

PROJECT VICINITY MAP SCALE: 1"=200'

SITE PLAN REVIEW "PLUM ISLAND SUNSET CLUB" 2 OLD POINT RD NEWBURY, MASSACHUSETTS

PREPARED FOR: PLUM ISLAND PROPERTIES, LLC 14 PLUM ISLAND BLVD. NEWBURY, MA 01951

PROJECT LOCATION

2 OLD POINT RD - NEWBURY MAP U02, LOT 153 MAP U02, LOT 154

OWNER OF RECORD

MAP U02, LOT 153: VINCENT GODIN 8R OLD POINT RD, NEWBURY, MA

MAP U02, LOT 154 THE COTTAGES COMMERCIAL LLC 2 OLD POINT RD, NEWBURY, MA



2 OLD POINT ROAD MAP U02 - LOT 154

ZONING DISTRICT RA-G / PIOD			
	ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	21,636 SF	21,626 SF
FRONTAGE	125'	268.9'	268.9'
SETBACK (SIDE/REAR)	10'	4.9'	62.0'
SETBACK (STREET)	20'	13.5'	13.5' n.c.
MAX. HEIGHT	35'	20' +/-	15' +/- n.c.
LOT COVERAGE	20%	16.7%	0.7%
FAR	25%	15.2%	0.7%

8R OLD POINT ROAD MAP U02 - LOT 153

ZONING			
	ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	21,442 SF	21,442 SF
FRONTAGE	125'	143.2'	143.2'
SETBACK (SIDE/REAR	10'	21.8'/*0	21.8' n.c./*0 n.c
SETBACK (STREET)	20'	20.7'/*10.5	20.7'n.c./*10.5 n.c.
MAX. HEIGHT	35'	22' +/-	22' +/- n.c.
LOT COVERAGE	20%	11.4%	11.4% n.c.
FAR	25%	13.2%	13.2% n.c.
* OFFSETS TO RESIDENTIAL STRUCTURE TO REMAIN			

	PARKING
REQUIRED	163 SEATS X 0.3 = 48.9 (49 PARKING SPACES)
	5 EMPLOYEES REQ. (5 PARKING SPACES)
PROVIDED	54 SPACES

SHEET INDEX

SHEET NO.	<u>TITLE</u>
T1	TITLE SHEET
C100	EXISTING CONDITIONS PLAN
C101	LAYOUT & MATERIALS PLAN
C201	EROSION CONTROL PLAN
C501	CIVIL DETAILS
C502	CIVIL DETAILS
A110	FLOOR PLAN
A112	ARCHITECURAL SITE PLAN
A200	EXTERNAL ELEVATION
A210	BUILDING SITE/SECTIONS
L1	MATERIALS, PLANTING & LIGHTING PLAN
L2	PHOTOMETRIC PLAN
L3	SITE DETAILS

NEWBURY PLANNING BOARD APPROVAL

THIS IS TO CERTIFY THAT ON / / I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID



ARCH: JOE THE ARCHITECT 343 MEDFORD ST, SUITE 4C SOMERVILLE, MA 02145

PROJECT TEAM

2 OLD POINT RD NEWBURY, MA

PROJECT INFO

PEER REVIEW RESP. DESCRIPTION



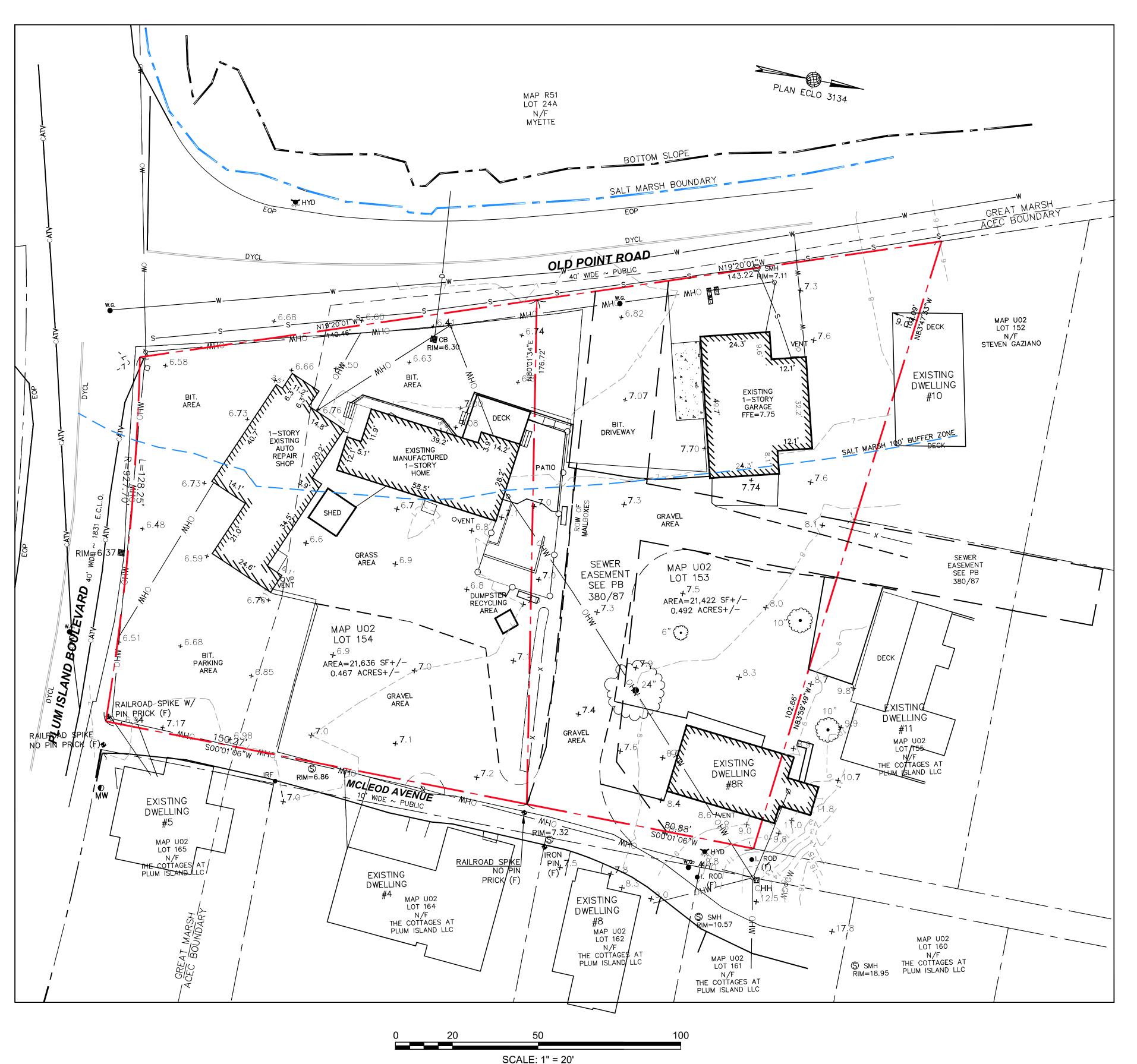
TITLE SHEET

SHEET NAME:

