



SITE PLAN REVIEW
"PLUM ISLAND SUNSET CLUB"
2 OLD POINT RD
NEWBURY, MASSACHUSETTS

PREPARED FOR:
PLUM ISLAND PROPERTIES, LLC
14 PLUM ISLAND BLVD.
NEWBURY, MA 01951

ZONING DISTRICT RA-G / PID			
	ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	21,636 SF	21,626 SF
FRONTAGE	125'	268.9'	268.9'
SETBACK (SIDE/REAR)	10'	4.9'	62.0'
SETBACK (STREET)	20'	13.5'	13.5' n.c.
MAX. HEIGHT	35'	20' +/-	15' +/- n.c.
LOT COVERAGE	20%	16.7%	0.7%
FAR	25%	15.2%	0.7%

8R OLD POINT ROAD
MAP U02 - LOT 153

ZONING DISTRICT RA-G / PIOD			
	ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	21,442 SF	21,442 SF
FRONTAGE	125'	143.2'	143.2'
SETBACK (SIDE/REAR)	10'	21.8'/*0	21.8' n.c./*0 n.c.
SETBACK (STREET)	20'	20.7'/*10.5	20.7' n.c./*10.5 n.c.
MAX. HEIGHT	35'	22' +/-	22' +/- n.c.
LOT COVERAGE	20%	11.4%	11.4% n.c.
FAR	25%	13.2%	13.2% n.c.

* OFFSETS TO RESIDENTIAL STRUCTURE TO REMAIN

* THE SITE IS LOCATED WITHIN A PLUM ISLAND OVERLAY DISTRICT

PARKING	
REQUIRED	163 SEATS X 0.3 = 48.9 (49 PARKING SPACES)
	5 EMPLOYEES REQ. (5 PARKING SPACES)
PROVIDED	54 SPACES

SHEET INDEX

<u>SHEET NO.</u>	<u>TITLE SHEET</u>
T1	
C100	EXISTING CONDITIONS PLAN
C101	LAYOUT & MATERIALS PLAN
C201	EROSION CONTROL PLAN
C501	CIVIL DETAILS
C502	CIVIL DETAILS
A110	FLOOR PLAN
A112	ARCHITECTURAL SITE PLAN
A200	EXTERNAL ELEVATION
A210	BUILDING SITE/SECTIONS
L1	MATERIALS, PLANTING & LIGHTING PLAN
L2	PHOTOMETRIC PLAN
L3	SITE DETAILS

NEWBURY PLANNING BOARD APPROVAL

DATE _____

THIS IS TO CERTIFY THAT ON / / ,
I RECEIVED FROM THE PLANNING BOARD
CERTIFICATION OF ITS APPROVAL OF THIS
PLAN AND THAT DURING THE (20) TWENTY
DAYS NEXT FOLLOWING, I HAVE RECEIVED
NO NOTICE OF ANY APPEAL FROM SAID
DECISION.

CLERK _____ DATE _____



PROJECT LOCATION

2 OLD POINT RD - NEWBURY
MAP U02, LOT 153
MAP U02, LOT 154

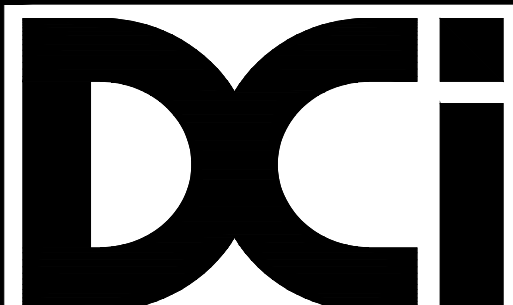
OWNER OF RECORD

MAP U02, LOT 153:
VINCENT GODIN
8R OLD POINT RD,
NEWBURY, MA

MAP U02, LOT 154
THE COTTAGES COMMERCIAL LLC
2 OLD POINT RD,
NEWBURY, MA

p:\2020 PROJECTS\2020-067 2 OLD POINT RD NEWBURY\DWG_ENGINEERING\20-067_TITL_SHEET.DWG

NORTH



Design Consultants Inc.
Somerville - Quincy - Newburyport
www.dci-ma.com

OWNER:
THE COTTAGES COMMERCIAL, LLC
14 PLUM ISLAND BLVD.
NEWBURY, MA 01951

ARCH:
JOE THE ARCHITECT
343 MEDFORD ST, SUITE 4C
SOMERVILLE, MA 02145

LANDSCAPE:
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
732 EAST BROADWAY #3
BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD
NEWBURY, MA.

PROJECT INFO

[illegible]

STAMP:

TITLE SHEET

SHEET NAME:

T1

SHT NO:

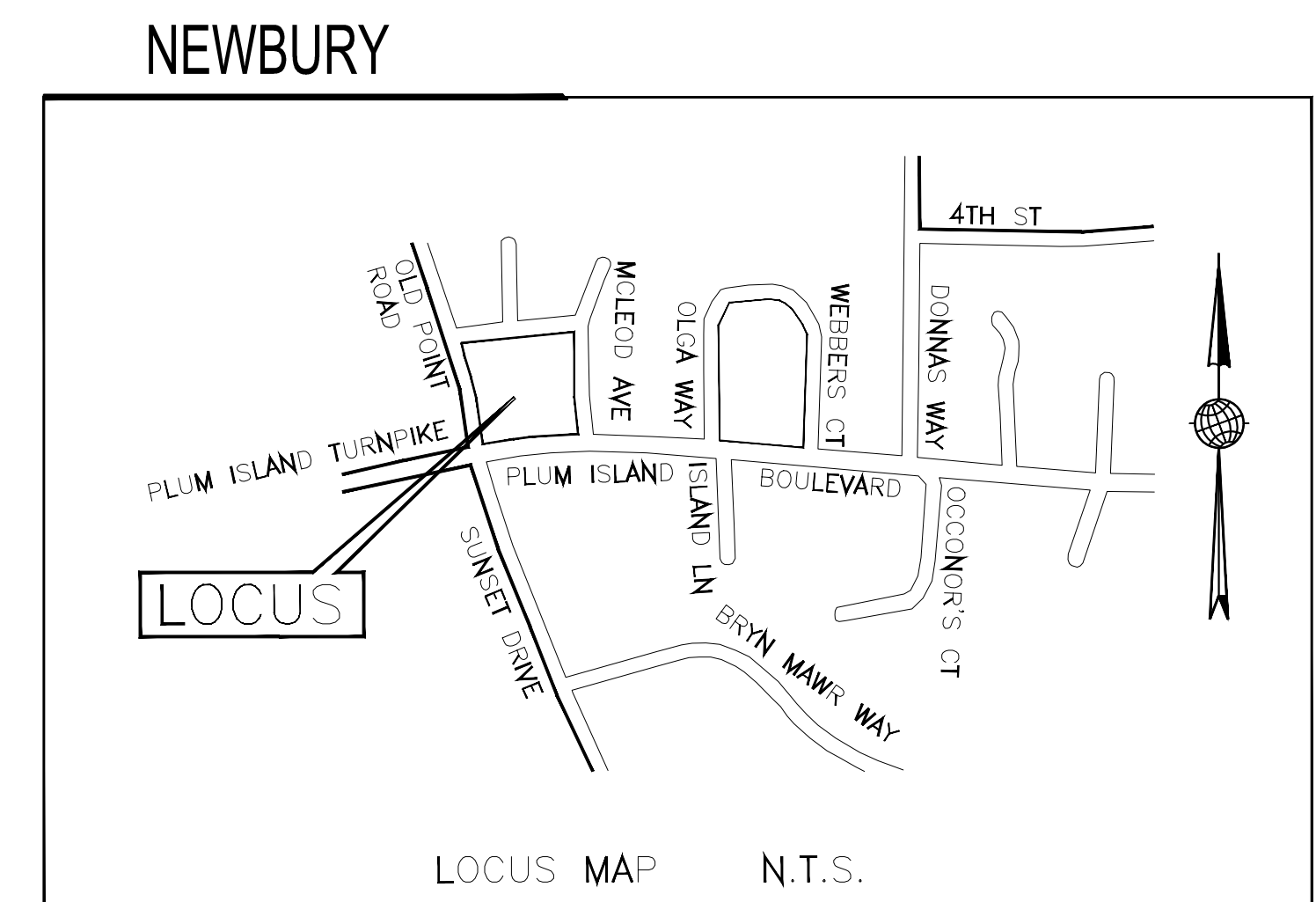
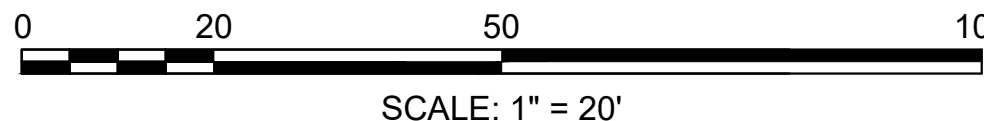
DR BY: MH

CHK BY: SBS

PROJ NO: 20-067

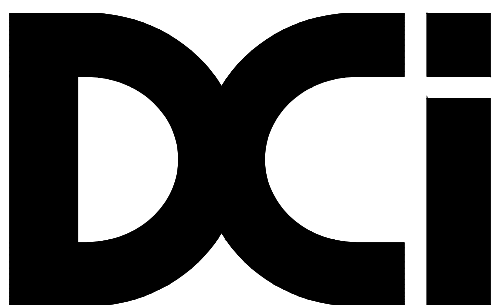
DATE: 1/6/21

SCALE: NTS



CLERK _____ DATE _____

NORTH



Design Consultants Inc.
Somerville - Quincy - Newburyport
www.dci-ma.com

OWNER:
THE COTTAGES COMMERCIAL, LLC
14 PLUM ISLAND BLVD.
NEWBURY, MA 01951

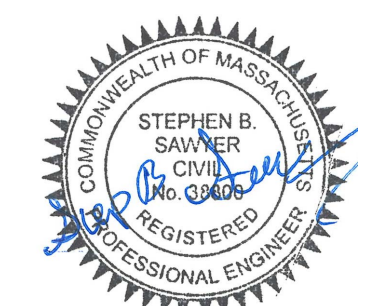
ARCH:
JOE THE ARCHITECT
343 MEDFORD ST, SUITE 4C
SOMERVILLE, MA 02145

LANDSCAPE:
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
732 EAST BROADWAY #3
BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD
NEWBURY, MA.

