



SITE PLAN REVIEW  
"PLUM ISLAND SUNSET CLUB"  
2 OLD POINT RD  
NEWBURY, MASSACHUSETTS

PREPARED FOR:  
PLUM ISLAND PROPERTIES, LLC  
14 PLUM ISLAND BLVD.  
NEWBURY, MA 01951

## PROJECT LOCATION

2 OLD POINT RD - NEWBURY  
MAP U02, LOT 153  
MAP U02, LOT 154

## OWNER OF RECORD

MAP U02, LOT 153:  
VINCENT GODIN  
8R OLD POINT RD,  
NEWBURY, MA

MAP U02, LOT 154  
THE COTTAGES COMMERCIAL LLC  
2 OLD POINT RD,  
NEWBURY, MA



2 OLD POINT ROAD  
MAP U02 - LOT 154

ZONING DISTRICT RA-G / P/OD			
	ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	21,636 SF	21,626 SF
FRONTAGE	125'	268.9'	268.9'
SETBACK (SIDE/REAR)	10'	4.9'	62.0'
SETBACK (STREET)	20'	13.5'	13.5' n.c.
MAX. HEIGHT	35'	20' +/-	15' +/- n.c.
LOT COVERAGE	20%	16.7%	0.7%
FAR	25%	15.2%	0.7%

8R OLD POINT ROAD  
MAP U02 - LOT 153

ZONING DISTRICT RA-G / PID			
	ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	21,442 SF	21,442 SF
FRONTAGE	125'	143.2'	143.2'
SETBACK (SIDE/REAR)	10'	21.8'/*0	21.8' n.c./*0 n.c
SETBACK (STREET)	20'	20.7'/*10.5	20.7' n.c./*10.5 n.c.
MAX. HEIGHT	35'	22' +/-	22' +/- n.c.
LOT COVERAGE	20%	11.4%	11.4% n.c.
FAR	25%	13.2%	13.2% n.c.

\* OFFSETS TO RESIDENTIAL STRUCTURE TO REMAIN

\* THE SITE IS LOCATED WITHIN A PLUM ISLAND OVERLAY DISTRICT

PARKING	
REQUIRED	163 SEATS X 0.3 = 48.9 ( 49 PARKING SPACES)
	5 EMPLOYEES REQ. ( 5 PARKING SPACES)
PROVIDED	54 SPACES

## SHEET INDEX

<u>SHEET NO.</u>	<u>TITLE</u>
T1	TITLE SHEET
C100	EXISTING CONDITIONS PLAN
C101	LAYOUT & MATERIALS PLAN
C201	EROSION CONTROL PLAN
C501	CIVIL DETAILS
C502	CIVIL DETAILS
A110	FLOOR PLAN
A112	ARCHITECTURAL SITE PLAN
A200	EXTERNAL ELEVATION
A210	BUILDING SITE/SECTIONS
L1	MATERIALS, PLANTING & LIGHTING PLAN
L2	PHOTOMETRIC PLAN
L3	SITE DETAILS

NEWBURY PLANNING BOARD APPROVAL

DATE \_\_\_\_\_

THIS IS TO CERTIFY THAT ON / / ,  
I RECEIVED FROM THE PLANNING BOARD  
CERTIFICATION OF ITS APPROVAL OF THIS  
PLAN AND THAT DURING THE (20) TWENTY  
DAYS NEXT FOLLOWING, I HAVE RECEIVED  
NO NOTICE OF ANY APPEAL FROM SAID  
DECISION.

CLERK \_\_\_\_\_ DATE \_\_\_\_\_

NORTH



**OWNER:**  
THE COTTAGES COMMERCIAL, LLC  
14 PLUM ISLAND BLVD.  
NEWBURY, MA 01951

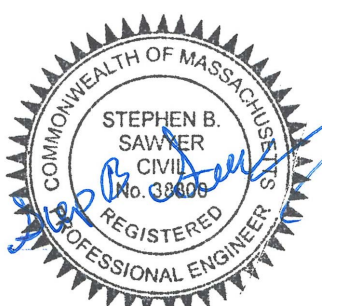
ARCH:  
JOE THE ARCHITECT  
343 MEDFORD ST, SUITE 4C  
SOMERVILLE, MA 02145

**LANDSCAPE:**  
MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC  
732 EAST BROADWAY #3  
BOSTON, MA 02127

## PROJECT TEAM

2 OLD POINT RD  
NEWBURY, MA.

## PROJECT INFO

[illegible]

STAMP:

# TITLE SHEET

SHEET NAME:

# T1

SHT NO:

DR BY: MH

CHK BY: SBS

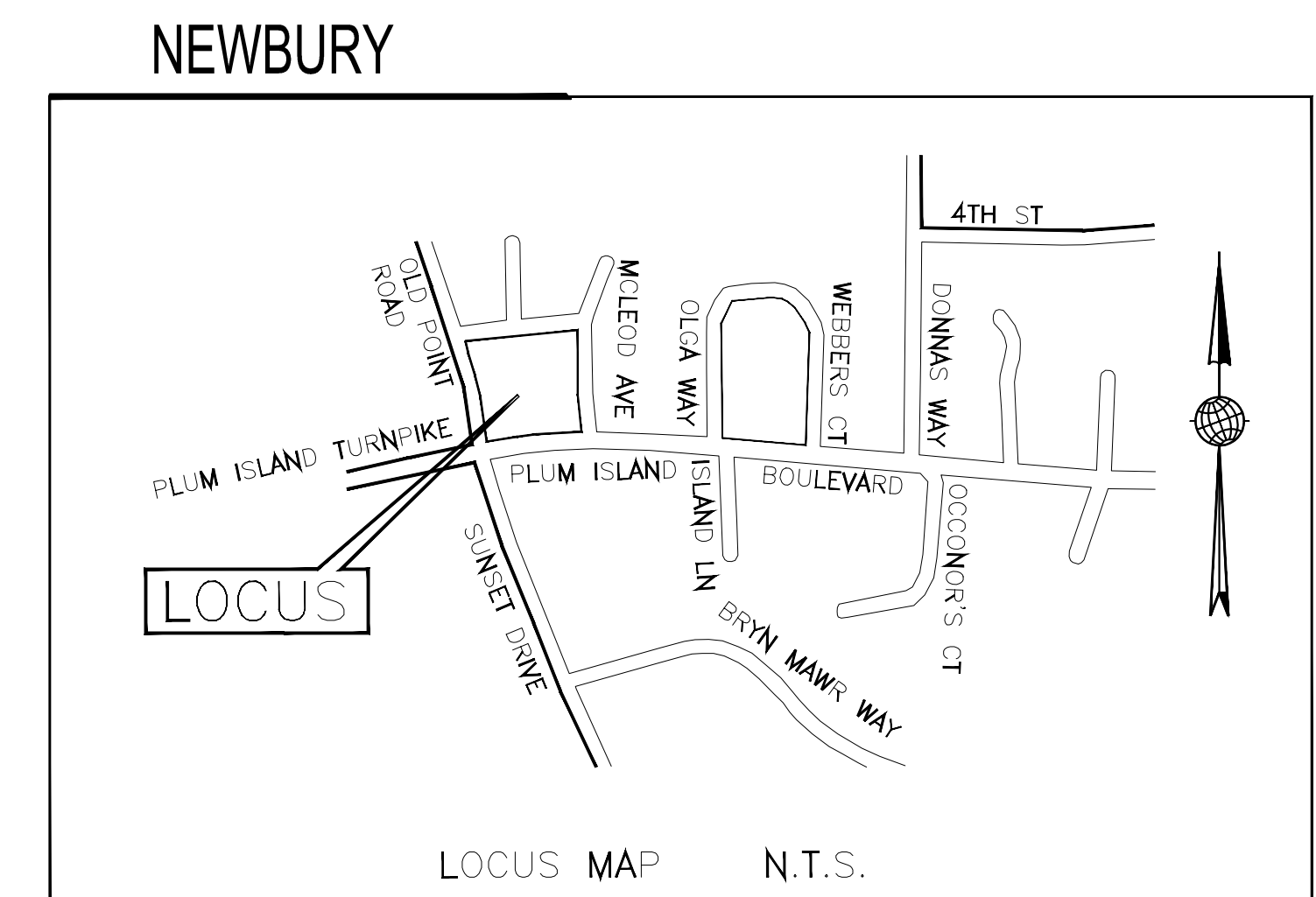
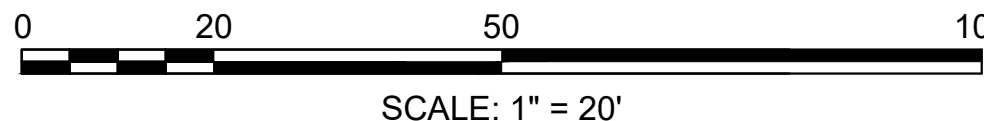
PROJ NO: 20-067

DATE: 1/6/21

SCALE: NTS

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### GENERAL NOTES

THE EXISTING CONDITIONS PLAN WAS PROVIDED BY PLUM ISLAND PROPERTIES AND COMPLETED BY HANCOCK ASSOCIATES DATED AUGUST 20, 2020. THE SURVEY WAS PROVIDED TO PLUM ISLAND PROPERTIES FOR OBTAINING PERMITS AND LOCAL APPROVALS ONLY. PLUM ISLAND PROPERTIES IS USING THIS EXISTING CONDITIONS PLAN FOR THESE PURPOSES ONLY.