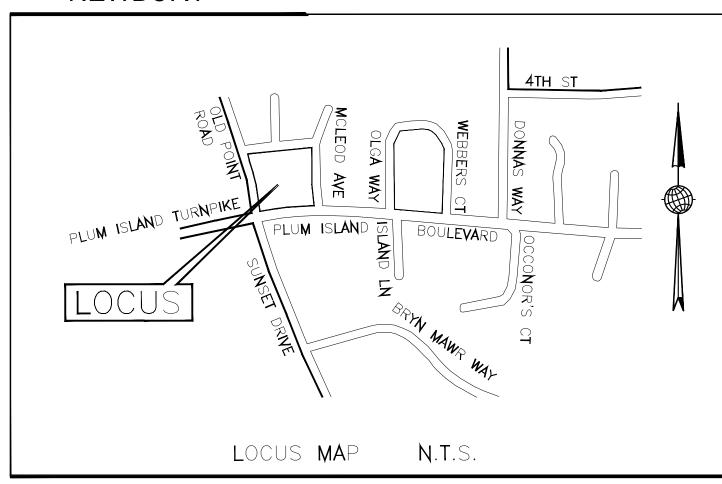
DR BY: MH PROJ NO: 20-067 DATE: 1/6/21

CHK BY: SBS

SCALE: NTS



NEWBURY



GENERAL NOTES

THE EXISTING CONDITIONS PLAN WAS PROVIDED BY PLUM ISLAND PROPERTIES AND COMPLETED BY HANCOCK ASSOCIATES DATED AUGUST 20, 2020. THE SURVEY WAS PROVIDED TO PLUM ISLAND PROPERTIES FOR OBTAINING PERMITS AND LOCAL APPROVALS ONLY. PLUM ISLAND PROPERTIES IS USING THIS EXISTING CONDITIONS PLAN FOR THESE PURPOSES ONLY.

UNDERGROUND WATER AND SEWER INFORMATION WAS ADDED TO THE PLAN BY DESIGN CONSULTANTS INC. BASED UPON CITY OF NEWBURYPORT PLAN INFORMATION AND SURFACE FEATURES.

THE SUBJECT PROPERTY LIES WITHIN ZONE AE13 OF THE FEMA FLOOD HIGH HAZARD ZONE AS SHOWN ON FEMA MAP 25009C0137G, EFFECTIVE DATE JULY 16, 2014.

THE OWNERSHIP OF ABUTTING PARCELS WERE UPDATED BASED UPON THE TOWN OF NEWBURY GIS AND ASSESSOR'S RECORDS

THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 EXISTING DWELLING #10 LOCATION WAS ADDED TO THE PLAN BY ON GROUND SURVEY COMPLTED BY CAMMETT ENGINEERING

NEWBURY PLANNING BOARD APPROVAL

DATE

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CLERK	DATE



Somerville - Quincy - Newburyport www.dci-ma.com

OWNER: THE COTTAGES COMMERCIAL, LLC 14 PLUM ISLAND BLVD.

ARCH: JOE THE ARCHITECT 343 MEDFORD ST, SUITE 4C SOMERVILLE, MA 02145

LANDSCAPE: MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC 732 EAST BROADWAY #3 BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD NEWBURY, MA

PROJECT INFO

	PEER REVIEW RESP.	2-24-21
٧	DESCRIPTION	DATE



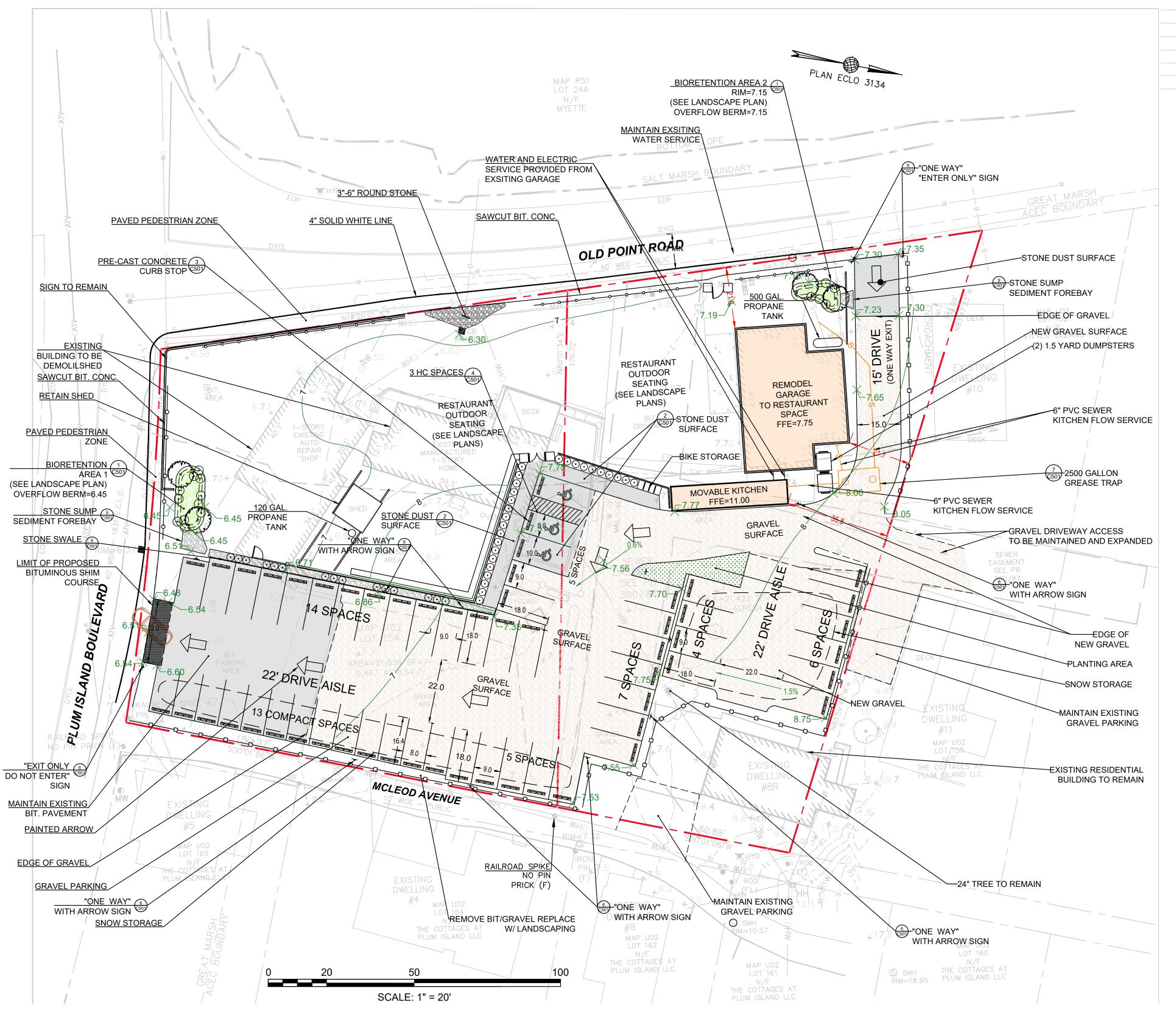
EXISTING CONDITIONS PLAN

SHEET NAME:

DR BY: MCH

CHK BY: SBS PROJ NO: 20-067 DATE: 1/6/21

SCALE: 1" = 20'



8R OLD POINT ROAD MAP U02 - LOT 153

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A CONTROL OF THE RESERVE OF THE PROPERTY OF			S. 1.803 S.

