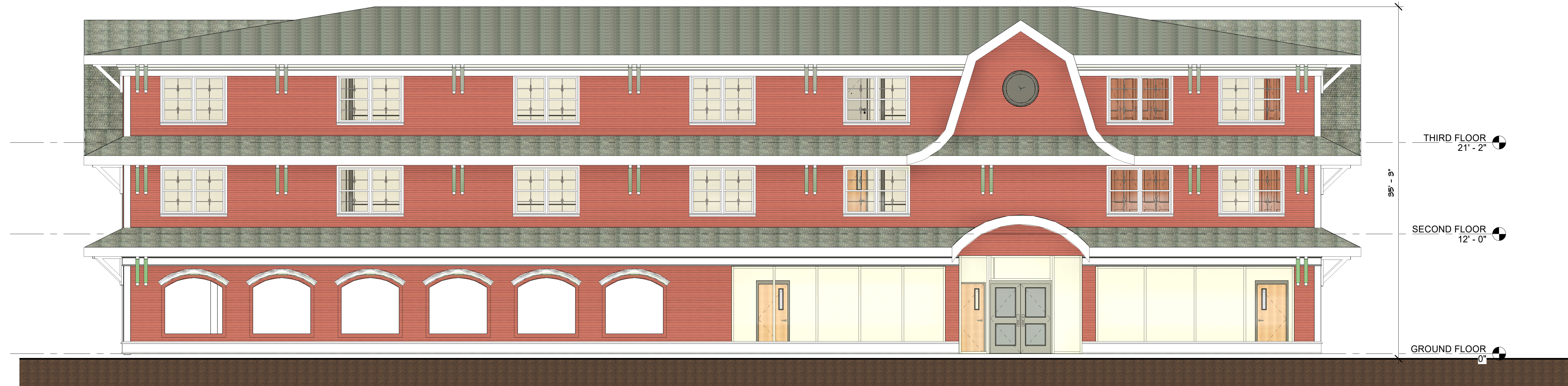
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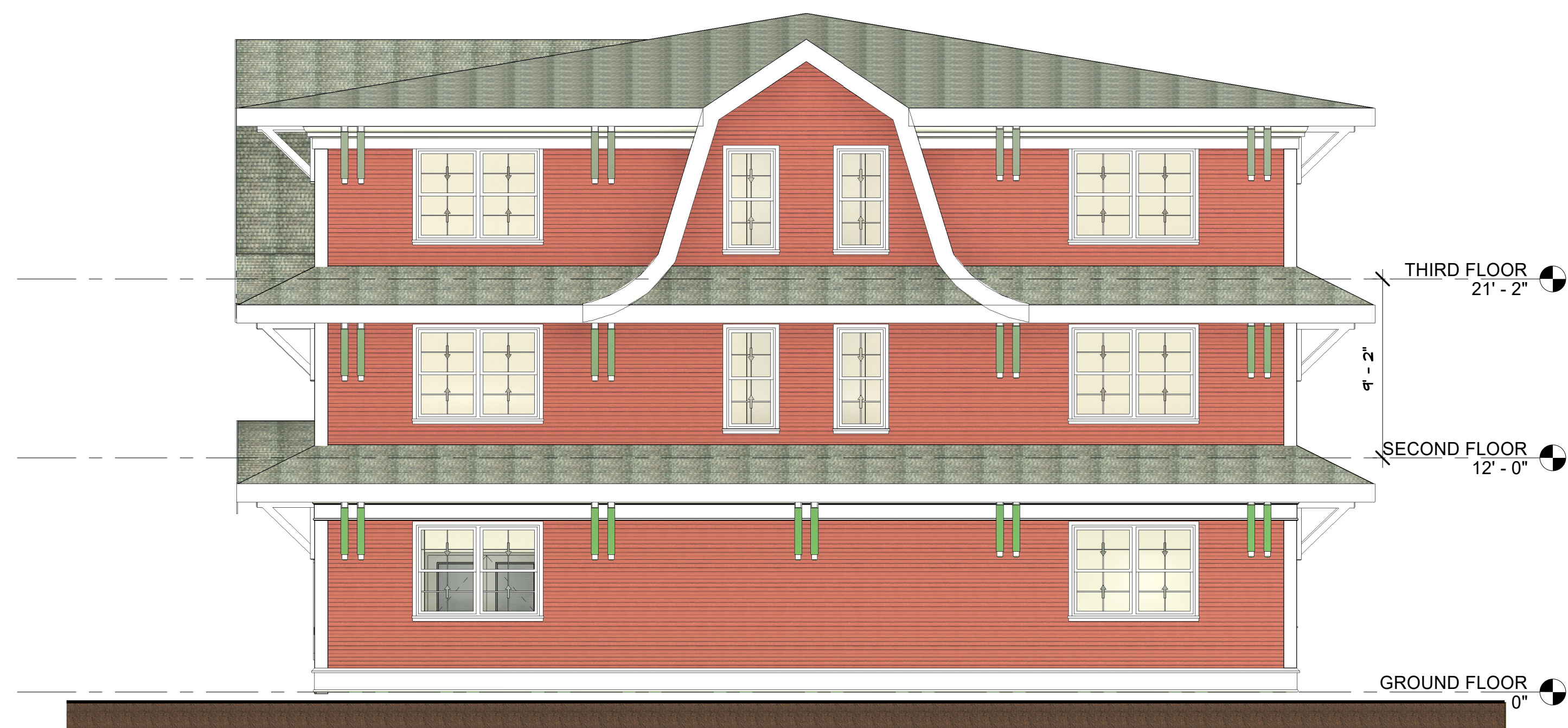
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STAMP:





① FRONT ELEVATION
3/16" = 1'-0"



② RIGHT ELEVATION
3/16" = 1'-0"



STAMP:

DRAWING TITLE ELEVATIONS

DATE: 8-3-2020

SCALE: AS NOTED

DRAWN BY: Author

JOB TITLE #: NEW MIXED USE BUILDING
NEWBURYPORT DUNPIKE
NEWBURYPORT, MA 01951

CLIENT NAME #: MR. JOE BAVARO
15 GRAF ROAD UNIT 31
NEWBURYPORT, MA 01950

REVISIONS:

Author

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14 Olsen Road Peabody, MA 01960 (978) 531-4164
E-Mail: phil@kritikosarchitects.com
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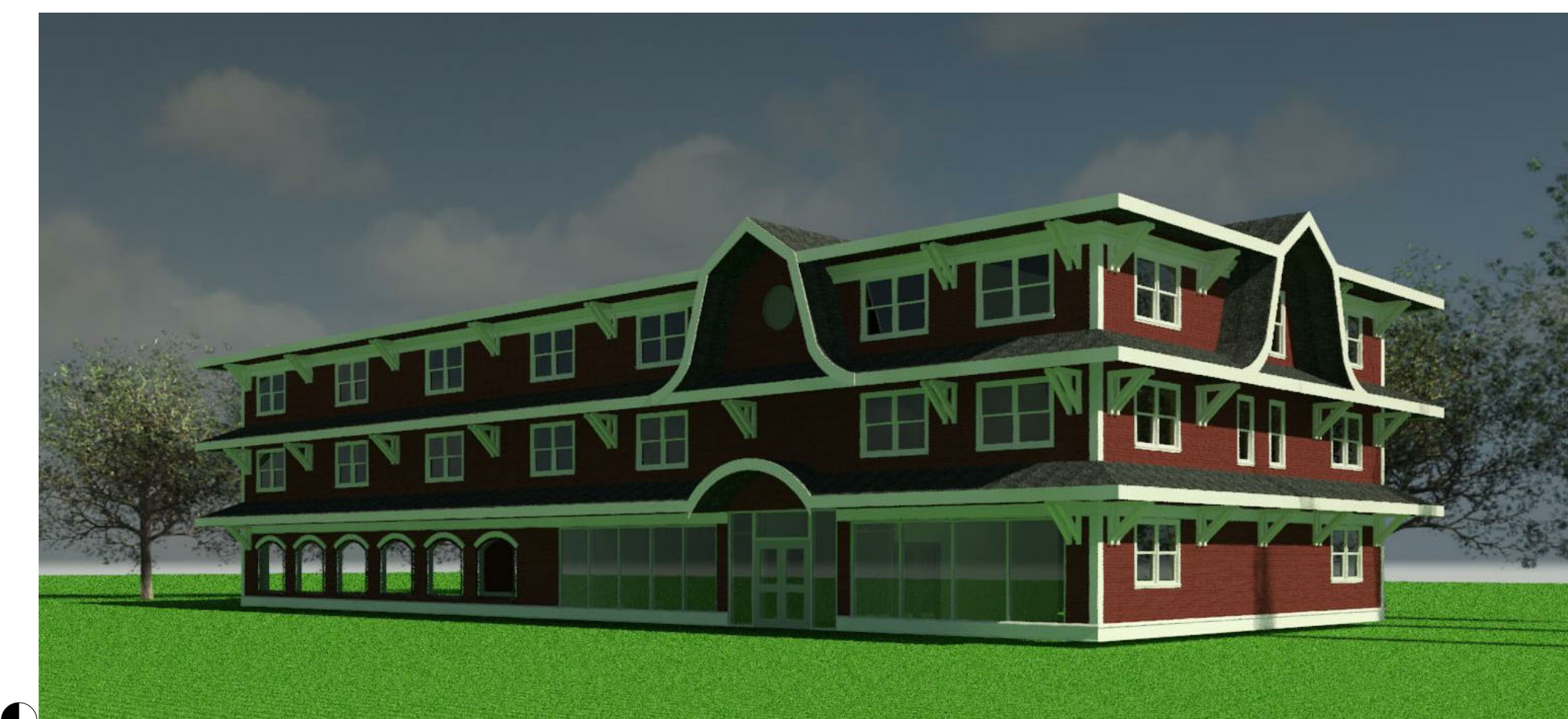
A-4

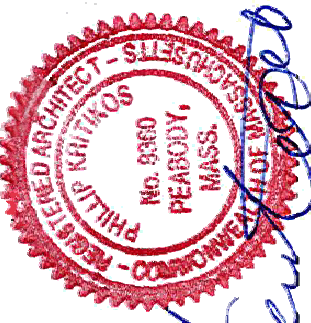


① REAR ELEVATION
3/16" = 1'-0"



② LEFT ELEVATION
3/16" = 1'-0"

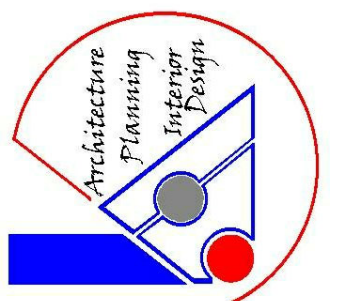




Philip J. Varney
No. 0360
PEABODY,
MASS.
REGISTERED PROFESSIONAL ENGINEER

Phil Varney

DRAWING TITLE ELEVATIONS		DATE: 8-3-2020		SCALE: AS NOTED		REVISIONS:	
JOB TITLE #: NEW MIXED USE BUILDING NEWBURYPORT DUMPPIKE NEWBURYPORT, MA 01951		CLIENT NAME #: MR. JOE BAVARO 15 GRAF ROAD UNIT 31 NEWBURYPORT, MA 01950		DRAWN BY: Author		STAMP:	



KRITIKOS ARCHITECTS
14 Olsen Road Peabody, MA 01960 (978) 531-4164
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A-5



LANDSCAPE PLAN