UNDERGROUND WATER AND SEWER INFORMATION WAS ADDED TO THE PLAN BY DESIGN CONSULTANTS INC.  
BASED UPON CITY OF NEWBURYPORT PLAN INFORMATION AND SURFACE FEATURES.

THE SUBJECT PROPERTY LIES WITHIN ZONE AE13 OF THE FEMA FLOOD HIGH HAZARD ZONE AS SHOWN ON FEMA MAP 25009C0137G, EFFECTIVE DATE JULY 16, 2014.

THE OWNERSHIP OF ABUTTING PARCELS WERE UPDATED BASED UPON THE TOWN OF NEWBURY GIS AND ASSESSOR'S RECORDS

THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988

EXISTING DWELLING #10 LOCATION WAS ADDED TO THE PLAN BY ON GROUND SURVEY COMPLETED BY CAMMETT ENGINEERING

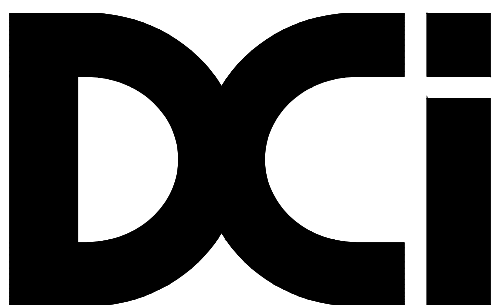
NEWBURY PLANNING BOARD APPROVAL

DATE \_\_\_\_\_

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CERTIFICATION OF ITS APPROVAL OF THIS  
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DAYS NEXT FOLLOWING, I HAVE RECEIVED  
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DECISION.

CLERK \_\_\_\_\_ DATE \_\_\_\_\_

NORTH



**Design Consultants Inc.**  
Somerville - Quincy - Newburyport  
[www.dci-ma.com](http://www.dci-ma.com)

**OWNER:**  
THE COTTAGES COMMERCIAL, LLC  
14 PLUM ISLAND BLVD.  
NEWBURY, MA 01951

**ARCH:**  
JOE THE ARCHITECT  
343 MEDFORD ST, SUITE 4C  
SOMERVILLE, MA 02145

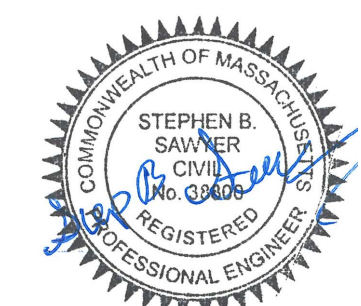
**LANDSCAPE:**  
MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC  
732 EAST BROADWAY #3  
BOSTON, MA 02127

## PROJECT TEAM

2 OLD POINT RD  
NEWBURY, MA.

## PROJECT INFO

1	PEER REVIEW RESP.	2-24-21
REV	DESCRIPTION	DATE



STAMP:

## EXISTING CONDITIONS PLAN

SHEET NAME:

# C100

SHT NO:

DR BY: MCH

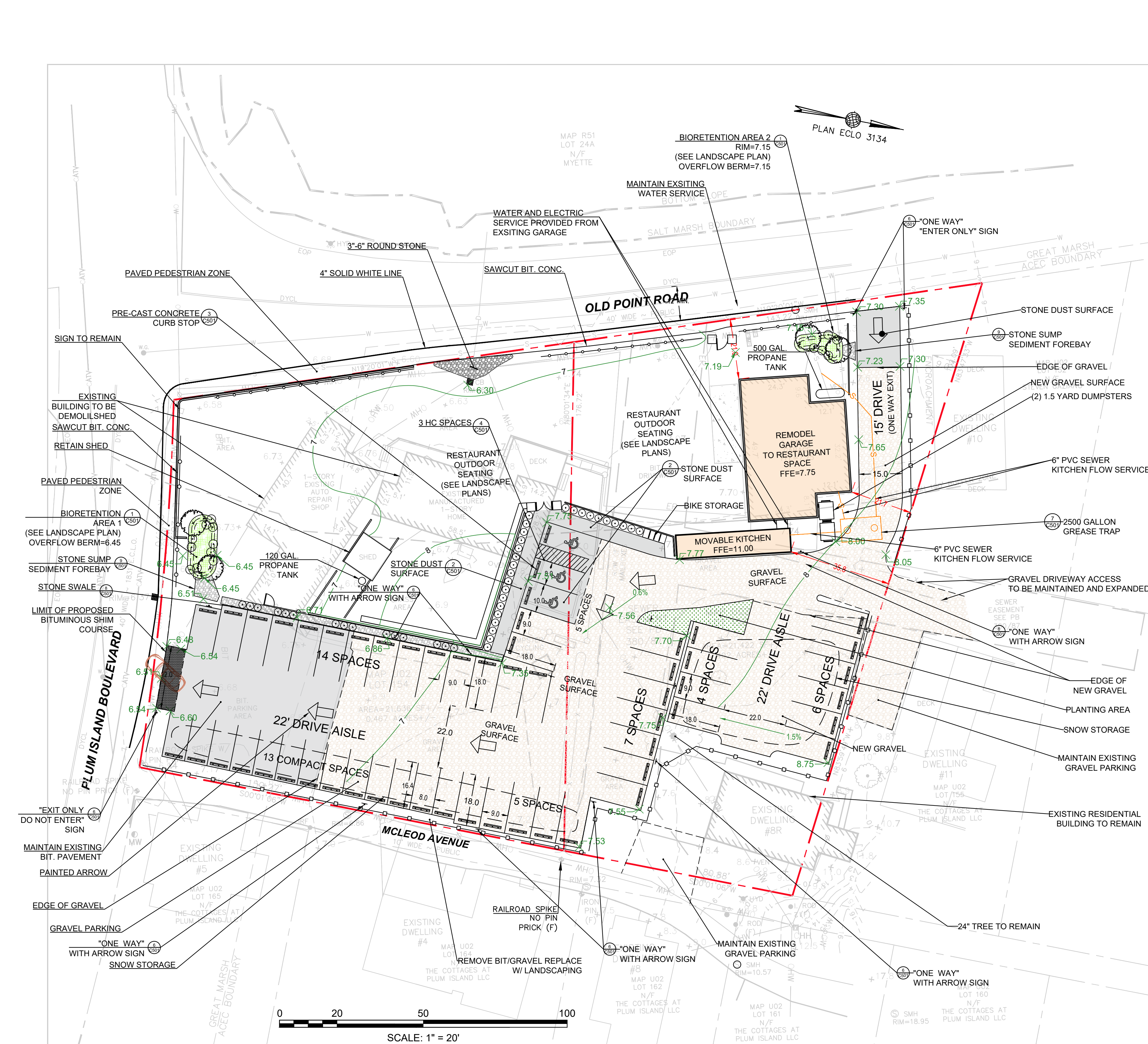
CHK BY: SBS

PROJ NO: 20-067

DATE: 1/6/21

SCALE: 1" = 20'





ZONING DISTRICT RA-G / PIDO			
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LOT AREA	40,000 SF	21,442 SF	21,442 SF
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PROVIDED	5 EMPLOYEES REQ. (5 PARKING SPACES)
	54 SPACES

LEGEND  
EXISTING:

CS	COMBINED SEWER & DRAIN	W	WATER LINE
S	SANITARY SEWER	OH	ELECTRIC LINE
D	DRAIN LINE	G	GAS LINE
W	WATER LINE	T	TELEPHONE LINE
OH	ELECTRIC LINE	ST	STEAM LINE
G	GAS LINE	SM	SANITARY MANHOLE
T	TELEPHONE LINE	DM	DRAIN MANHOLE
ST	STEAM LINE	UM	UNKNOWN MANHOLE
SM	SANITARY MANHOLE	EM	ELECTRIC MANHOLE
DM	DRAIN MANHOLE	TM	TELEPHONE MANHOLE
UM	UNKNOWN MANHOLE		
EM	ELECTRIC MANHOLE		
TM	TELEPHONE MANHOLE		

PROPOSED:

WV	WATER GATE
G.G.	GAS GATE
TP	TEST PIT
S	STOCKADE
S	SEWER LINE
GS	GAS LINE
DOM	DOMESTIC WATER LINE
FIRE	FIRE SUPPRESSION LINE
ETC	ELECTRIC, TEL. & CABLE LINE
D	DRAIN LINE
+ 16.38	SPOT GRADE
- 32	CONTOUR
TC, BC	TOP OF CURB, BOTTOM OF CURB
TW, BW	TOP OF WALL, BOTTOM OF WALL
RD	CLEAN OUT
RD	ROOF DRAIN

GENERAL NOTES

ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE TOWN OF NEWBURY, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

UTILITY & DRAINAGE NOTES

- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
- CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION. THE TOWN OF NEWBURY MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE TOWN OF NEWBURY FOR THE MARKING OF NEWBURY MUNICIPAL UTILITIES.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE, CUTTING AND CAPPING OF DESIGNATED WATER AND SEWER SERVICES SHALL OCCUR AT THE MAIN IN THE STREET, BY THE CONTRACTOR, IN ACCORDANCE WITH THE TOWN OF NEWBURY STANDARDS. THE PROPOSED GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
- FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
- ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
- TEST PITS SHALL BE REQUIRED TO DETERMINE SUBSURFACE SOILS AND ESTABLISH MEAN HIGH GROUNDWATER ELEVATION PRIOR TO ORDERING AND INSTALLATION OF STORMWATER MANAGEMENT SYSTEM COMPONENTS. ADJUSTMENTS TO SYSTEM MAY BE REQUIRED PER TEST RESULTS.
- THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
- TOWN OF NEWBURY RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE TOWN OF NEWBURY DRAIN AND SEWER SYSTEMS. A DYE TEST SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
- PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE TOWN OF NEWBURY MUNICIPAL STANDARDS.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.

- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED GRAVEL

NEWBURY PLANNING BOARD APPROVAL

DATE

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CLERK DATE

NORTH



OWNER:  
THE COTTAGES COMMERCIAL, LLC  
14 PLUM ISLAND BLVD.  
NEWBURY, MA 01951

ARCH:  
JOE THE ARCHITECT  
343 MEDFORD ST, SUITE 4C  
SOMERVILLE, MA 02145

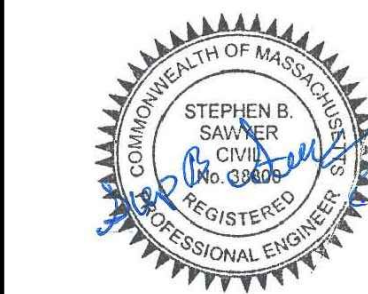
LANDSCAPE:  
MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC  
732 EAST BROADWAY #3  
BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD  
NEWBURY, MA.

PROJECT INFO

REV	DESCRIPTION	DATE
2	REVISION	3-22-21
1	PEER REVIEW RESP.	2-24-21



STAMP:

LAYOUT &  
MATERIALS  
PLAN

SHEET NAME:

C101

SHT NO:

DR BY: MCH

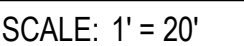
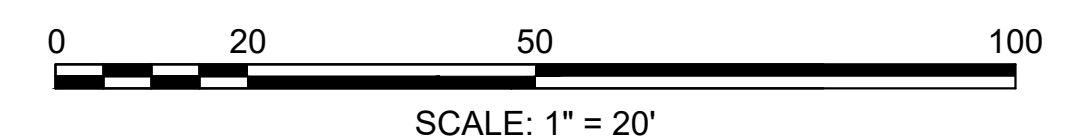
CHK BY: SBS