* OFFSETS TO RESIDENTIAL STRUCTURE TO REMAIN

2 OLD POINT ROAD MAP U02 - LOT 154

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·	_		<u> </u>	

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	5 EMPLOYEES REQ. (5 PARKING SPACES)
PROVIDED	54 SPACES

<u>LEGEND</u> EXISTING:

s	COMBINED SEWER & DRAIN	₩ ₩	CATCH BASIN	
S	SANITARY SEWER	~~~~ ~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	DECIDUOUS TREE	
) ———	DRAIN LINE		CONIFEROUS TREE	
/	WATER LINE	3/ /C	PLANTER	
IVV	ELECTRIC LINE	Ş.	FIRE HYDRANT	
<u> </u>	GAS LINE	o WG	WATER GATE	•
	TELEPHONE LINE	o GG	GAS GATE	•
Τ	STEAM LINE	WB	WASTE BASKET	•
3	SANITARY MANHOLE	○ PM	PARKING METER	
	DRAIN MANHOLE	□ MB	MAIL BOX	
	UNKNOWN MANHOLE	♠ TS	TRAFFIC SIGNAL	
	ELECTRIC MANHOLE	0	UTILITY POLE	
D	TELEPHONE MANHOLE	× 20.85	SPOT GRADE	

GENERAL NOTES

ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE TOWN OF NEWBURY, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.

PROPOSED:

——GAS — GAS LINE

TW,BW

WATER GATE
GAS GATE
TEST PIT
STOCKADE

——DOM—— DOMESTIC WATER LINE

——FIRE—— FIRE SUPRESSION LINE

——ETC—— ELECTRIC, TEL. & CABLE LINE

SPOT GRADE

CLEAN OUT

ROOF DRAIN

TOP OF CURB, BOTTOM OF CURB

TOP OF WALL, BOTTOM OF WALL

DRAIN LINE

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

UTILITY & DRAINAGE NOTES

- 1. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
- 2. CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION. THE TOWN OF NEWBURY MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE TOWN OF NEWBURY FOR THE MARKING OF NEWBURY MUNICIPAL UTILITIES.
- 3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 4. ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. CUTTING AND CAPPING OF DESIGNATED WATER AND SEWER SERVICES SHALL OCCUR AT THE MAIN IN THE STREET, BY THE CONTRACTOR, IN ACCORDANCE WITH THE TOWN OF NEWBURY STANDARDS. THE PROPOSED GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
- 5. FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
- 6. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED
- 8. TEST PITS SHALL BE REQUIRED TO DETERMINE SUBSURFACE SOILS AND ESTABLISH MEAN HIGH GROUNDWATER ELEVATION PRIOR TO ORDERING AND INSTALLATION OF STORMWATER MANAGEMENT SYSTEM COMPONENTS. ADJUSTMENTS TO SYSTEM MAY BE REQUIRED PER TEST RESULTS.
- 9. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
- 10. TOWN OF NEWBURY RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE TOWN OF NEWBURY DRAIN AND SEWER SYSTEMS. A DYE TEST SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF AN OCCUPANCY
- 11. PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 12. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 13. TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE TOWN OF NEWBURY MUNICIPAL STANDARDS.
- 14. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- 15. NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.

PROPOSED GRAVEL

THIS IS TO CERTIFY THAT ON / / , I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

DATE

CLERK DAT

NORTH



WWW.dci-ma.com
OWNER:
THE COTTAGES COMMERCIAL, LLC
14 PLUM ISLAND BLVD.
NEWBURY, MA 01951

ARCH:
JOE THE ARCHITECT
343 MEDFORD ST, SUITE 4C
SOMERVILLE, MA 02145

LANDSCAPE:
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC

732 EAST BROADWAY #3

BOSTON, MA 02127 PROJECT TEAM

2 OLD POINT RD NEWBURY, MA.

PROJECT INFO

REVISION 3-22-21
PEER REVIEW RESP. 2-24-21
EV DESCRIPTION DATE



STAMP:

LAYOUT &
MATERIALS
PLAN

SHEET NAME:

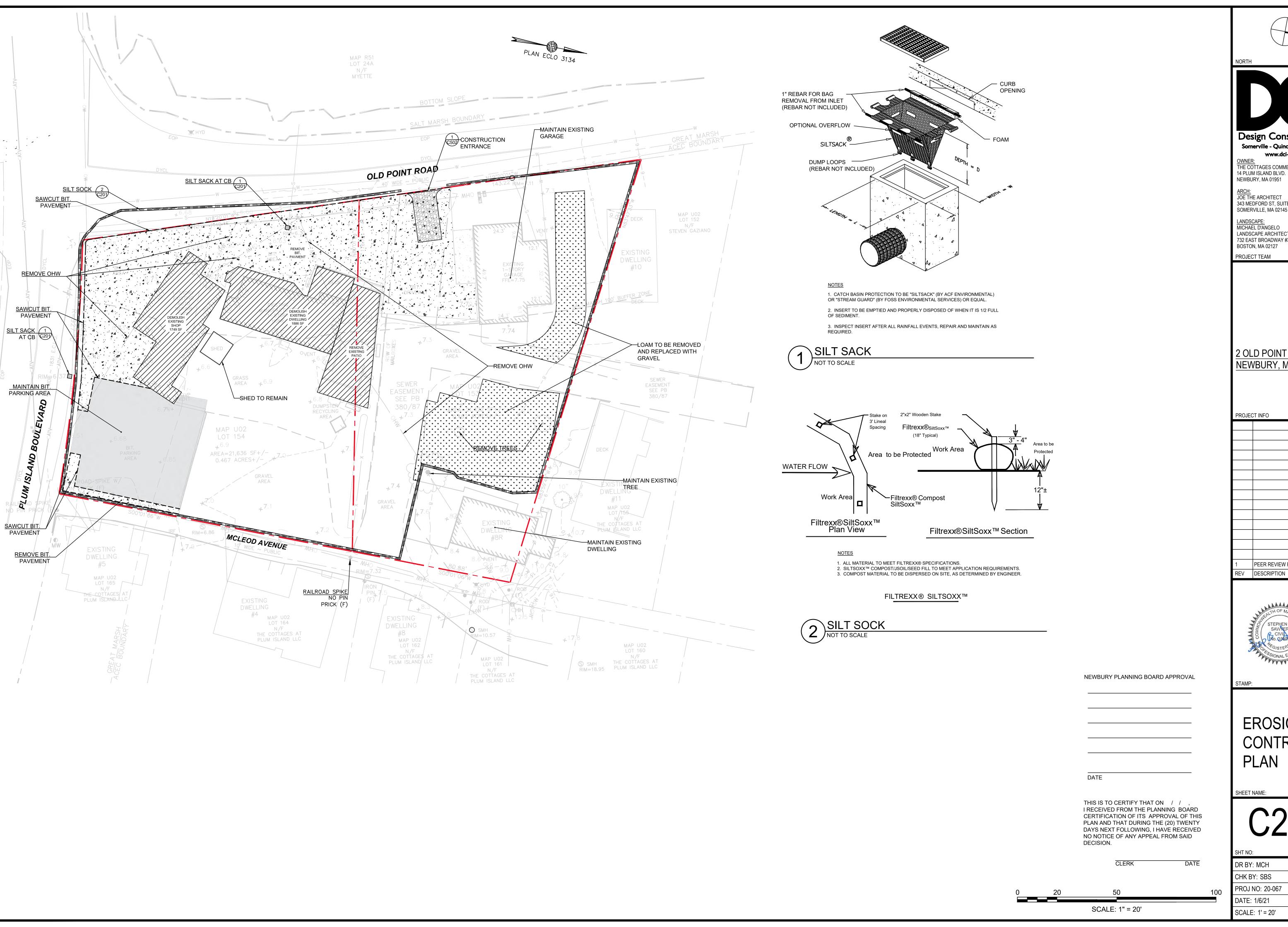
C10'