PROJECT INFO

[illegible]

STAMP:

EXISTING CONDITIONS PLAN

SHEET NAME:

C100

SHT NO:

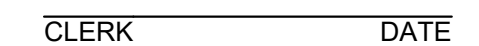
DR BY: MCH

CHK BY: SBS

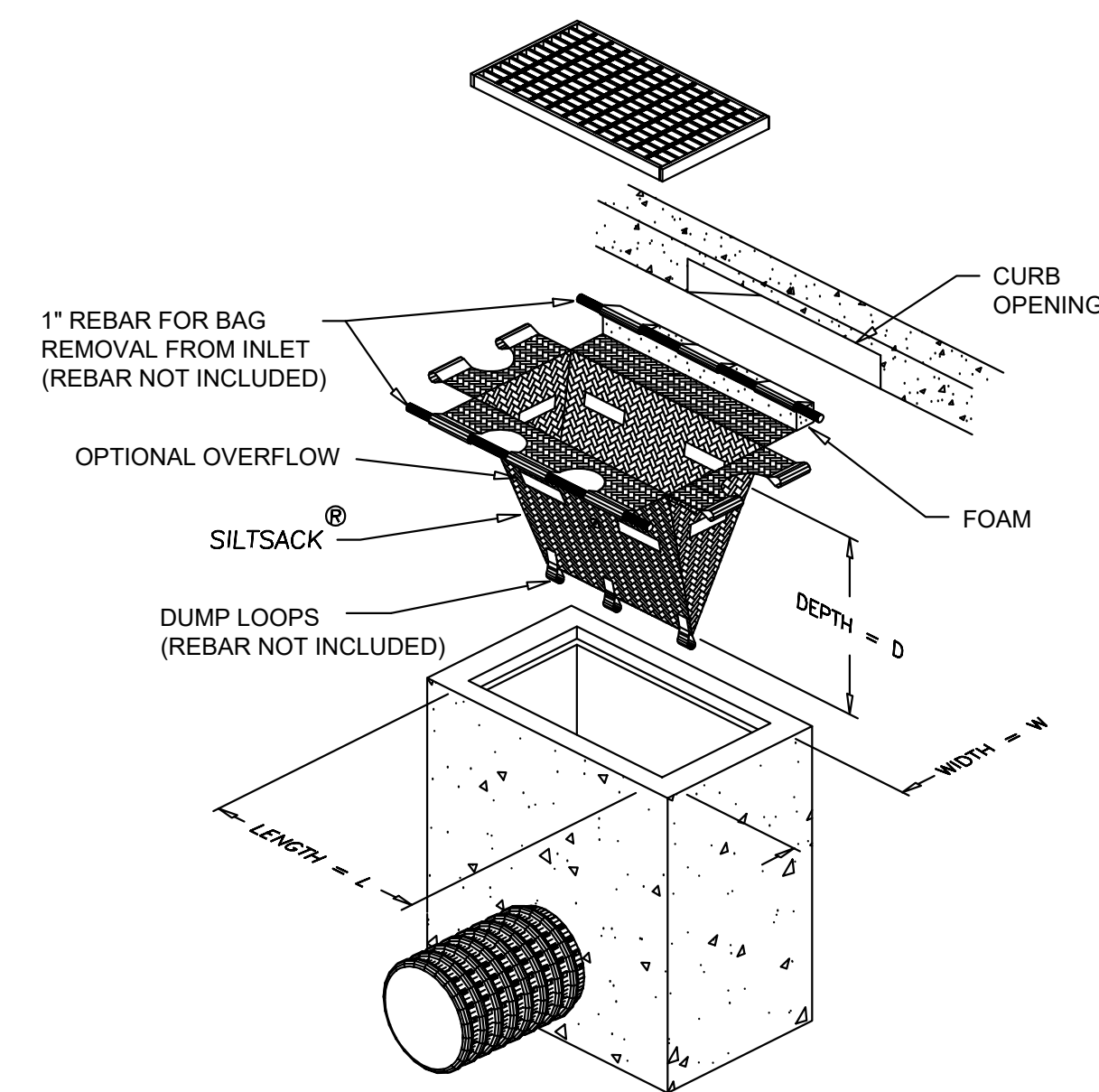
PROJ NO: 20-067

DATE: 1/6/21

SCALE: 1" = 20'



SCALE: 1" = 20'



- NOTES**
1. CATCH BASIN PROTECTION TO BE "SILTSACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES) OR EQUAL.
 2. INSERT TO BE EMPTIED AND PROPERLY DISPOSED OF WHEN IT IS 1/2 FULL OF SEDIMENT.
 3. INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.

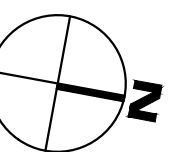
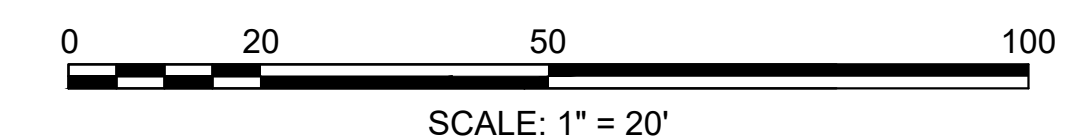
- NOTES**
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. SILTSOXX™ COMPOST/JSOIL/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

2 SILT SOCK
NOT TO SCALE

DATE _____

THIS IS TO CERTIFY THAT ON / / ,
I RECEIVED FROM THE PLANNING BOARD
CERTIFICATION OF ITS APPROVAL OF THIS
PLAN AND THAT DURING THE (20) TWENTY
DAYS NEXT FOLLOWING, I HAVE RECEIVED
NO NOTICE OF ANY APPEAL FROM SAID
DECISION.

CLERK _____ DATE _____



NORTH



Design Consultants Inc.
Somerville - Quincy - Newburyport
www.dci-ma.com

OWNER:
THE COTTAGES COMMERCIAL, LLC
14 PLUM ISLAND BLVD.
NEWBURY, MA 01951

ARCH:
JOE THE ARCHITECT
343 MEDFORD ST, SUITE 4C
SOMERVILLE, MA 02145

LANDSCAPE:
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
732 EAST BROADWAY #3
BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD
NEWBURY, MA.

PROJECT INFO

[illegible]

STAMP:

EROSION CONTROL PLAN

SHEET NAME:

C201

SHT NO:

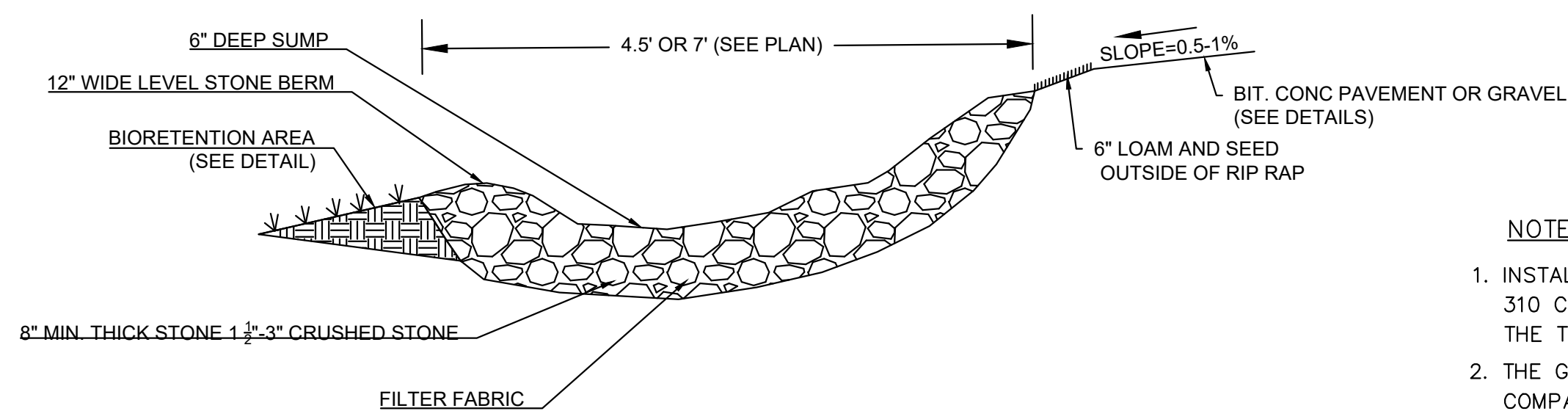
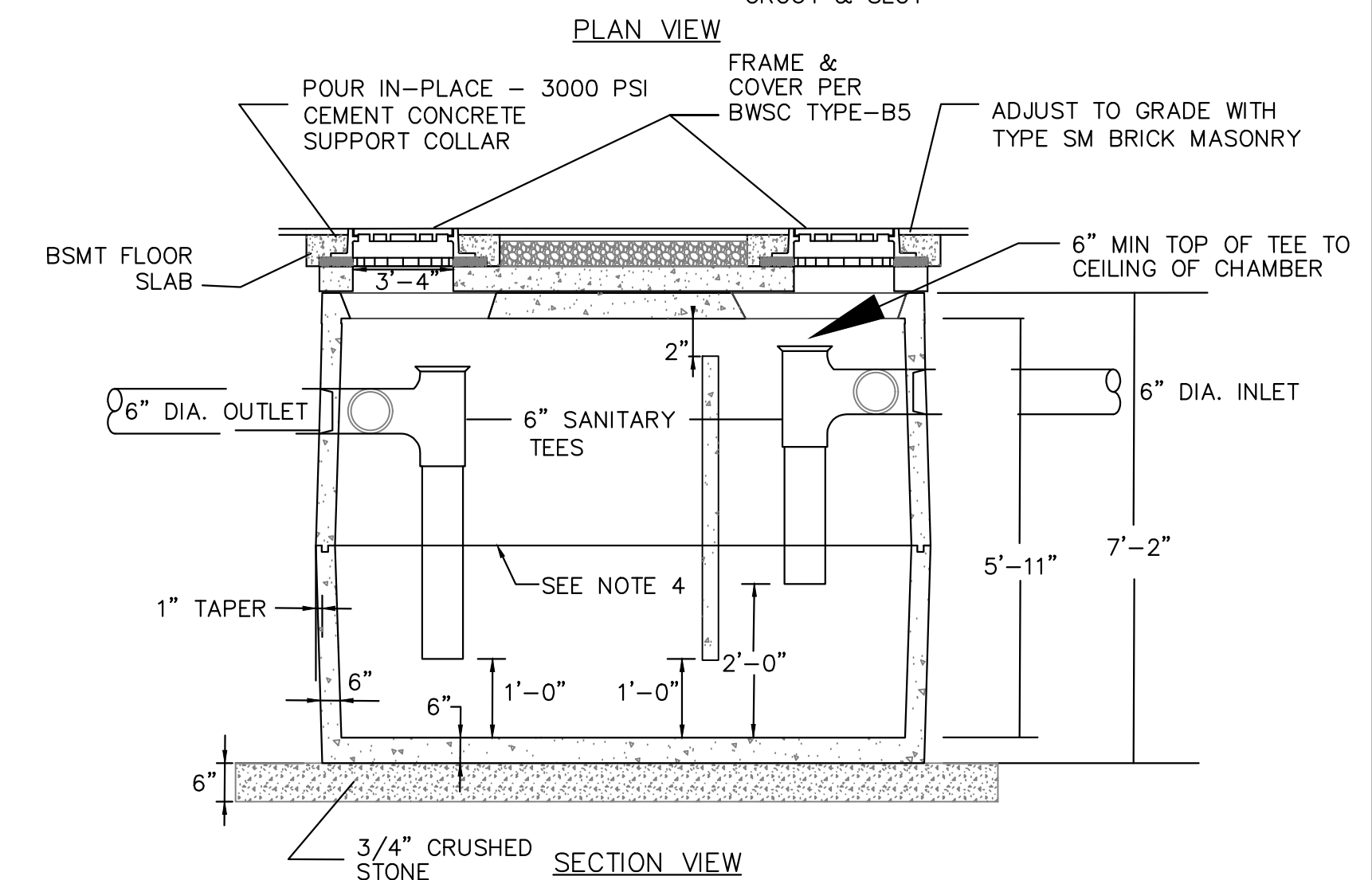
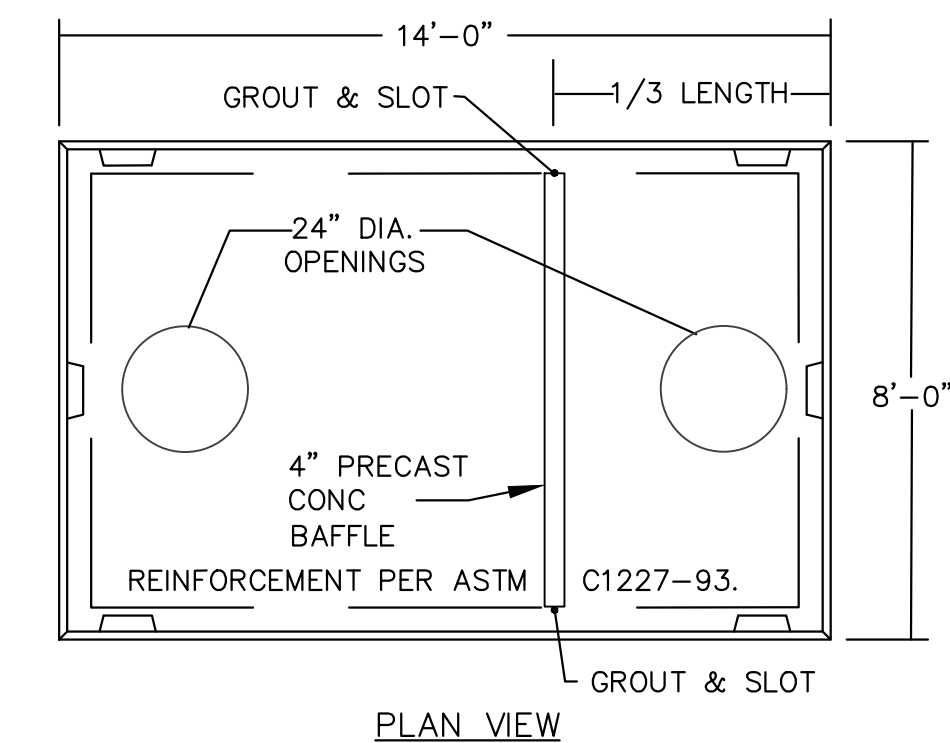
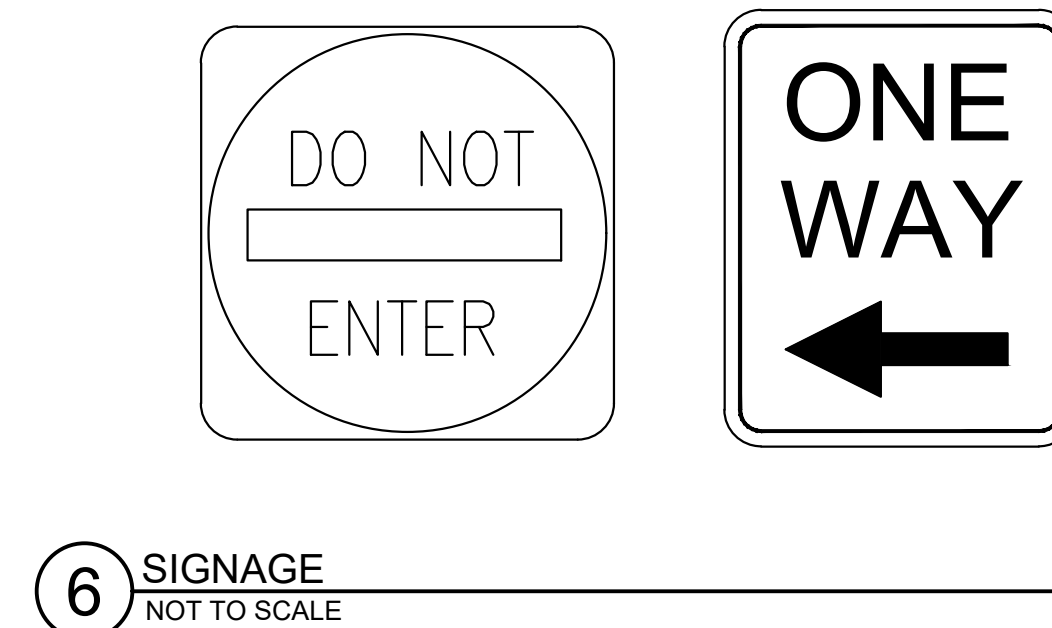
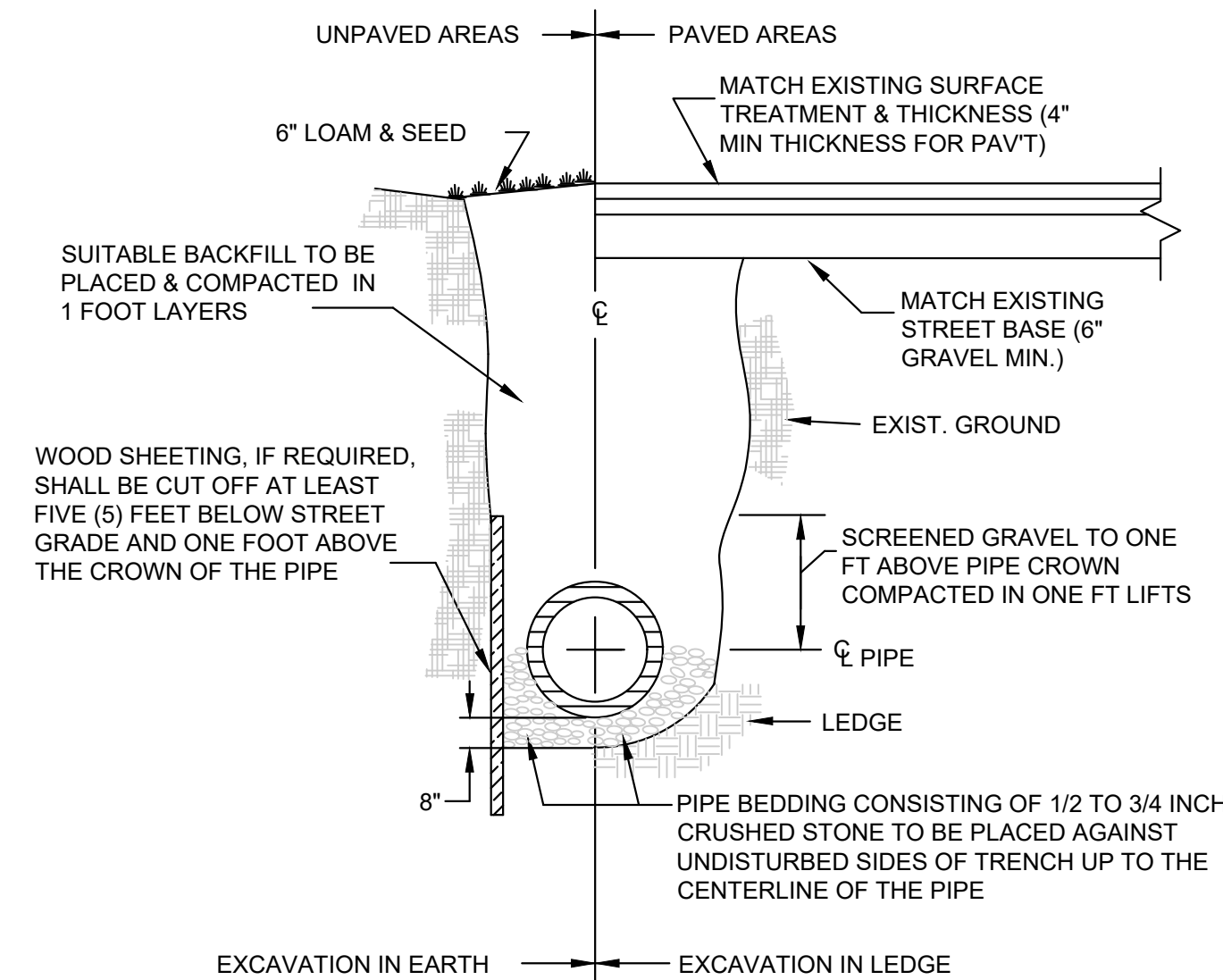
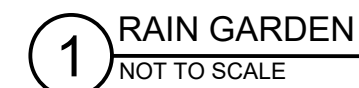
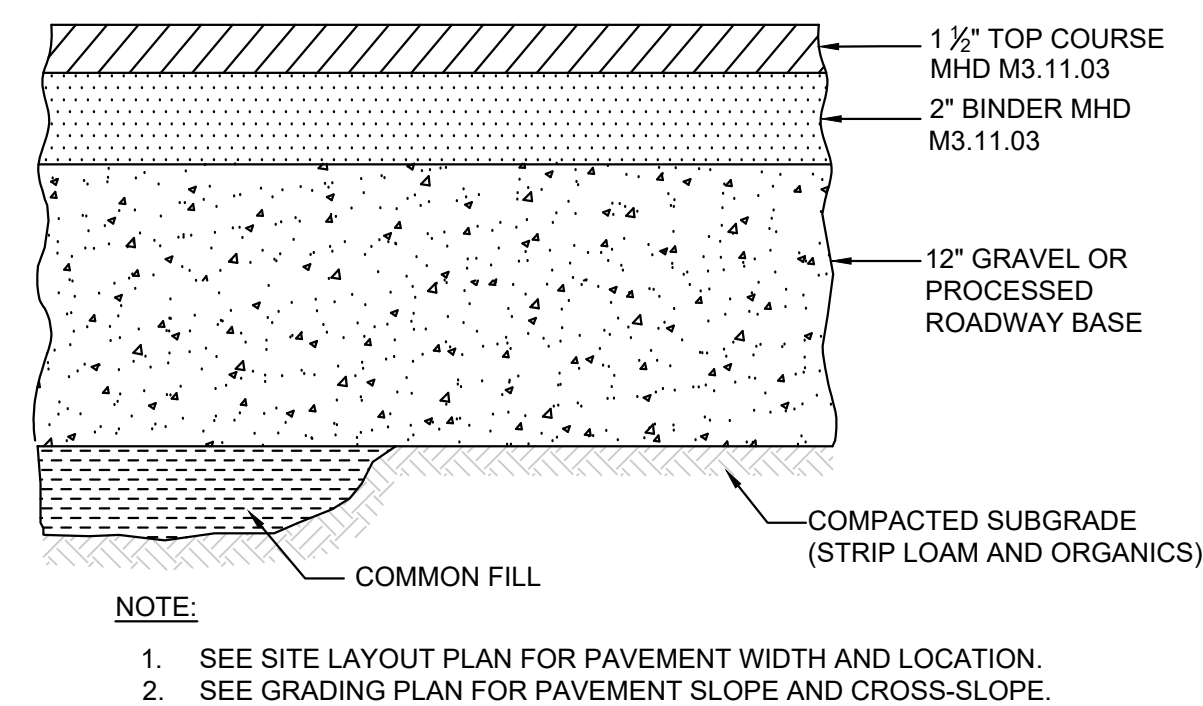
DR BY: MCH