PROJ NO: 20-067

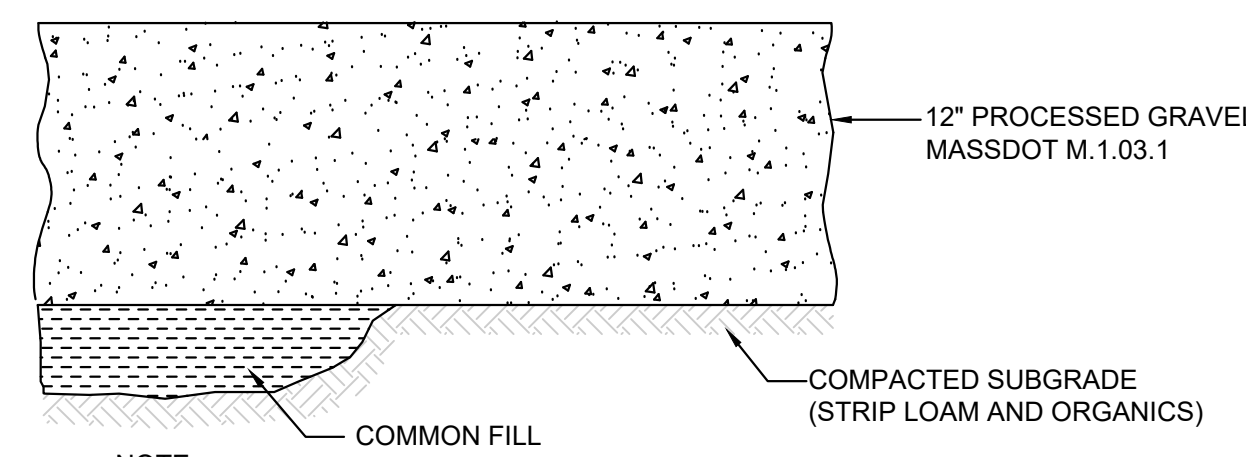
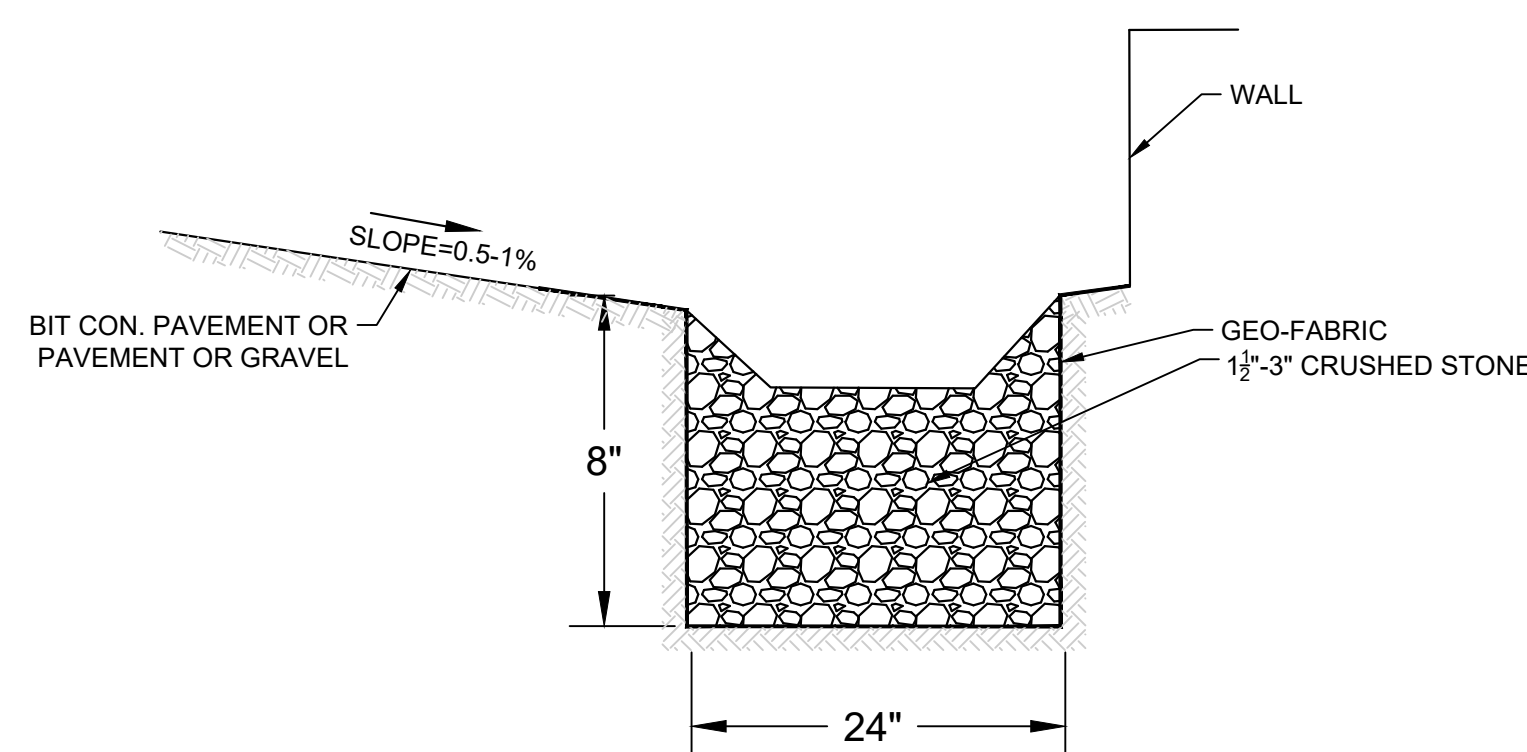
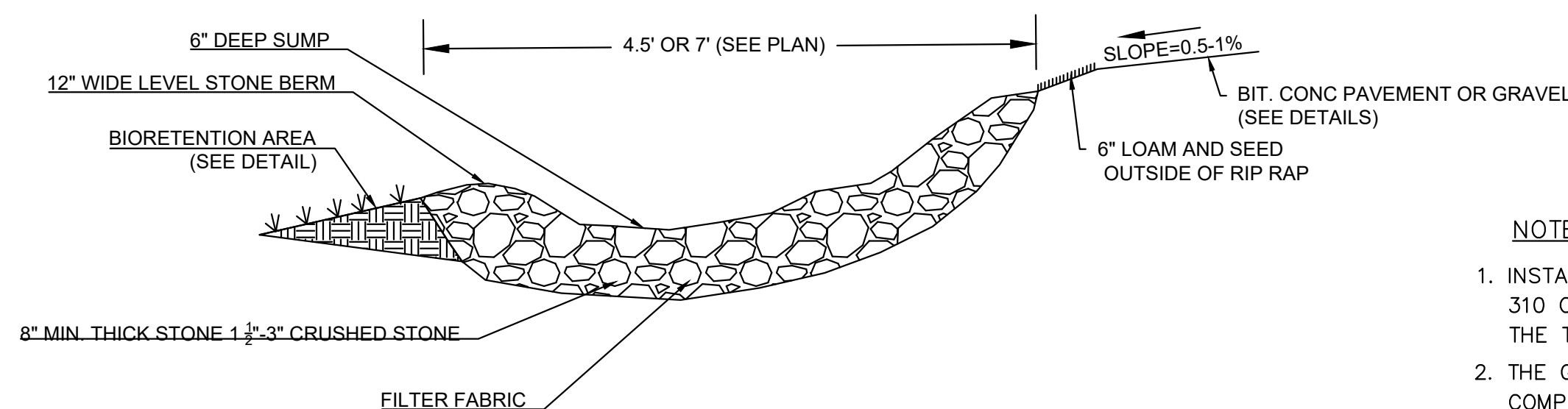
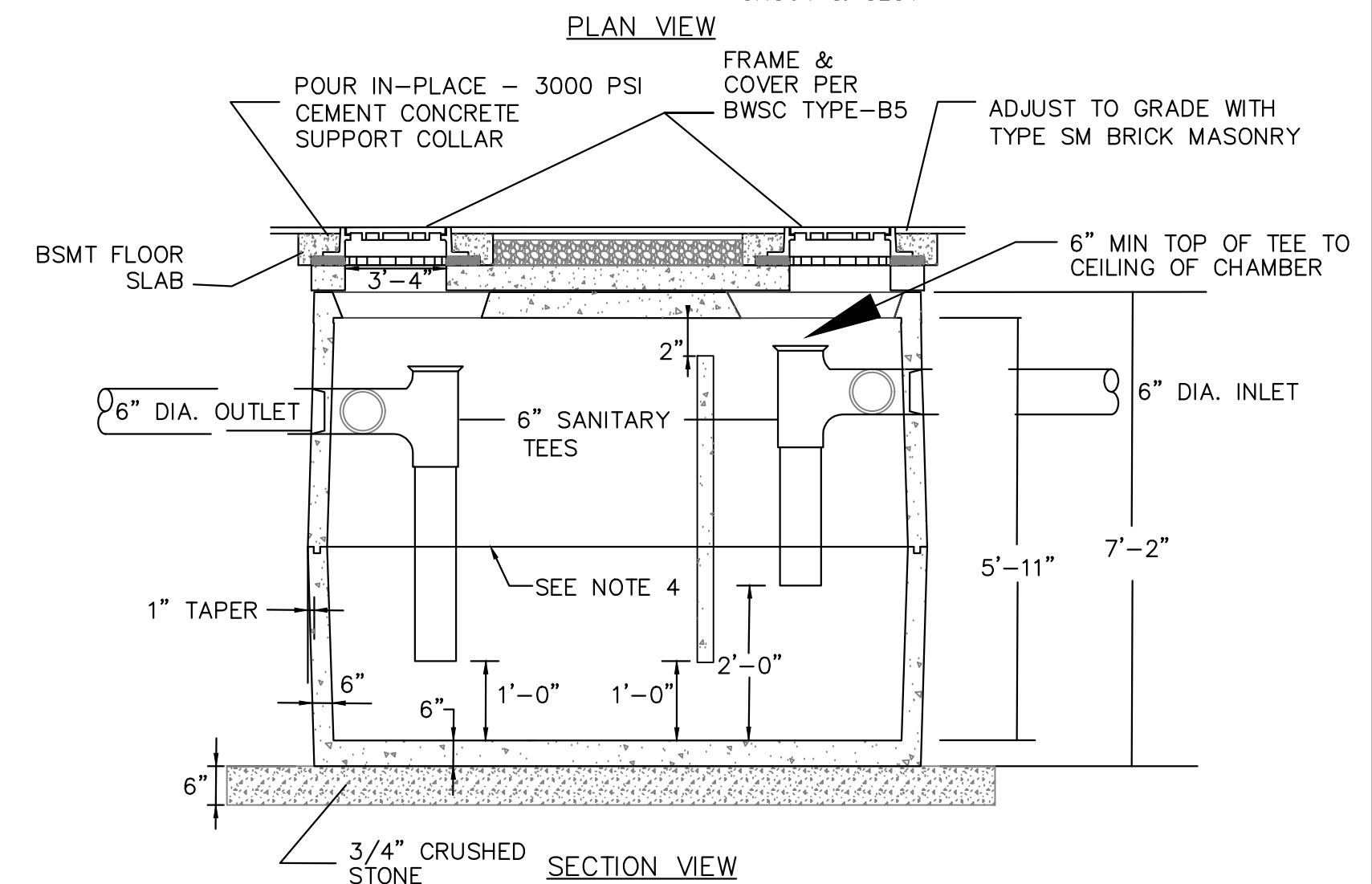