SHI NO:

DR BY: MCH CHK BY: SBS

PROJ NO: 20-067 DATE: 1/6/21

DATE: 1/6/21 SCALE: 1" = 20'





Design Consultants Inc.

Somerville - Quincy - Newburyport www.dci-ma.com OWNER: THE COTTAGES COMMERCIAL, LLC

ARCH: JOE THE ARCHITECT 343 MEDFORD ST, SUITE 4C SOMERVILLE, MA 02145

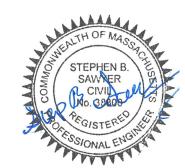
LANDSCAPE:
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
732 EAST BROADWAY #3

PROJECT TEAM

2 OLD POINT RD NEWBURY, MA

PROJECT INFO

PEER REVIEW RESP. 2-24-21 REV DESCRIPTION DATE

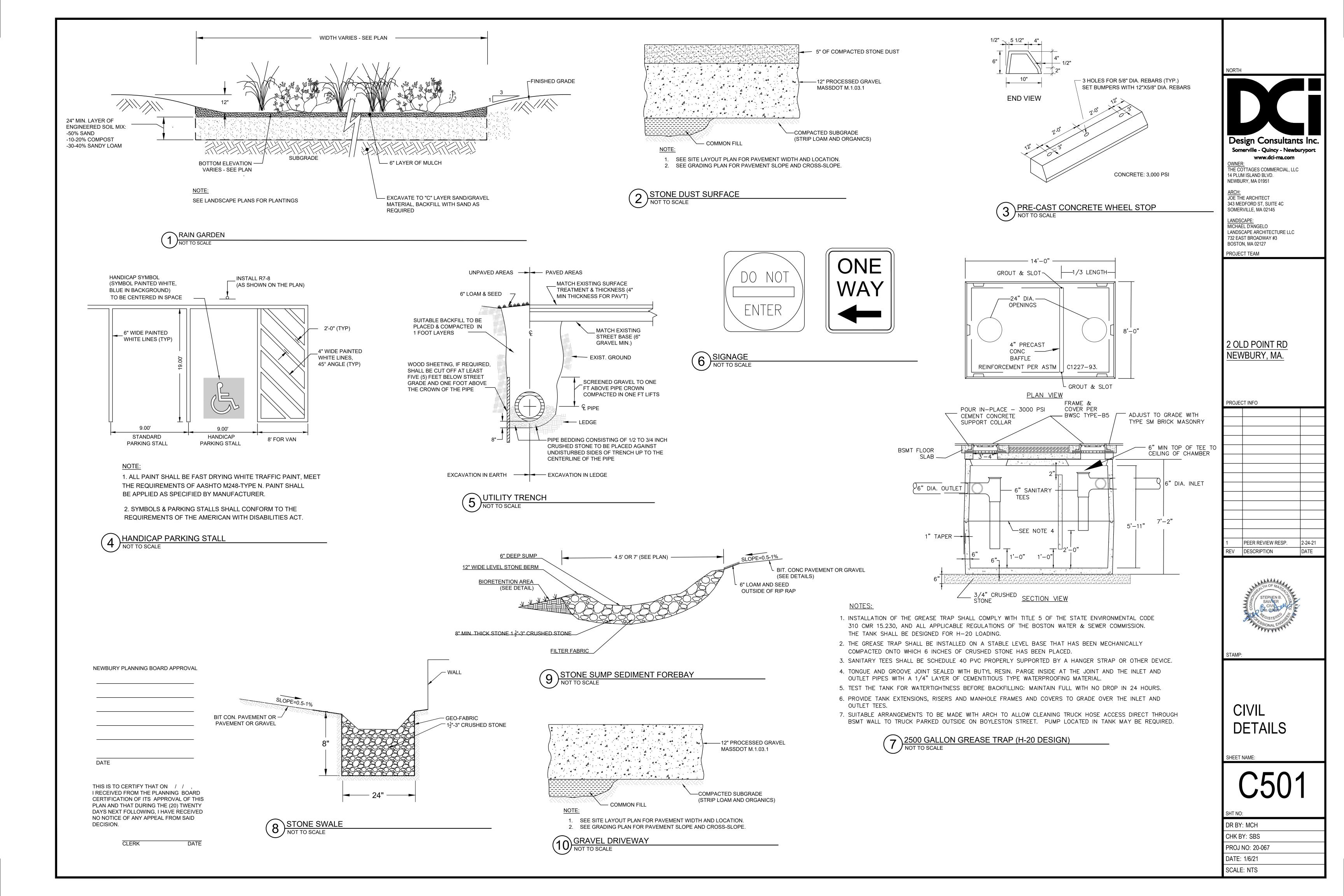


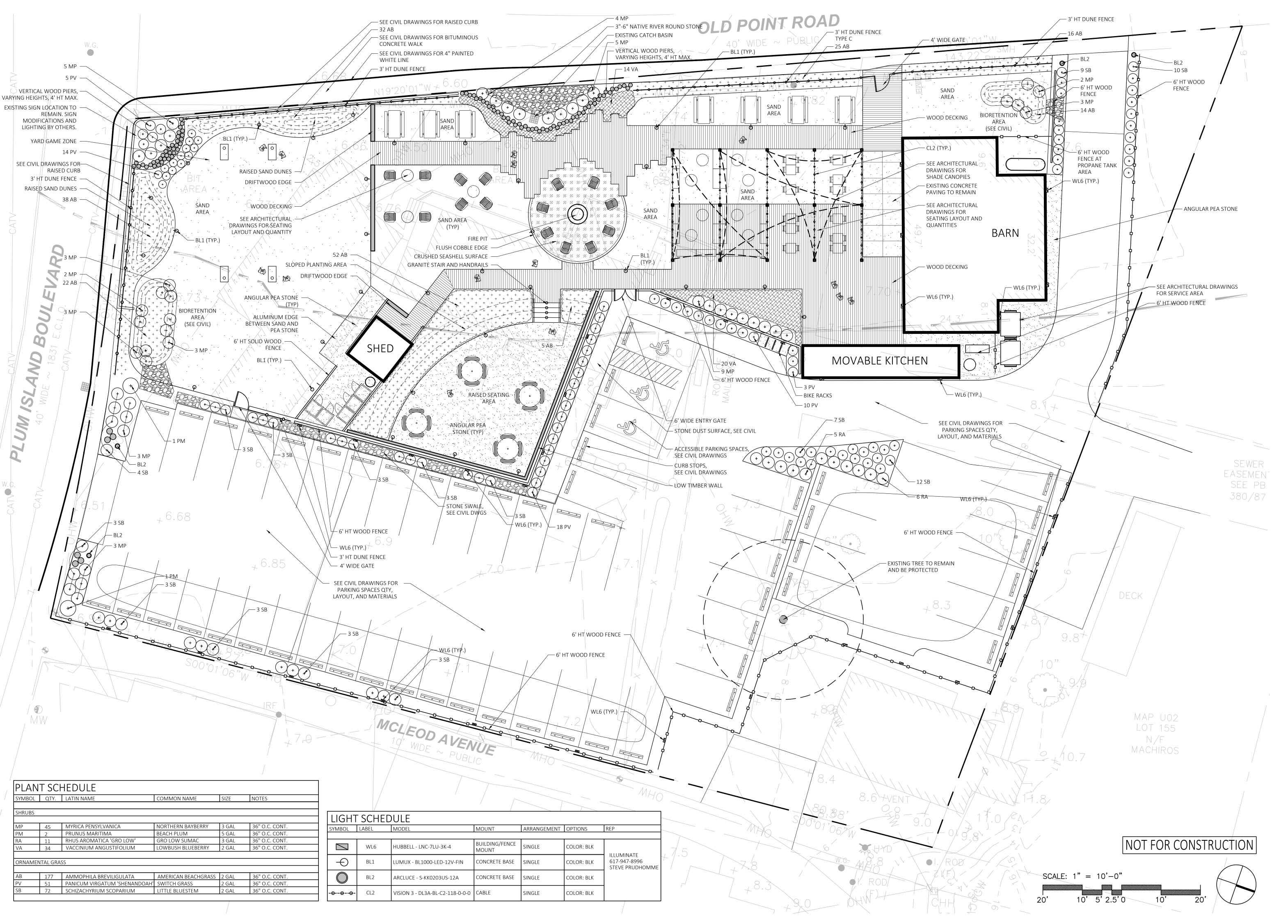
EROSION CONTROL PLAN

SHEET NAME:

SHT NO:
DR BY: MCH
CHK BY: SBS
DD0 1110 00 007

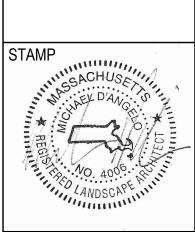