CHK BY: SBS

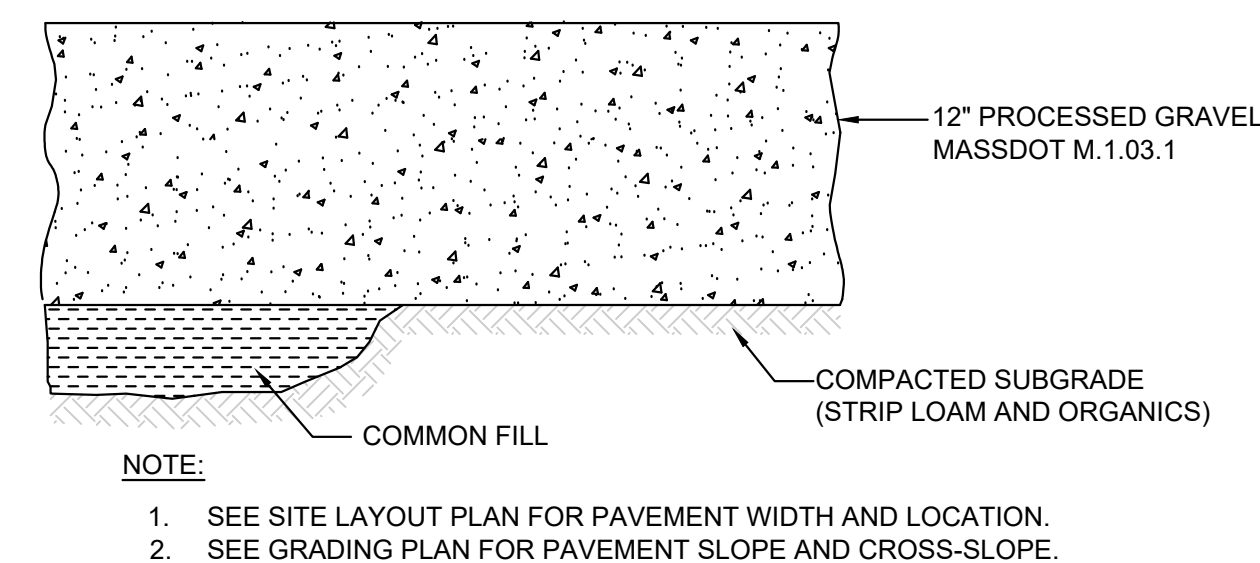
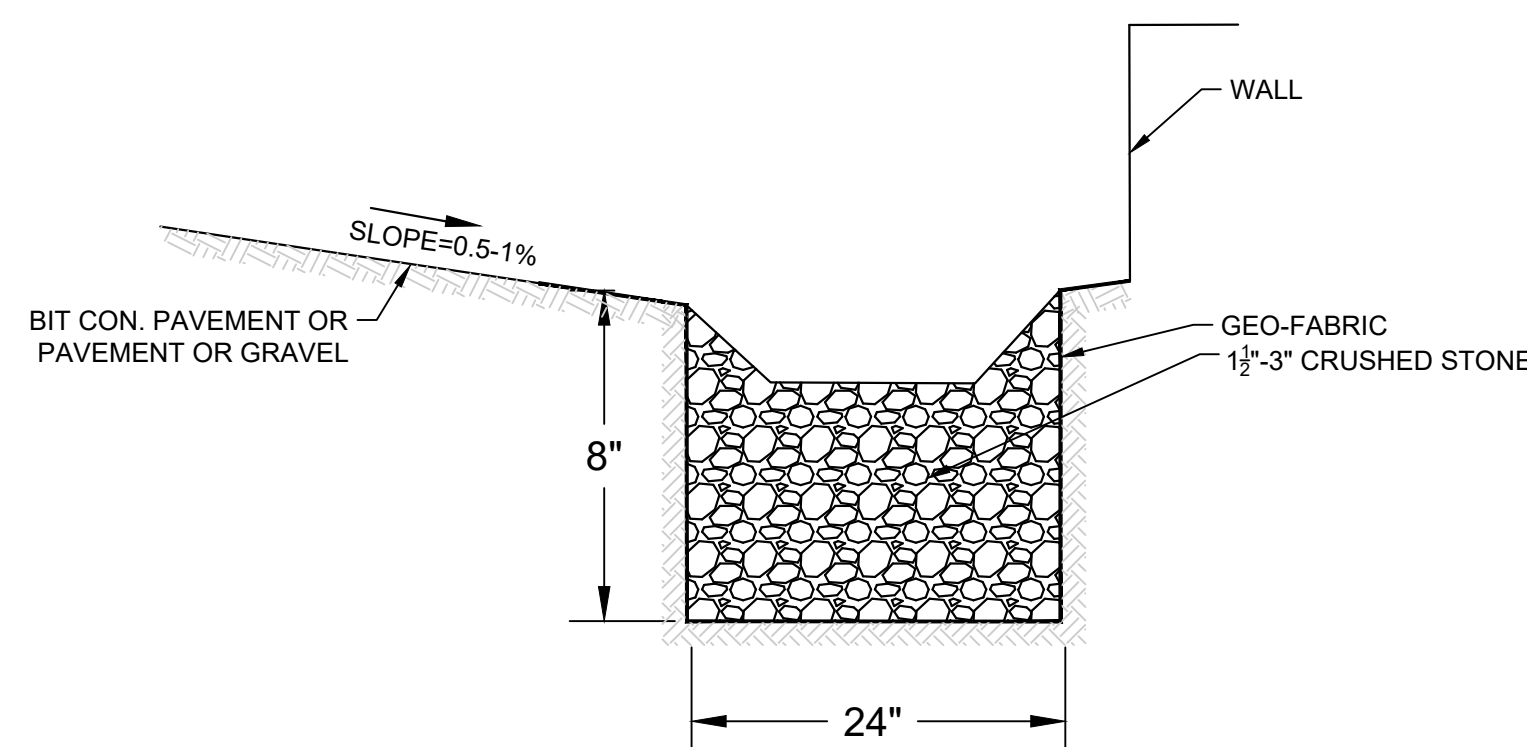
PROJ NO: 20-067

DATE: 1/6/21

SCALE: 1" = 20'

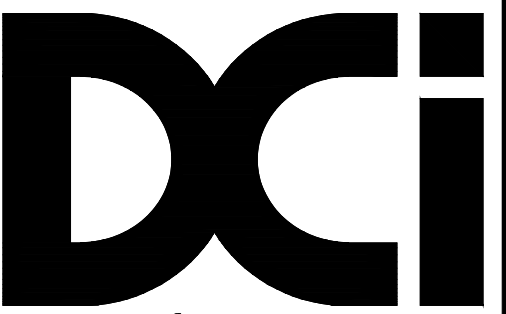


1. INSTALLATION OF THE GREASE TRAP SHALL COMPLY WITH TITLE 5 OF THE STATE ENVIRONMENTAL CODE 310 CMR 15.230, AND ALL APPLICABLE REGULATIONS OF THE BOSTON WATER & SEWER COMMISSION. THE TANK SHALL BE DESIGNED FOR H-20 LOADING.
2. THE GREASE TRAP SHALL BE INSTALLED ON A STABLE LEVEL BASE THAT HAS BEEN MECHANICALLY COMPACTED ONTO WHICH 6 INCHES OF CRUSHED STONE HAS BEEN PLACED.
3. SANITARY TEES SHALL BE SCHEDULE 40 PVC PROPERLY SUPPORTED BY A HANGER STRAP OR OTHER DEVICE.
4. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN. GARGE INSIDE AT THE JOINT AND THE INLET AND OUTLET PIPES WITH A 1/4" LAYER OF CEMENTITIOUS TYPE WATERPROOFING MATERIAL.
5. TEST THE TANK FOR WATERTIGHTNESS BEFORE BACKFILLING: MAINTAIN FULL WITH NO DROP IN 24 HOURS.
6. PROVIDE TANK EXTENSIONS, RISERS AND MANHOLE FRAMES AND COVERS TO GRADE OVER THE INLET AND OUTLET TEES.
7. SUITABLE ARRANGEMENTS TO BE MADE WITH AORH TO ALLOW CLEANING TRUCK HOSE ACCESS DIRECT THROUGH BSMT WALL TO TRUCK PARKED OUTSIDE ON BOYLESTON STREET. PUMP LOCATED IN TANK MAY BE REQUIRED.