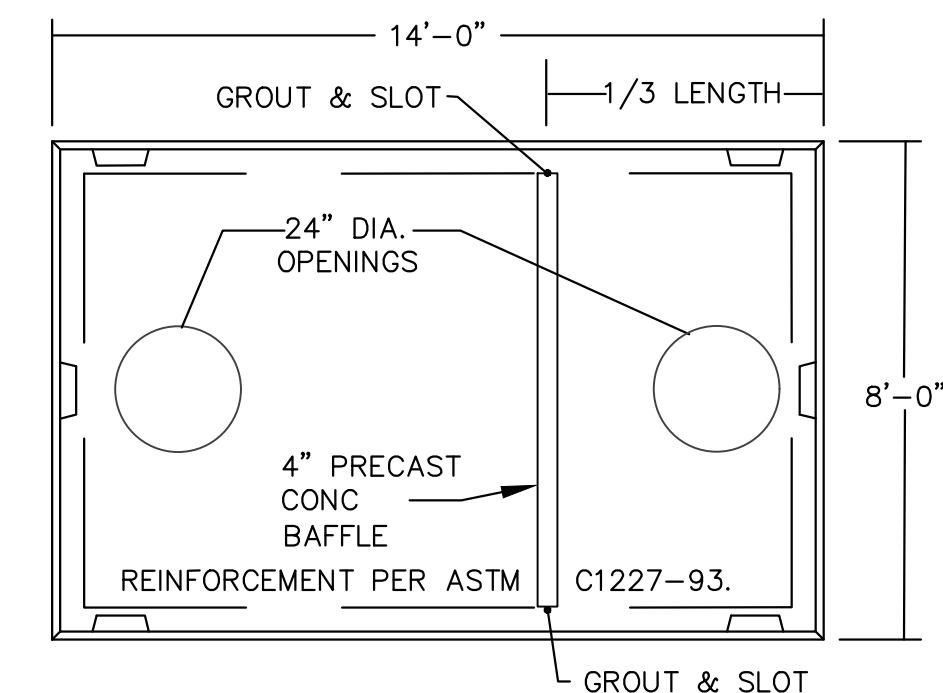
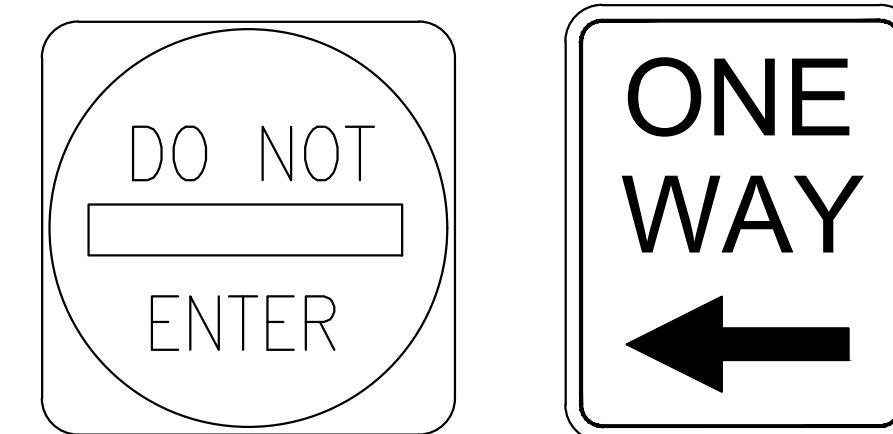
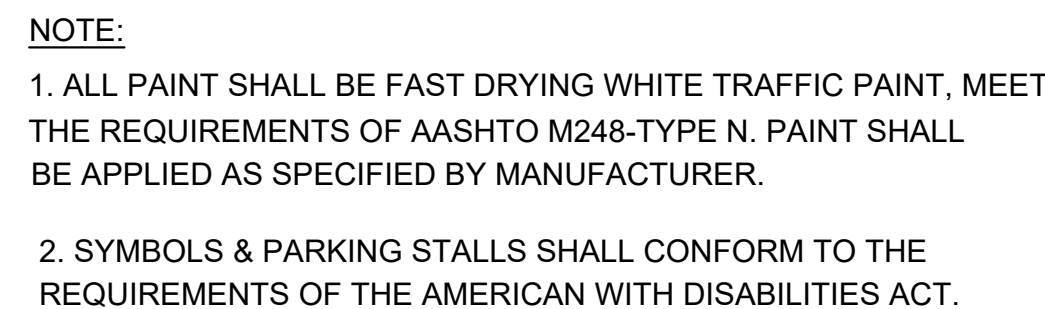
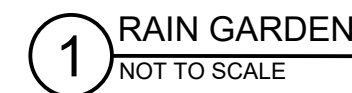
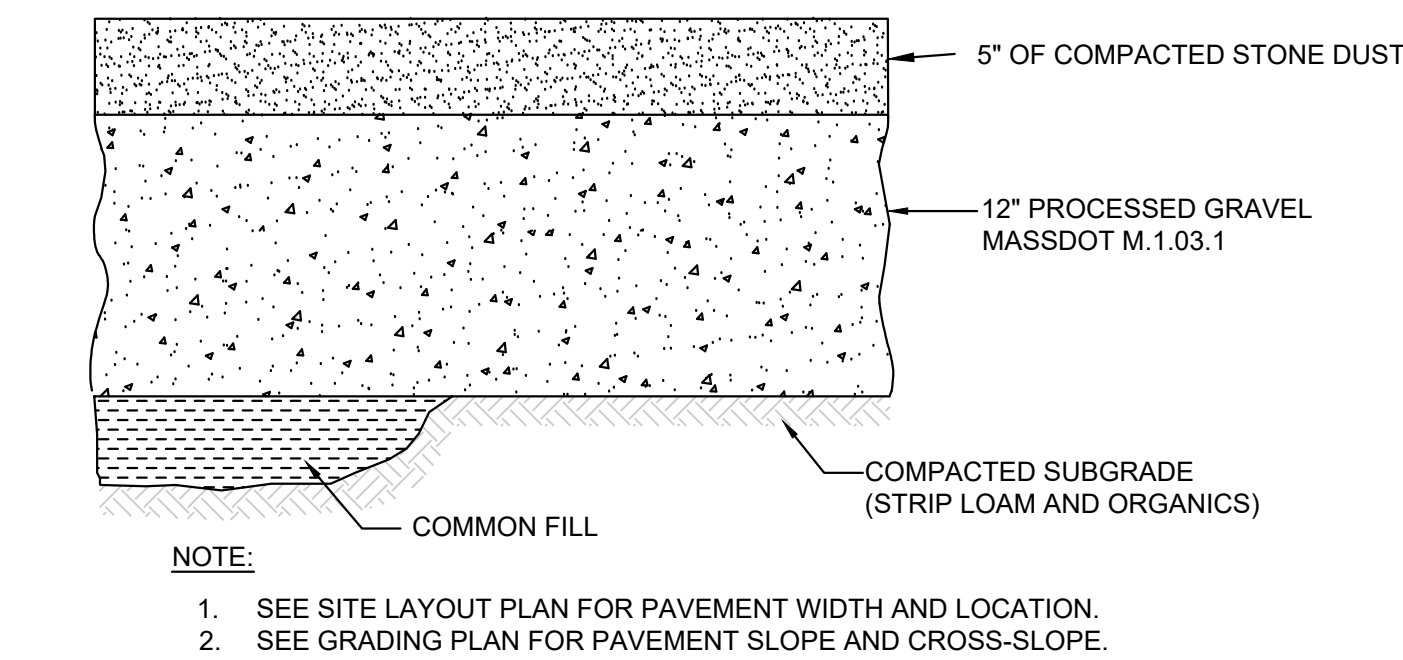
DATE: 1/6/21