PROJ NO: 20-067 DATE: 1/6/21





MICHAEL D'ANGELO ANDSCAPE ARCHITECTURE L 732 EAST BROADWAY #3 BOSTON, MA 02127

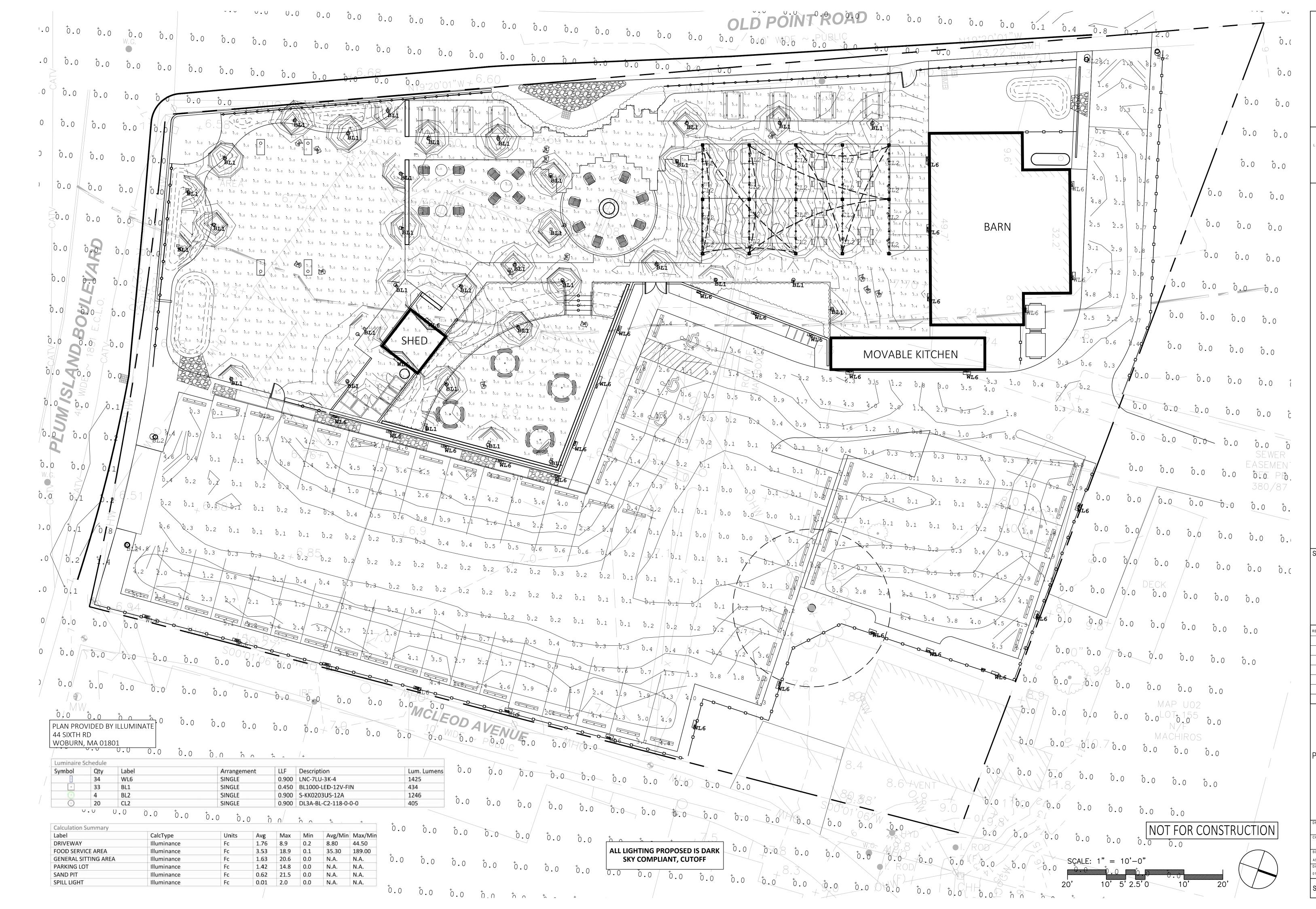
t. 203.592.4788 www.m-d-l-a.com

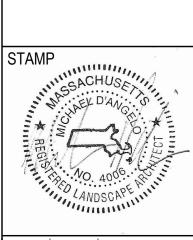


MATERIALS, PLANTING, AND LIGHTING PLAN

AS NOTED
DATE

SHEET 1 OF 3 plot date: 3/22/2021





).	DATE	DESCRIPTION	
	01/06/21	PLANNING BOARD	
	02/24/21	PLANNING BOARD	
	03/22/21	PLANNING BOARD	

PHOTOMETRIC PLAN

SHEET 2 OF 3

AS NOTED DATE

01/06/21 SHEET **OF** 3

DATE: 12/18/20 LOCATION: TYPE: WL6 | PROJECT: PLUM ISLAND PATIO CATALOG #: LNC-7LU-3K-4

LNC COMPACT LED LITEPAK

FEATURES Compact LNC LED is designed for perimeter illumination and available in 3 lumen packages for safety, security and identity