CLERK _____ DATE _____

NORTH



Design Consultants Inc.
Somerville - Quincy - Newburyport
www.dci-ma.com

OWNER:
THE COTTAGES COMMERCIAL, LLC
14 PLUM ISLAND BLVD.
NEWBURY, MA 01951

ARCH:
JOE THE ARCHITECT
343 MEDFORD ST, SUITE 4C
SOMERVILLE, MA 02145

LANDSCAPE:
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
732 EAST BROADWAY #3
BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD
NEWBURY, MA.

PROJECT INFO

I	PEER REVIEW RESP.	2-24-21
REV	DESCRIPTION	DATE



STAMP:

CIVIL DETAILS

SHEET NAME:

C501

SHT NO:

DR BY: MCH

CHK BY: SBS

PROJ NO: 20-067

DATE: 1/6/21

SCALE: NTS

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED:

1. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
2. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
3. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 60 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:

- a. TEMPORARY SEEDING.
- b. MULCHING.
- c. JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE INLET SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

SPILL CLEAN-UP & NOTIFICATION PROCEDURES

BE PREPARED TO CONTAIN SPILLS TO PREVENT SPREADING. SPILL KITS ARE RECOMMENDED TO BE KEPT ON HAND BY ANYONE WORKING ON SITE. SPILL CLEANUP MATERIALS RECOMMENDED TO BE KEPT ON HAND MAY INCLUDE: SORBENT MATERIALS SUCH AS CLAY (KITTY LITTER), POLYPROPYLENE BOOMS AND PADS, RAGS AND SAWDUST TO CONTAIN SPILLS IMMEDIATELY.

THE FOLLOWING ACTIONS ARE TO BE TAKEN IF A SPILL OCCURRENCE:

1. CONTAIN THE SPILL IMMEDIATELY, IF SAFE TO DO SO.
2. WEAR PERSONAL PROTECTIVE EQUIPMENT (PPE), IF NECESSARY & WHEN TIME ALLOWS.
3. CONTAIN THE SPILL USING ABSORBENT SOCKS OR BOOMS TO MINIMIZE THE EXTENT OF THE SPILL.
4. PROTECT SENSITIVE RECEPTORS SUCH AS DRAINS, STORM DRAINS, SURFACE WATER BODIES, AND MINIMIZE THE AMOUNT OF UNCONTROLLED SPILL.
5. BLOCK OFF THE SPILL AREA WITH "CAUTION" TAPE. THE AREA SHOULD CONSIST OF THE ENTIRE SPILL AREA PLUS A BUFFER OF AT LEAST THREE FEET.
6. FOR SPILLS LESS THAN 5 GALLONS ON AN IMPERVIOUS SURFACE, ATTEMPT TO CONFINE AND CLEAN THE SPILL.
7. FOR SPILLS GREATER THAN 5 GALLONS, ATTEMPT TO CONFINE AND CALL A REMEDIATION CONTRACTOR IF ASSISTANCE IS REQUIRED WITH PRODUCT RECOVERY AND CONTAINMENT.
8. CORROSIVE SPILLS SHOULD BE NEUTRALIZED USING AN APPROPRIATE NEUTRALIZING AGENTS.
9. CLEAN UP THE SPILL FROM THE PERIMETER INWARD USING AN APPROPRIATE ABSORBENT (CLAYS, PADS, PILLOWS, ETC).
10. COLLECT ALL CONTAMINATED MEDIA IN DRUMS, IF QUANTITIES PERMIT.
11. CLEAN ALL REUSABLE EQUIPMENT USING RAGS AND CLEANERS APPROPRIATELY.
12. DISPOSE OF ALL DISPOSABLE EQUIPMENT (e.g. PPE) IN DRUMS.
13. WASH HANDS AND OTHER BODY SURFACES THAT MAY HAVE CONTACTED THE SPILLED MATERIAL.
14. AFTER THE SPILL HAS BEEN CLEANED UP, PROVIDE WRITTEN DOCUMENTATION OF THE SPILL AND REPORT TO THE CITY, IF REQUIRED.

ADDITIONAL NOTES FOR WINTER CONSTRUCTION

1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. SECURED WITH ANCHORED NETTING. ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.
2. AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

WASTE DISPOSAL

1. WASTE MATERIALS

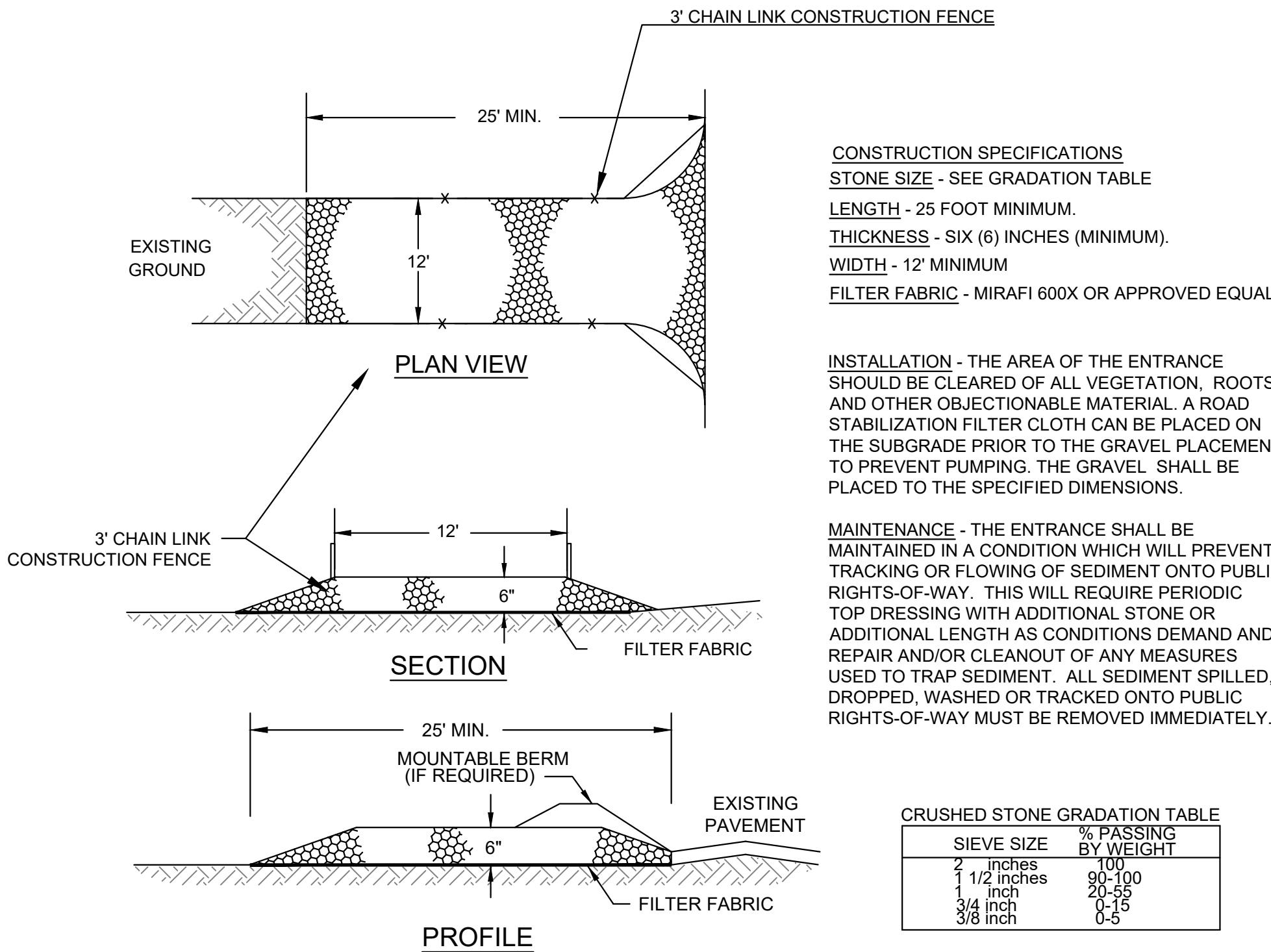
A. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.

2. HAZARDOUS WASTE

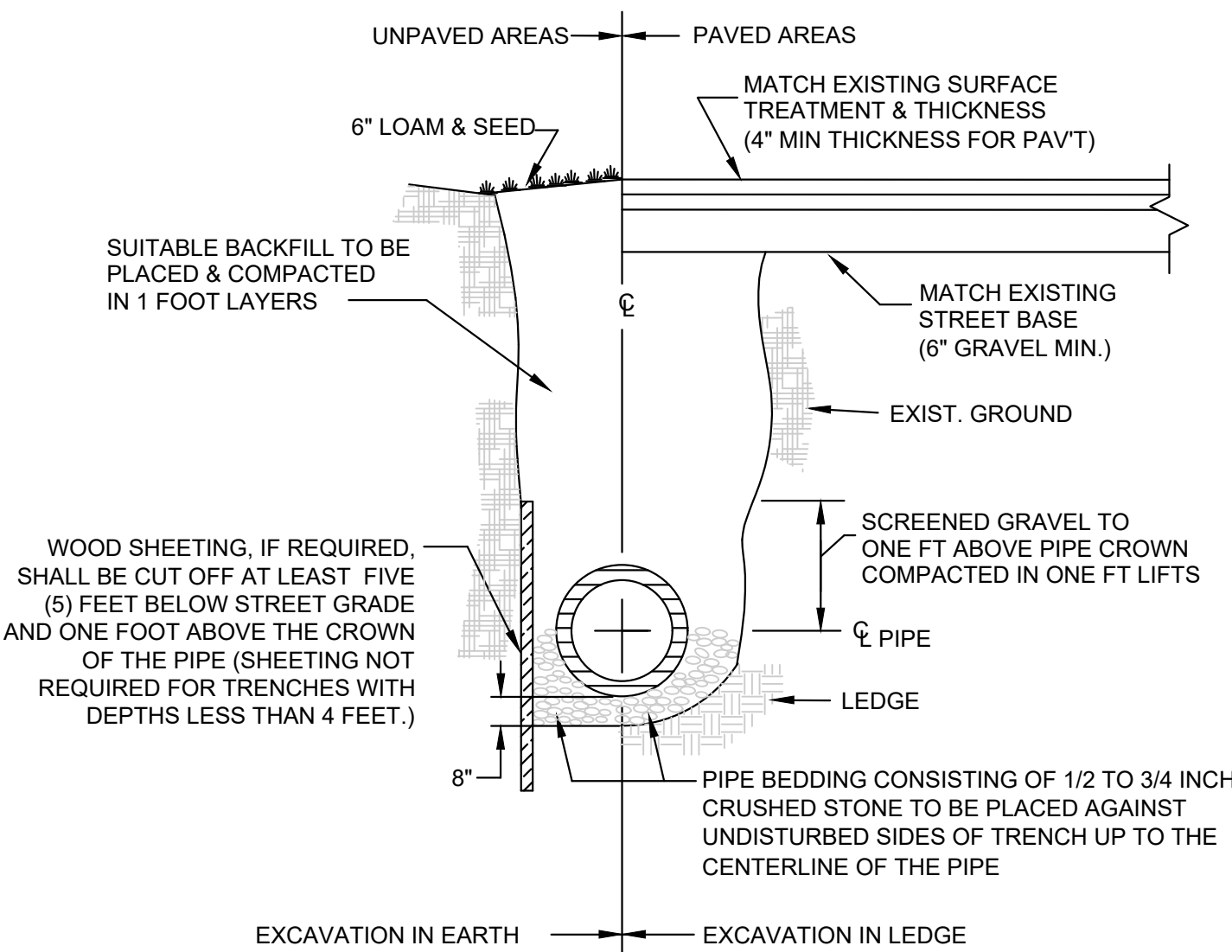
A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.