SCALE: 1" = 20'









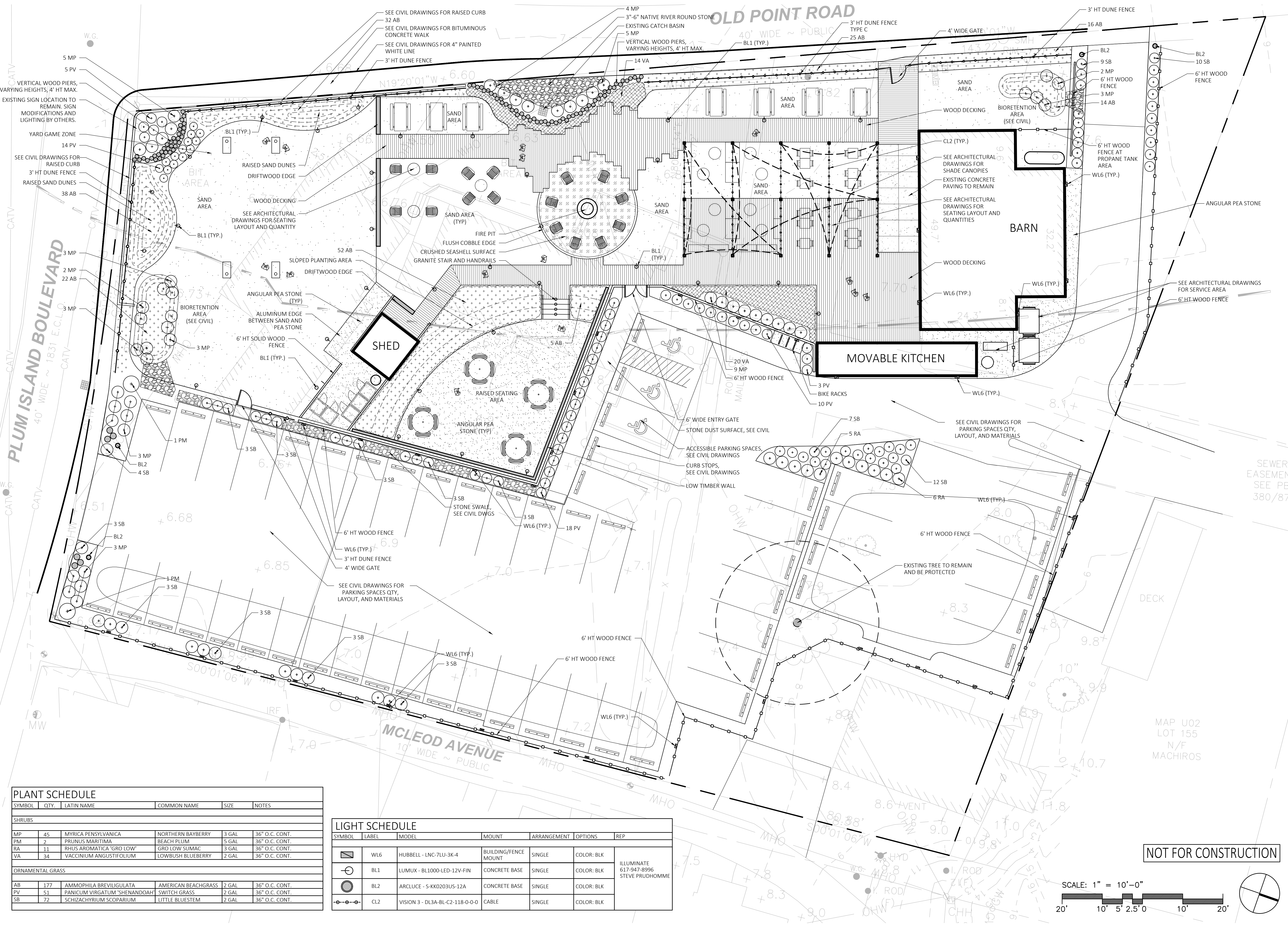
- STONE                      SECTION VIEW
- NOTES:
1. INSTALLATION OF THE GREASE TRAP SHALL COMPLY WITH TITLE 5 OF THE STATE ENVIRONMENTAL CODE 310 CMR 15.230, AND ALL APPLICABLE REGULATIONS OF THE BOSTON WATER & SEWER COMMISSION. THE TANK SHALL BE DESIGNED FOR H=20 LOADING.
  2. THE GREASE TRAP SHALL BE INSTALLED ON A STABLE LEVEL BASE THAT HAS BEEN MECHANICALLY COMPACTED ONTO WHICH 6 INCHES OF CRUSHED STONE HAS BEEN PLACED.
  3. SANITARY TEES SHALL BE SCHEDULE 40 PVC PROPERLY SUPPORTED BY A HANGER STRAP OR OTHER DEVICE.
  4. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN. PARGE INSIDE AT THE JOINT AND THE INLET AND OUTLET PIPES WITH A 1/4" LAYER OF CEMENTITIOUS TYPE WATERPROOFING MATERIAL.
  5. TEST THE TANK FOR WATERTIGHTNESS BEFORE BACKFILLING: MAINTAIN FULL WITH NO DROP IN 24 HOURS.
  6. PROVIDE TANK EXTENSIONS, RISERS AND MANHOLE FRAMES AND COVERS TO GRADE OVER THE INLET AND OUTLET TEES.
  7. SUITABLE ARRANGEMENTS TO BE MADE WITH ARCH TO ALLOW CLEANING TRUCK HOSE ACCESS DIRECT THROUGH BSMT WALL TO TRUCK PARKED OUTSIDE ON BOYLESTON STREET. PUMP LOCATED IN TANK MAY BE REQUIRED.



CLERK \_\_\_\_\_ DATE \_\_\_\_\_

SCALE: NTS





PLANT SCHEDULE

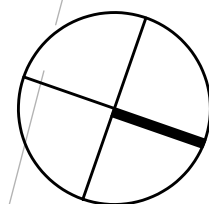
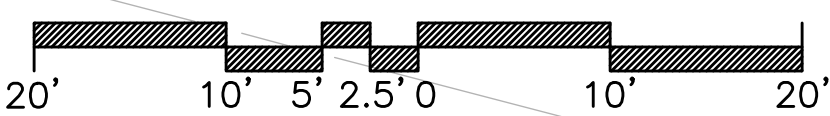
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
SHRUBS					
MP	45	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	3 GAL	36" O.C. CONT.
PM	2	PRUNUS MARITIMA	BEACH PLUM	5 GAL	36" O.C. CONT.
RA	11	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	3 GAL	36" O.C. CONT.
VA	34	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	2 GAL	36" O.C. CONT.
ORNAMENTAL GRASS					
AB	177	AMMOPHILA BREVLIGULATA	AMERICAN BEACHGRASS	2 GAL	36" O.C. CONT.
PV	51	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	2 GAL	36" O.C. CONT.
SB	72	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	2 GAL	36" O.C. CONT.

LIGHT SCHEDULE

SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
WL6	HUBBELL	LNC-7LU-3K-4	BUILDING/FENCE MOUNT	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
BL1	LUMUX	BL1000-LED-12V-FIN	CONCRETE BASE	SINGLE	COLOR: BLK	
BL2	ARCLUCE	-S-KK0203US-12A	CONCRETE BASE	SINGLE	COLOR: BLK	
CL2	VISION 3	-DL3A-BL-C2-118-0-0-0	CABLE	SINGLE	COLOR: BLK	

NOT FOR CONSTRUCTION

SCALE: 1" = 10'-0"



MDLA

MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC

732 EAST BROADWAY #3  
BOSTON, MA 02127  
T: 203.592.4788  
www.m-d-l-a.com

PLUM ISLAND PATIO  
2 OLD POINT RD  
NEWBURY, MA 01951

STAMP



REV. NO.	DATE	DESCRIPTION
01/06/21	01/06/21	PLANNING BOARD
02/24/21	02/24/21	PLANNING BOARD
03/22/21	03/22/21	PLANNING BOARD