- 3000K, 4000K, 5000K and Amber color temperatures Up to 4.1 spacing to mounting height ratio means fewer fixtures to install
- Acrylic diffuser included! Use for applications near entrances or locations where reduced brightness is desired. (Maximum spacing with diffuser 30ft)
- Die-cast aluminum housing with decorative Laredo styling
- · Full cut-off neighbor friendly









CERTIFICATIONS

5 year limited warranty

See HLI Standard Warranty for

with some Premium Qualified configurations

Please refer to the DLC website for specific

Listed and labeled to UL 1598 for wet.

locations, 25°C ambient environments

LNC-5L

SPECIFICATIONS

CONSTRUCTION Decorative die-cast aluminum housing and

- · Rugged design protects internal component and provides excellent thermal management for long life
- · Powder paint finishes provide lasting appearance in outdoor environments · Full cut-off distribution; Ambient diffuser included, use for applications near
- brightness is desired Drivers are 120-277V, 50/60Hz Type II, III and Type IV lenses provide wide lateral spread
- 3000K 80 CRI, 4000K 70 CRI, and 5000K 70 CRI, CCT nominal Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion

enterances or locations where reduced

INSTALLATION Quick mount adapter provides quick installation, designed for recessed box 4 square junction box 60,000 hours minimum LED life at L96 rating per IESNA TM-21-11

 Minimum operating temperature is -40°C/-40°F 0-10V dimming 120-277V only LNC5L – 5 LEDs, Types II, III or IV available, see page 2 for electrical details · LNC7L - 7 LEDs, Type II, III or IV available, see page 2 for electrical details LNC9L – 9 LEDs, Types II, III or IV available, see page 2 for electrical details

dusk-to-dawn control for additional energy

KEY DATA	
Lumen Range	800-2100
Wattage Range	13-22
Efficacy Range (LPW)	64-95
Fixture Projected Life (Hours)	L96>60K
444 - 477 44 44 4	22/254



Date: 12/18/20 LUMUX Agency : **Description**: The BL1000 bollard luminaires provide efficient

low-glare illumination from a highly durable seamless architectural form. This unit is fabricated from extruded low copper aluminum. All hardwares are stainless steel. silicon gasketed for weather tight operation. Anchor bolts are provided. Unit could be specified in Black, Silver, White or Dark Bronze. Unit complies with "Made in USA" provision. ETL listed for wet locations. IP65

SPECIFICATION:

Housing: Extruded low copper aluminum. Diffuser: Frosty Lens. Vandal resistance stainless steel screws. Silicon gasketed for weather tight operation. Electrical: 12Volt DC Lamp: LED Unit is provided with anchor bolts.

DIMENSIONS: Vertical Plane Through 0 " Lateral Cone Through

Lumux reserves the right to modify the above details to reflect changes in the cost of materials and/or design without prior notice. Lumux Lighting Inc Rev : A Drawing Number

BL1000

BL1 LIGHT

VISIONS MR16 Ring Mount MODEL DL3 12V 50W Max., MR16 Halogen 12V 7.5W, 12/24V 6W, or 12V 10W LED Machined 6061-T6 aluminum or C36000 brass body with cast brass loop allows fixture to be hung from a chain, cable, or hook. (Hanging hardware not included). A molded high temperature silicone wire pass-thru prevents water from entering thru rear of body or Integral LED: 12-24V AC/DC 6W (400lm) or 12V AC/DC 10W (700lm) LED options nclude integral driver with High/Low switch for 35W/20W (6W) or 50W/35W (10W) alogen equivalent outputs. LED Modules are field replaceable and feature replaceable Cap
Machined 6061-T6 aluminum or C36000 brass cap threads on to body to allow toolless removal of cap, and is sealed to the body with a high temperature silicone O-ring.
Accepts up to two internal accessories, held in place by a stainless steel clip. lenses, an L70 > 60,000 hrs., dynamic transformer recognition, phase dimming (see Transformer and Dimmer Compatibility List), and patented LEDSense* thermal Retrofit MR16 LED: 12V 7.5W (600lm) bi-pin retrofit Soraa*M MR16 LED lam with specially engineered heat sink mount to ensure proper heat transfer to body. Note: Retrofit LED will overheat without supplied heat sink mount. Finish

TGIC thermo set polyester powder coat paint available in 14 standard colors. On aluminum model, finish is applied over a corrosion resistant, hexavalent chromium free, RoHS compliant coating. Aluminum model available in one additional metal finish: Clear CSA tested & certified to US and Canadian safety standards for wet location use per ULL 1500 with the following ratings: Anodized. Brass model available in three additional metal finishes: Natural, Polished, and DL3A - 50W Max. MR16 Halogen lamp. DL3B - 35W Max. MR16 Halogen lamp. GY-6.35 porcelain socket with 600V, 250°C, PTFE coated 18 ga leads. LED options can be used in all models and applications. All ratings subject to change without notice. See website or contact V3 for most current Tempered, clear lens, secured to cap with a high temperature, UV curing, silicone AC4-C2 AC4-C4 0000 00000 0 0 0 0 ┕┲┙╠╍┰╚╍┙┕╥┙┕╼╩╚╼╩╏┯┵ Cap Style
C2 - Regress Lens
C2L - Regress Lens, Long
PERF - Perforated Cap
116 - 6W, 12° 142 - 10W, 21°
117 - 6W, 21° 142 - 10W, 21°
118 - 6W, 41° 143 - 10W, 41° MR16 Halogen: 1
0 - None
01 - ESX, 20W, 42°
02 - BAB, 20W, 40°
03 - FRB, 35W, 12°
11 - EXX, 50W, 26°
04 - FRA, 35W, 23°
12 - FNV, 50W, 60° Powder Coat Finishes:
BLT - Textured Black
BMT - Textured Bronze BN - Bronze
BAT - Textured Bark
GRT - Textured Green
GMT - Textured Green
GMT - Textured Green
EAT - Textured Sand
BE - Beige
PAT - Textured Farith
EAT - Textured Farith Retrofit MR16 LED (3000K, 90 CRI): 3,4,5 Allowable wattage depends on model and application. See Certification heading above.
 Only two lens options can be used. Other color temperatures available as a special order.
 Only power LED lamp options with approved transform 4. Only prived ECD ainly uploars wan approved assistances. Contact V3 for transformer and dimmer compatibility into).
5. Use only approved Retroff IMR/6 LED lamps and supplied heat sink mount, otherwise LED may overheat.
6. Specifications, certifications, and ordering information are subject to change. Please check website for latest specification sheets.