MATERIALS,  
PLANTING,  
AND LIGHTING  
PLAN

DRAWN

CHECKED

SCALE

AS NOTED

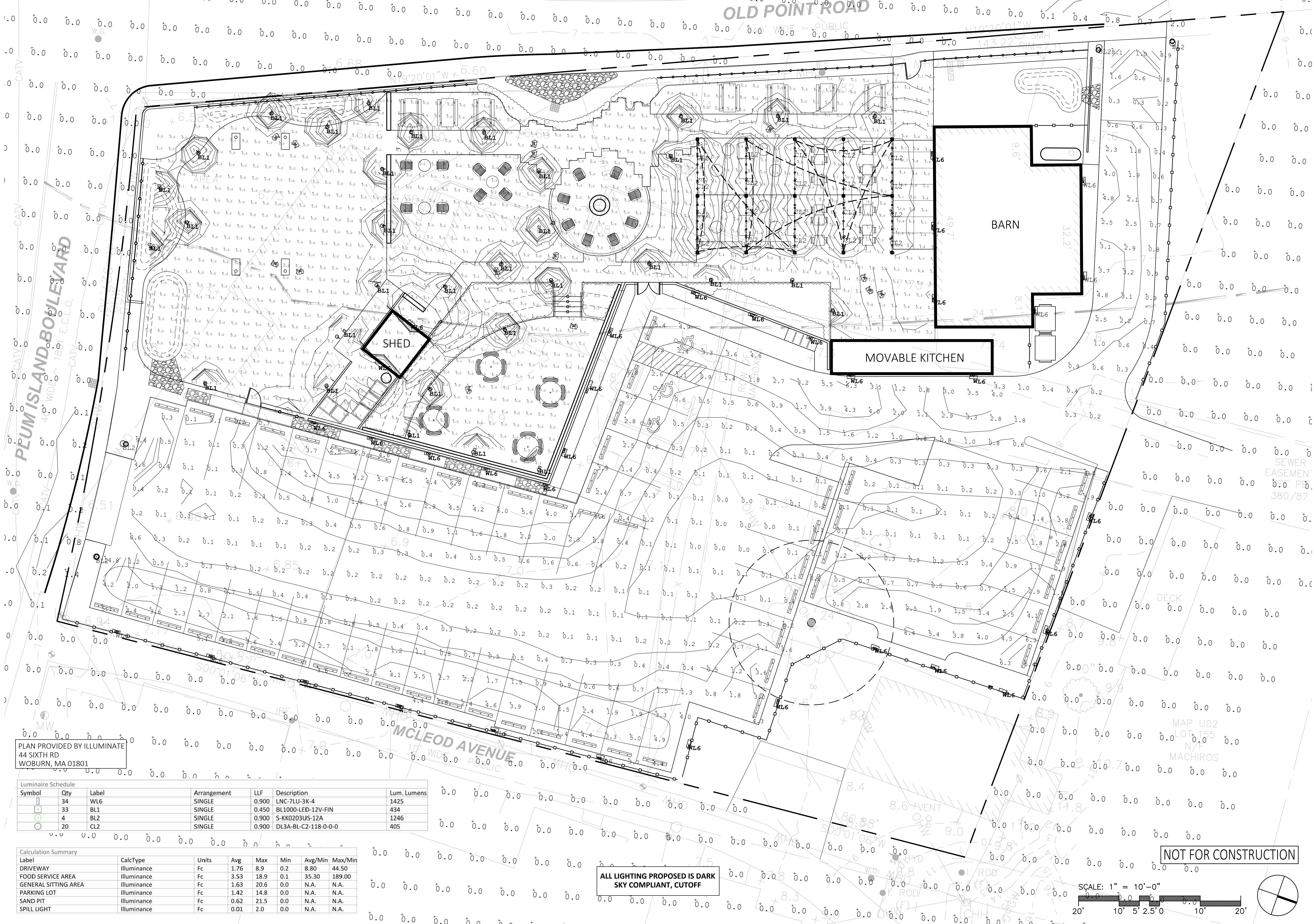
DATE

01/06/21

SHEET 1 OF 3

plot date: 3/22/2021



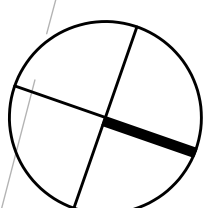
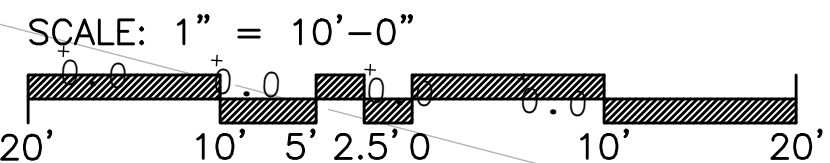


PLAN PROVIDED BY ILLUMINATE  
44 SIXTH RD  
WOBURN, MA 01801

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Lumens
	34	WL6	SINGLE	0.900	LNC-7LU-3K-4	1425
	33	BL1	SINGLE	0.450	BL1000-LED-12V-FIN	434
	4	BL2	SINGLE	0.900	S-KK0203US-12A	1246
	20	CL2	SINGLE	0.900	DL3A-BL-C2-118-0-0-0	405

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
DRIVEWAY	Illuminance	Fc	1.76	8.9	0.2	8.80 44.50
FOOD SERVICE AREA	Illuminance	Fc	3.53	18.9	0.1	35.30 189.00
GENERAL SITTING AREA	Illuminance	Fc	1.63	20.6	0.0	N.A. N.A.
PARKING LOT	Illuminance	Fc	1.42	14.8	0.0	N.A. N.A.
SAND PIT	Illuminance	Fc	0.62	21.5	0.0	N.A. N.A.
SPILL LIGHT	Illuminance	Fc	0.01	2.0	0.0	N.A. N.A.

ALL LIGHTING PROPOSED IS DARK  
SKY COMPLIANT, CUTOFF



MDLA

MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC

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PLUM ISLAND PATIO  
2 OLD POINT RD  
NEWBURY, MA 01951

SEWER  
EASEMENT  
DEED PL.  
380/87

STAMP

REV. NO.	DATE	DESCRIPTION
01/06/21	01/06/21	PLANNING BOARD
02/24/21	02/24/21	PLANNING BOARD
03/22/21	03/22/21	PLANNING BOARD

PHOTOMETRIC  
PLAN

DRAWN

CHECKED

SCALE  
AS NOTED

DATE  
01/06/21

L2

SHEET 2 OF 3

plot date: 3/22/2021



1 WL6 LIGHT  
SCALE: N.T.S.

2 BL1 LIGHT  
SCALE: 1" = N.T.S.

3) CL2 LIGHT  
SCALE: 1" = N.T.S.

4 BL2 LIGHT  
SCALE: 1" = N.T.S.

8 6' HT WOOD FENCE  
SCALE: N.T.S.

NOTES:

1. IMAGE FOR REFERENCE ONLY. FENCING PROVIDED BY OWNER

9 3' HT DUNE FENCE  
SCALE: N.T.S.

plot date: 3/22/202



1. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
2. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
3. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

- TEMPORARY SEEDING.
- MULCHING.
- JUTE MATTING.

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE INLET SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

1. CONTAIN THE SPILL IMMEDIATELY, IF SAFE TO DO SO.
2. WEAR PERSONAL PROTECTIVE EQUIPMENT (PPE), IF NECESSARY & WHEN TIME ALLOWS.
3. CONTAIN THE SPILL USING ABSORBENT SOCKS OR BOOMS TO MINIMIZE THE EXTENT OF THE SPILL.
4. PROTECT SENSITIVE RECEPTORS SUCH AS DRAINS, STORM DRAINS, SURFACE WATER BODIES, AND MINIMIZE THE AMOUNT OF UNCONTROLLED SPILL.
5. BLOCK OFF THE SPILL AREA WITH "CAUTION" TAPE. THE AREA SHOULD CONSIST OF THE ENTIRE SPILL AREA PLUS A BUFFER OF AT LEAST THREE FEET.
6. FOR SPILLS LESS THAN 5 GALLONS ON AN IMPERVIOUS SURFACE, ATTEMPT TO CONFINE AND CLEAN THE SPILL.
7. FOR SPILLS GREATER THAN 5 GALLONS, ATTEMPT TO CONFINE AND CALL A REMEDIATION CONTRACTOR IF ASSISTANCE IS REQUIRED WITH PRODUCT RECOVERY AND CONTAINMENT.
9. CORROSIVE SPILLS SHOULD BE NEUTRALIZED USING AN APPROPRIATE NEUTRALIZING AGENTS.
9. CLEAN UP THE SPILL FROM THE PERIMETER INWARD USING AN APPROPRIATE ABSORBENT (CLAYS, PADS, PILLOWS, ETC).
10. COLLECT ALL CONTAMINATED MEDIA IN DRUMS, IF QUANTITIES PERMIT.
11. CLEAN ALL REUSABLE EQUIPMENT USING RAGS AND CLEANERS APPROPRIATELY.
12. DISPOSE OF ALL DISPOSABLE EQUIPMENT (e.g. PPE) IN DRUMS.
13. WASH HANDS AND OTHER BODY SURFACES THAT MAY HAVE CONTACTED THE SPILLED MATERIAL.
14. AFTER THE SPILL HAS BEEN CLEANED UP, PROVIDE WRITTEN DOCUMENTATION OF THE SPILL AND REPORT TO THE CITY, IF REQUIRED.

1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.
2. AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

**3' CHAIN LINK CONSTRUCTION FENCE**

**CONSTRUCTION SPECIFICATIONS**  
**STONE SIZE** - SEE GRADATION TABLE  
**LENGTH** - 25 FOOT MINIMUM.  
**THICKNESS** - SIX (6) INCHES (MINIMUM).  
**WIDTH** - 12' MINIMUM  
**FILTER FABRIC** - MIRAFI 600X OR APPROVED EQUAL

**INSTALLATION** - THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION. ROOTS AND OTHER OBJECTIONABLE MATERIAL, A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SUBGRADE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS.