Example: DL3B - POL - C2 - 01 - 0 - F2 - H1 50.5 petitional land are subject to change. Please check website for latest specification sheets.

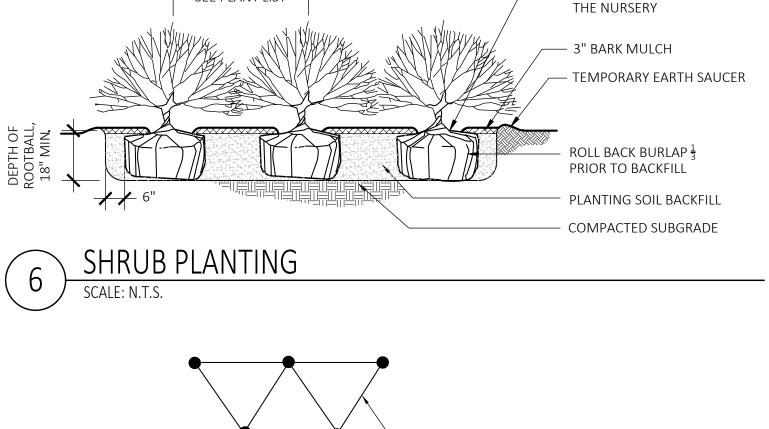
©2005 - 2020 Vision3 Lighting® P.O. Box 607, Fowler, CA 93625 (559) 834-5749 (559) 834-4779 fax www.vision3lighting.com

SCALE: 1" = N.T.S.



Arcluce North America Inc., 4000 MacArthur Blvd, Suite 600, Newport Beach, CA 92660, Mail: export@arcluce-us.com

BL2 LIGHT SCALE: 1" = N.T.S.



MAINTAIN ORIGINAL GRADE OF

TRANSPLANTING AS EXISTED AT

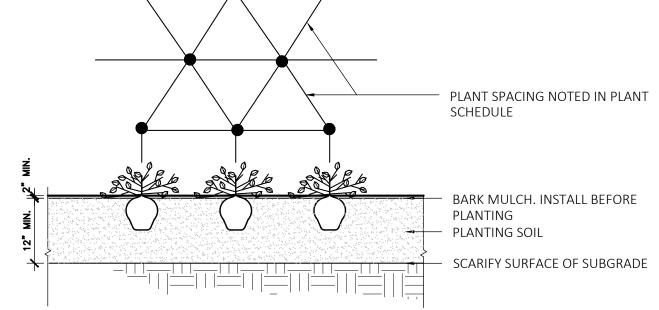
PLANTING:

UTILITIES.

NURSERY STOCK.

CALIPER

ROOT FLARE AFTER



GROUNDCOVER PLANTING

SEE PLANT LIST



1. IMAGE FOR REFERENCE ONLY. FENCING PROVIDED BY OWNER 2. "CLASSIC PICKET" FENCE BY FENCES UNLIMITED; TEL: 603-537-0555

6' HT WOOD FENCE



1. DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND

2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN

PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.

5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.

VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.

OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.

SHALL BE PAID FOR BY THE CONTRACTOR.

TREES: SEE DETAIL; d.) SOD/SEED: 6"MIN.

ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE

3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS

4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL

6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND

7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR

8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL. STONES LARGER THAN 1". NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF

9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.

10.LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED

12.PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR

11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUNDCOVER: 6" MIN.; c.)

1. IMAGE FOR REFERENCE ONLY. FENCING PROVIDED BY OWNER

3' HT DUNE FENCE

NOT FOR CONSTRUCTION

SITE DETAILS

plot date: 3/22/2021

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED:

- 1. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
- 2. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
- 3. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 60 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:

- a. TEMPORARY SEEDING.
- b. MULCHING.
- c. JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED.

TIMING OF CONTROLS/MEASURES

OF AT LEAST THREE FEET.

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE INLET SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

SPILL CLEAN-UP & NOTIFICATION PROCEDURES

BE PREPARED TO CONTAIN SPILLS TO PREVENT SPREADING. SPILL KITS ARE RECOMMENDED TO BE KEPT ON HAND BY ANYONE WORKING ON SITE. SPILL CLEANUP MATERIALS RECOMMENDED TO BE KEPT ON HAND MAY INCLUDE; SORBENT MATERIALS SUCH AS CLAY (KITTY LITTER), POLYPROPYLENE BOOMS AND PADS, RAGS AND SAWDUST TO CONTAIN SPILLS IMMEDIATELY.

THE FOLLOWING ACTIONS ARE TO BE TAKEN IF A SPILL OCCURRENCE:

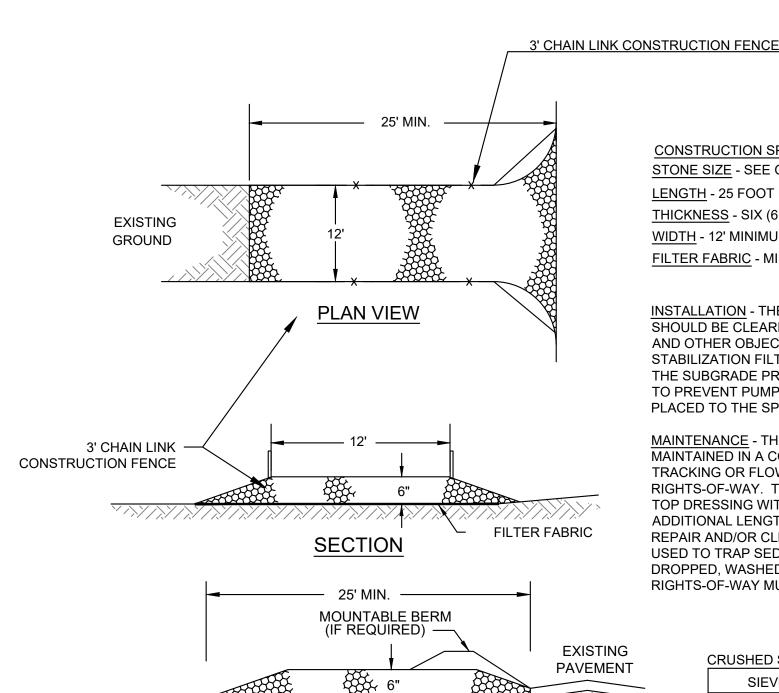
- 1. CONTAIN THE SPILL IMMEDIATELY, IF SAFE TO DO SO.
- WEAR PERSONAL PROTECTIVE EQUIPMENT (PPE), IF NECESSARY & WHEN TIME ALLOWS.
- 3. CONTAIN THE SPILL USING ABSORBENT SOCKS OR BOOMS TO MINIMIZE THE EXTENT OF THE SPILL.
- 4. PROTECT SENSITIVE RECEPTORS SUCH AS DRAINS, STORM DRAINS, SURFACE WATER BODIES, AND MINIMIZE THE AMOUNT
- 5. BLOCK OFF THE SPILL AREA WITH "CAUTION" TAPE. THE AREA SHOULD CONSIST OF THE ENTIRE SPILL AREA PLUS A BUFFER
- 6. FOR SPILLS LESS THAN 5 GALLONS ON AN IMPERVIOUS SURFACE, ATTEMPT TO CONFINE AND CLEAN THE SPILL.
- 7. FOR SPILLS GREATER THAN 5 GALLONS, ATTEMPT TO CONFINE AND CALL A REMEDIATION CONTRACTOR IF ASSISTANCE IS REQUIRED WITH PRODUCT RECOVERY AND CONTAINMENT.
- CORROSIVE SPILLS SHOULD BE NEUTRALIZED USING AN APPROPRIATE NEUTRALIZING AGENTS.
- 9. CLEAN UP THE SPILL FROM THE PERIMETER INWARD USING AN APPROPRIATE ABSORBENT (CLAYS, PADS, PILLOWS, ETC).
- 10. COLLECT ALL CONTAMINATED MEDIA IN DRUMS, IF QUANTITIES PERMIT.
- 11. CLEAN ALL REUSABLE EQUIPMENT USING RAGS AND CLEANERS APPROPRIATELY.
- 12. DISPOSE OF ALL DISPOSABLE EQUIPMENT (e.g. PPE) IN DRUMS.
- 13. WASH HANDS AND OTHER BODY SURFACES THAT MAY HAVE CONTACTED THE SPILLED MATERIAL.
- 14. AFTER THE SPILL HAS BEEN CLEANED UP, PROVIDE WRITTEN DOCUMENTATION OF THE SPILL AND REPORT TO THE CITY, IF REQUIRED.