**MAINTENANCE** - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

**PLAN VIEW**

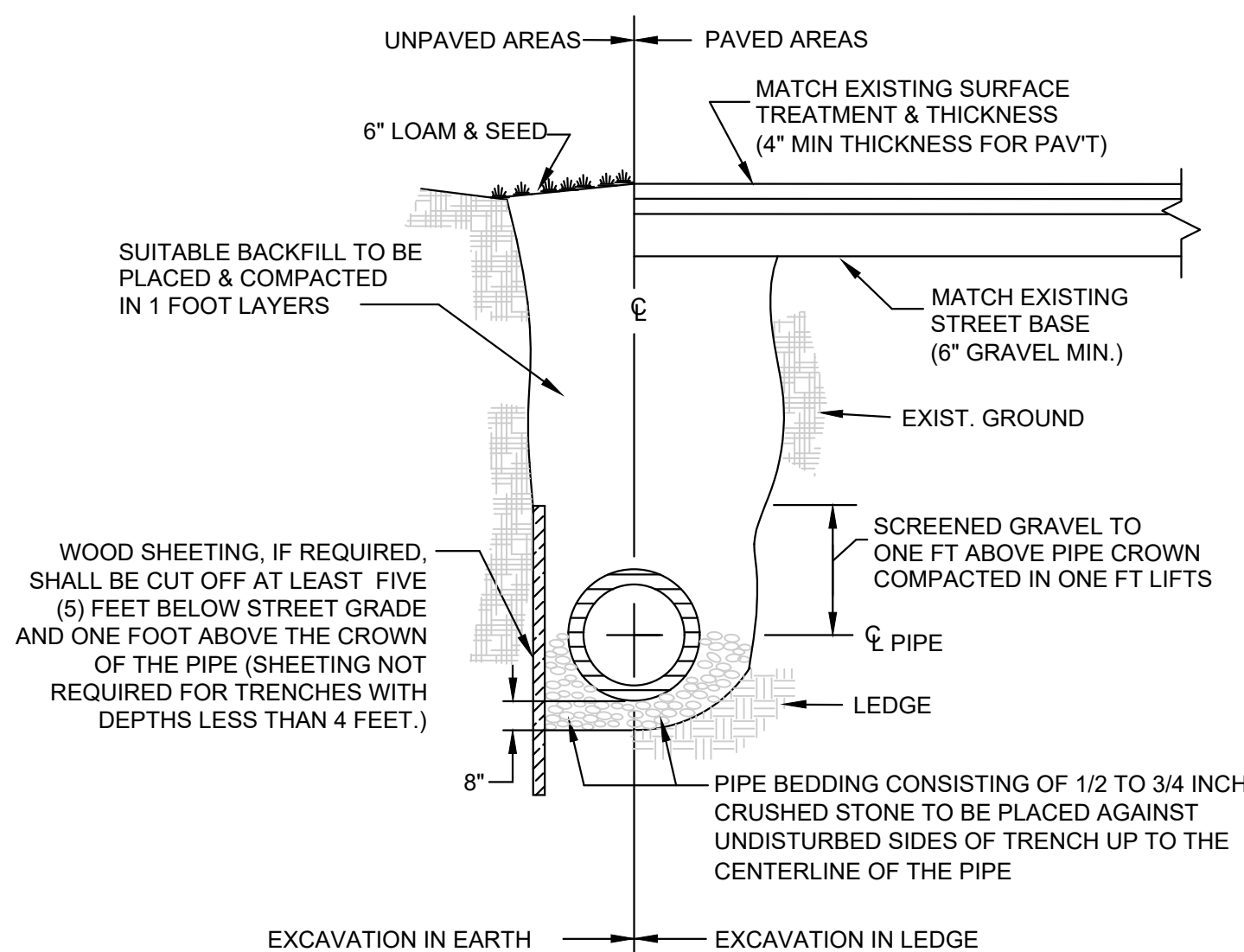
**SECTION**

**PROFILE**

**CRUSHED STONE GRADATION TABLE**

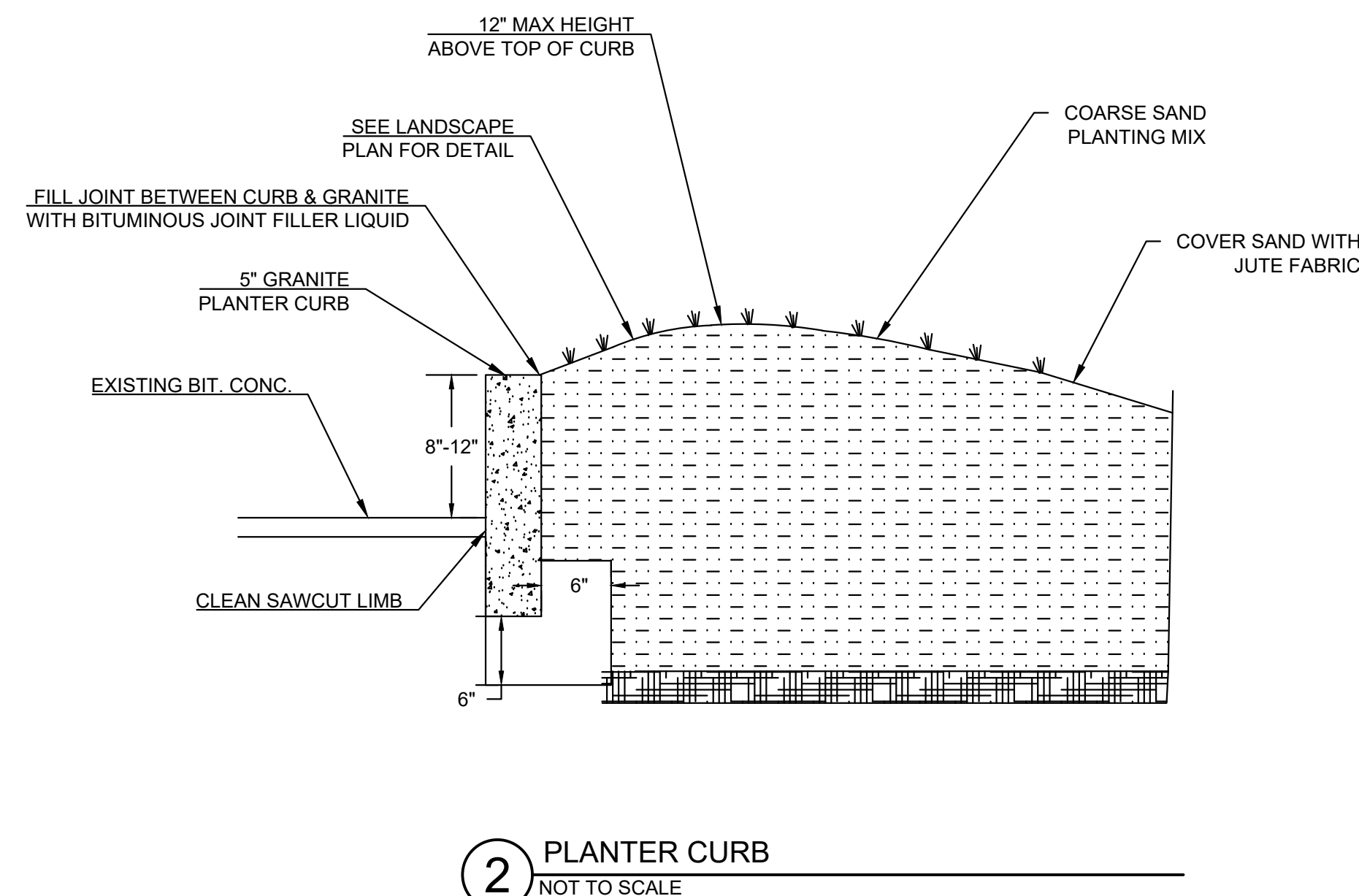
SIEVE SIZE	% PASSING BY WEIGHT
2 inches	100
1 1/2 inches	90
1 inch	20-55
3/4 inch	0-15
3/8 inch	0-5

1 CONSTRUCTION ENTRANCE  
NOT TO SCALE



3 UTILITY TRENCH  
NOT TO SCALE

A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.



2 PLANTER CURB  
NOT TO SCALE

2 OLD POINT RD  
NEWBURY, MA.

[illegible]

## CIVIL DETAILS

# C502

SCALE: NTS

DATE \_\_\_\_\_

THIS IS TO CERTIFY THAT ON / / ,  
I RECEIVED FROM THE PLANNING BOARD  
CERTIFICATION OF ITS APPROVAL OF THIS  
PLAN AND THAT DURING THE (20) TWENTY  
DAYS NEXT FOLLOWING, I HAVE RECEIVED  
NO NOTICE OF ANY APPEAL FROM SAID  
DECISION.

CLERK \_\_\_\_\_ DATE \_\_\_\_\_