ADDITIONAL NOTES FOR WINTER CONSTRUCTION

- 1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.
- AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

WASTE DISPOSAL

- WASTE MATERIALS
- A. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- 2. HAZARDOUS WASTE
 - A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE
 - A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

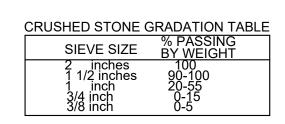


PROFILE

CONSTRUCTION SPECIFICATIONS STONE SIZE - SEE GRADATION TABLE <u>LENGTH</u> - 25 FOOT MINIMUM. THICKNESS - SIX (6) INCHES (MINIMUM). <u>WIDTH</u> - 12' MINIMUM FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL.

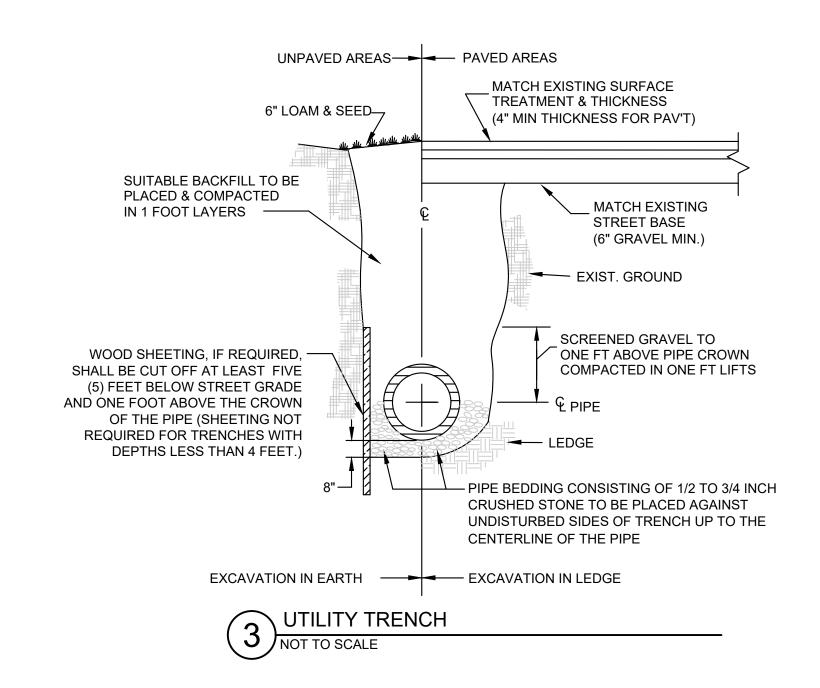
INSTALLATION - THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SUBGRADE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



CONSTRUCTION ENTRANCE NOT TO SCALE

· FILTER FABRIC



STABILIZED CONSTRUCTION ENTRANCE

1. SPECIFICATIONS

- A. AGGREGATE SIZE: USE 1.5-INCH TO 3-INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- B. AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
- C. WIDTH: TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS.
- D. LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET.
- E. GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.

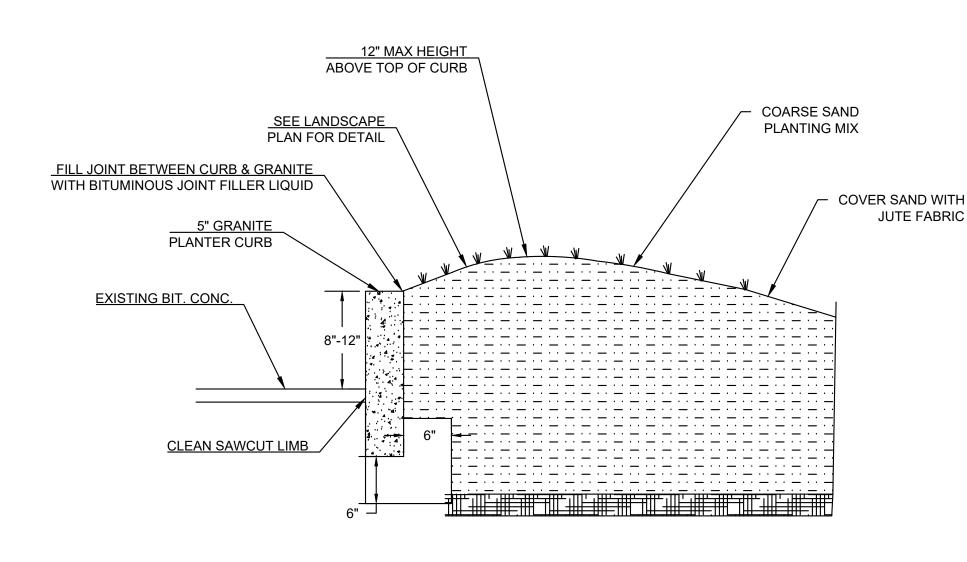
MAINTENANCE

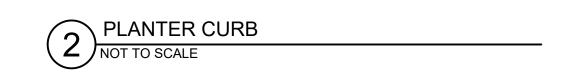
A. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

WASTE DISPOSAL

WASTE MATERIALS

- A. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
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 - A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.





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BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD	
NEWBURY, MA.	
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PROJEC	CT INFO	
1	PEER REVIEW RESP.	2-24-21
REV	DESCRIPTION	DATE



STAMP:

NEWBURY PLANNING BOARD APPROVAL

THIS IS TO CERTIFY THAT ON / / ,

I RECEIVED FROM THE PLANNING BOARD

PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED

NO NOTICE OF ANY APPEAL FROM SAID

CERTIFICATION OF ITS APPROVAL OF THIS

DATE

DECISION.

CIVIL

SHEET NAME:

DR BY: MCH CHK BY: SBS

> PROJ NO: 20-067 DATE: 1/6/21

SCALE: NTS