3. SANITARY WASTE

A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.



1 CONSTRUCTION ENTRANCE
NOT TO SCALE



3 UTILITY TRENCH
NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE

1. SPECIFICATIONS

- A. AGGREGATE SIZE: USE 1.5-INCH TO 3-INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- B. AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
- C. WIDTH: TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS.
- D. LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET.
- E. GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.

2. MAINTENANCE

- A. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

WASTE DISPOSAL

1. WASTE MATERIALS

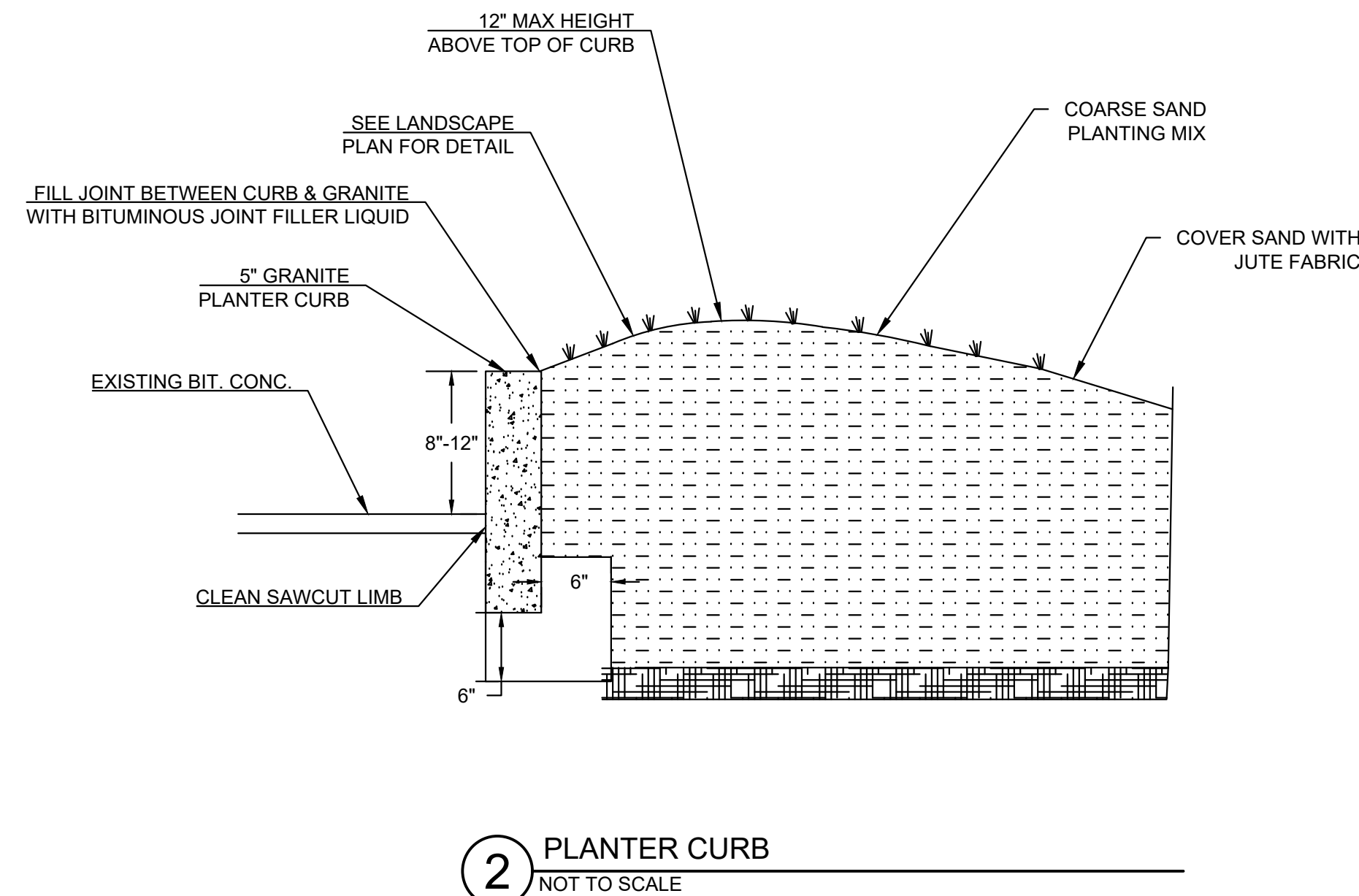
- A. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.

2. HAZARDOUS WASTE

- A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.

3. SANITARY WASTE

- A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.



NEWBURY PLANNING BOARD APPROVAL

DATE

THIS IS TO CERTIFY THAT ON / / , I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DESIGN.

CLERK DATE

NORTH

DCi
Design Consultants Inc.
Somerville - Quincy - Newburyport
www.dci-ma.com

OWNER:
THE COTTAGES COMMERCIAL, LLC
14 PLUM ISLAND BLVD.
NEWBURY, MA 01951

ARCH:
JOE THE ARCHITECT
343 MEDFORD ST, SUITE 4C
SOMERVILLE, MA 02145

LANDSCAPE:
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
732 EAST BROADWAY #3
BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD
NEWBURY, MA.

PROJECT INFO

1	PEER REVIEW RESP.	2-24-21
REV	DESCRIPTION	DATE



STAMP:

CIVIL
DETAILS

SHEET NAME:

C502

SHT NO:

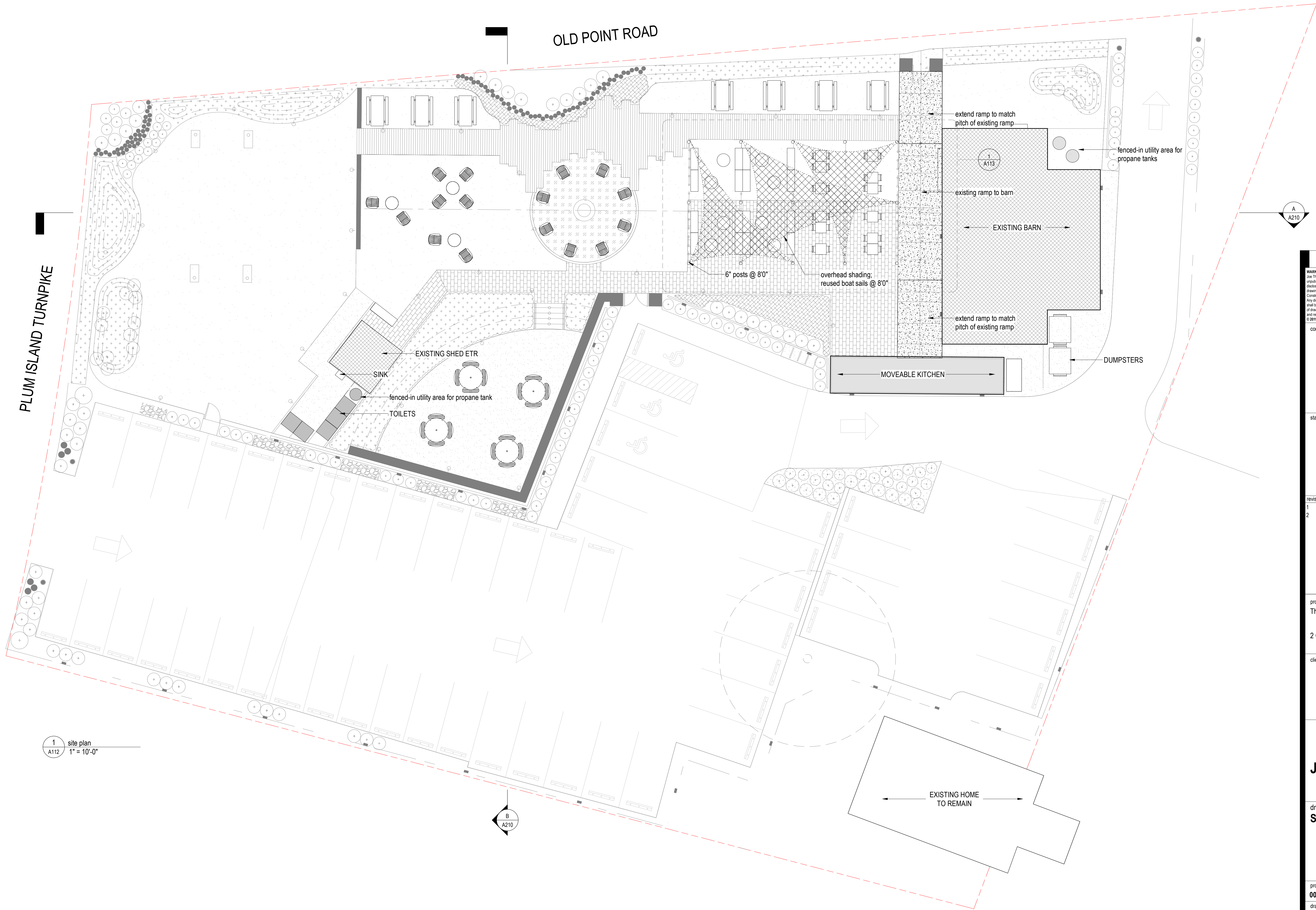
DR BY: MCH

CHK BY: SBS

PROJ NO: 20-067

DATE: 1/6/21

SCALE: NTS



For Approval

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019- all rights reserved

consultant / contractor information:

stamp:

revision	revision description	date
1	SITE PLAN REVIEW	01/06/2021
2	SITE PLAN RESUBMISSION	02/24/2021

project title:
The Sunset Club

2 Old Point Rd, Newbury, MA 01951

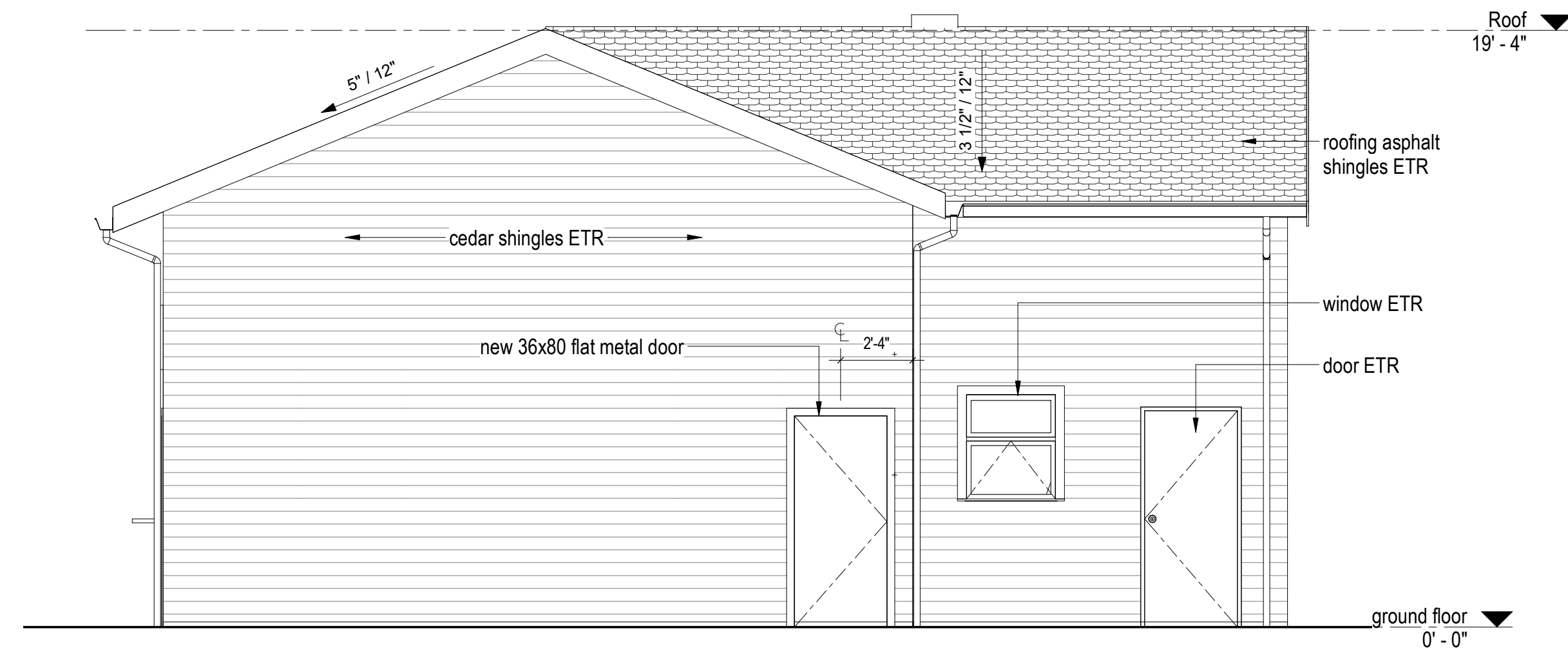
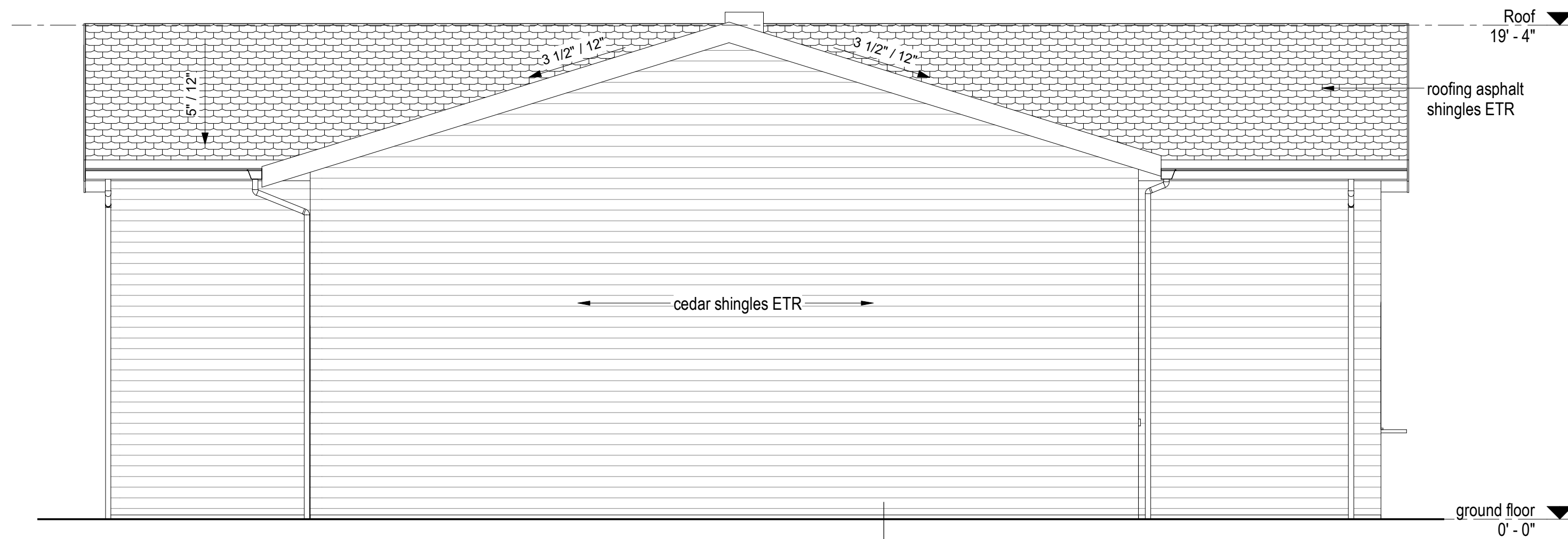
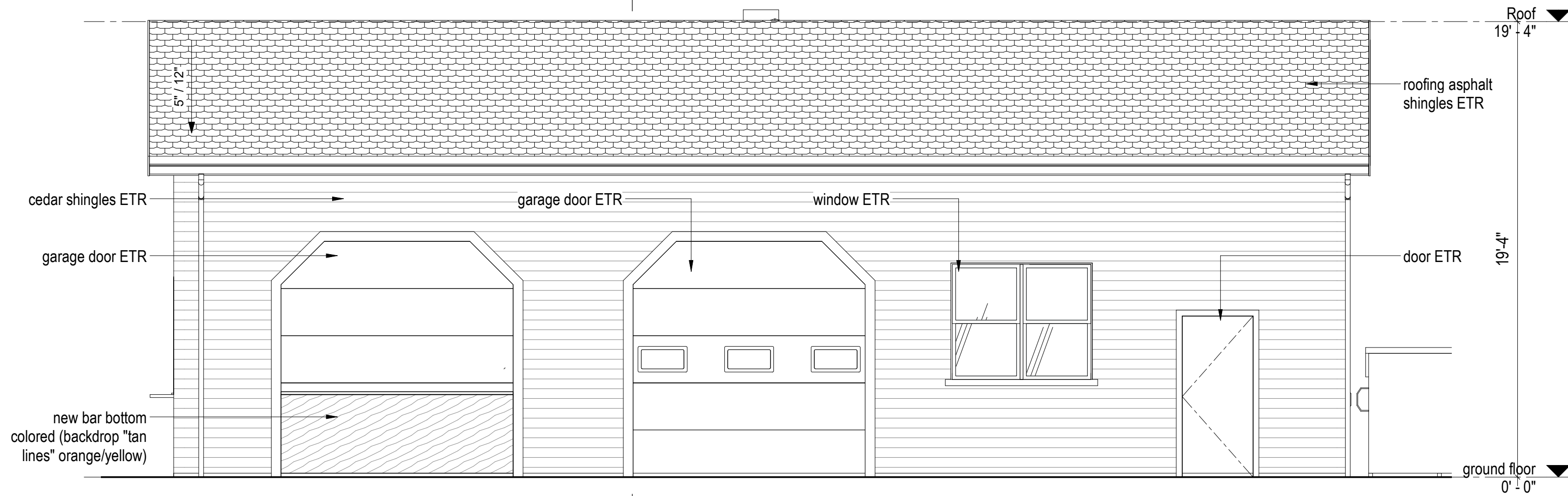
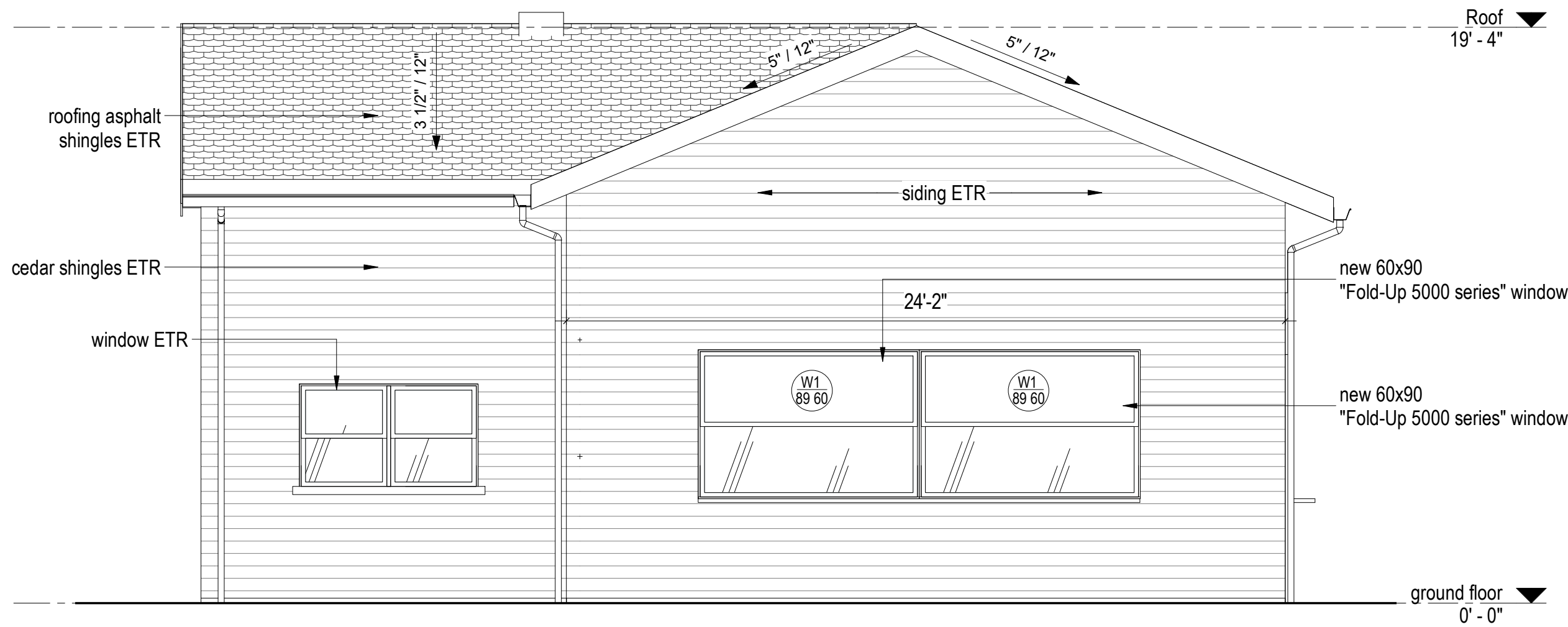
client information:

J^t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
SITE PLAN

project number 000	drawing scale 1" = 10'-0"	approver Approver
drawing number A112	revision 2	

NOT FOR CONSTRUCTION
2/25/2021 2:04:09 PM



For Approval

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019 - all rights reserved

consultant / contractor information:

stamp:

revision	revision description	date
1	SITE PLAN REVIEW	01/06/2021
2	SITE PLAN RESUBMISSION	02/24/2021

project title:
The Sunset Club

2 Old Point Rd, Newbury, MA 01951

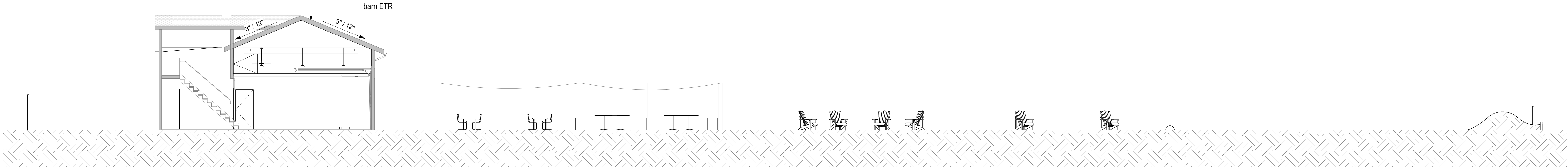
client information:

J^t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

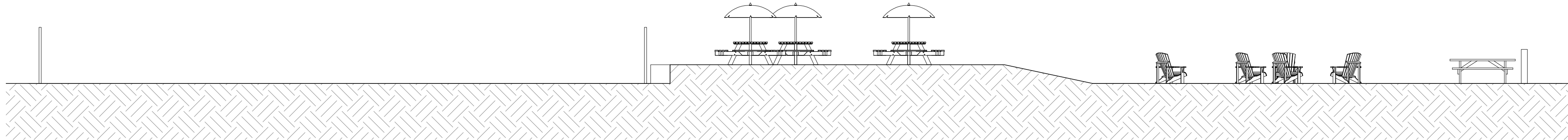
drawing title
EXTERNAL ELEVATIONS

project number 000	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A200	revision 2	

NOT FOR CONSTRUCTION
2/25/2021 2:04:09 PM



1 section A
A210 1/8" = 1'-0"



2 section B
A210 1/8" = 1'-0"

For Approval

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
© 2019- all rights reserved

consultant / contractor information:

stamp:

revision	revision description	date
1	SITE PLAN REVIEW	01/06/2021
2	SITE PLAN RESUBMISSION	02/24/2021

project title:
The Sunset Club

2 Old Point Rd, Newbury, MA 01951

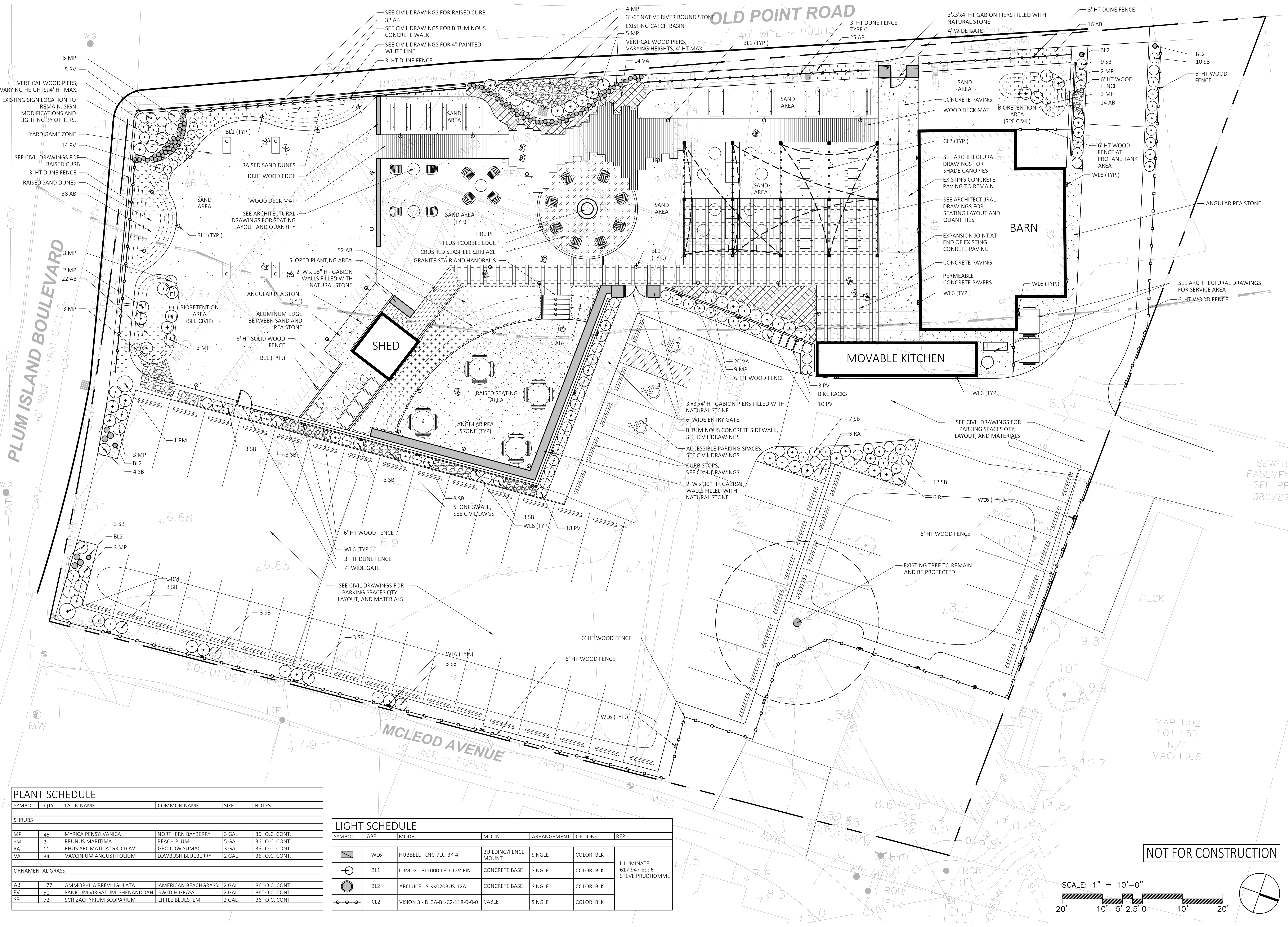
client information:

J^t A
JOE THE ARCHITECT
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
**BUILDING/SITE
SECTIONS**

project number 000	drawing scale 1/8" = 1'-0"	approver Approver
drawing number A210	revision 2	

NOT FOR CONSTRUCTION
2/25/2021 2:04:10 PM



PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
SHRUBS					
MP	45	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	3 GAL	36" O.C. CONT.
PM	2	PRUNUS MARITIMA	BEACH PLUM	5 GAL	36" O.C. CONT.
RA	11	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	3 GAL	36" O.C. CONT.
VA	34	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	2 GAL	36" O.C. CONT.
ORNAMENTAL GRASS					
AB	177	AMMOPHILA BREVILOGULATA	AMERICAN BEACHGRASS	2 GAL	36" O.C. CONT.
PV	51	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	2 GAL	36" O.C. CONT.
SB	72	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	2 GAL	36" O.C. CONT.

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
	WL6	HUBBELL - LNC-7LU-3K-4	BUILDING/FENCE MOUNT	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
	BL1	LUMUX - BL1000-LED-12V-FIN	CONCRETE BASE	SINGLE	COLOR: BLK	
	BL2	ARCLUCE - S-KK0203US-12A	CONCRETE BASE	SINGLE	COLOR: BLK	
	CL2	VISION 3 - DL3A-BL-C2-118-0-0-0	CABLE	SINGLE	COLOR: BLK	

MDLA

MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC

732 EAST BROADWAY #3
BOSTON, MA 02127
T: 203.592.4788
www.m-d-l-a.com

PLUM ISLAND PATIO
2 OLD POINT RD
NEWBURY, MA 01951

STAMP

REV. NO.	DATE	DESCRIPTION
01/06/21	01/06/21	PLANNING BOARD
02/24/21	02/24/21	PLANNING BOARD

MATERIALS,
PLANTING,
AND LIGHTING
PLAN

DRAWN

CHECKED

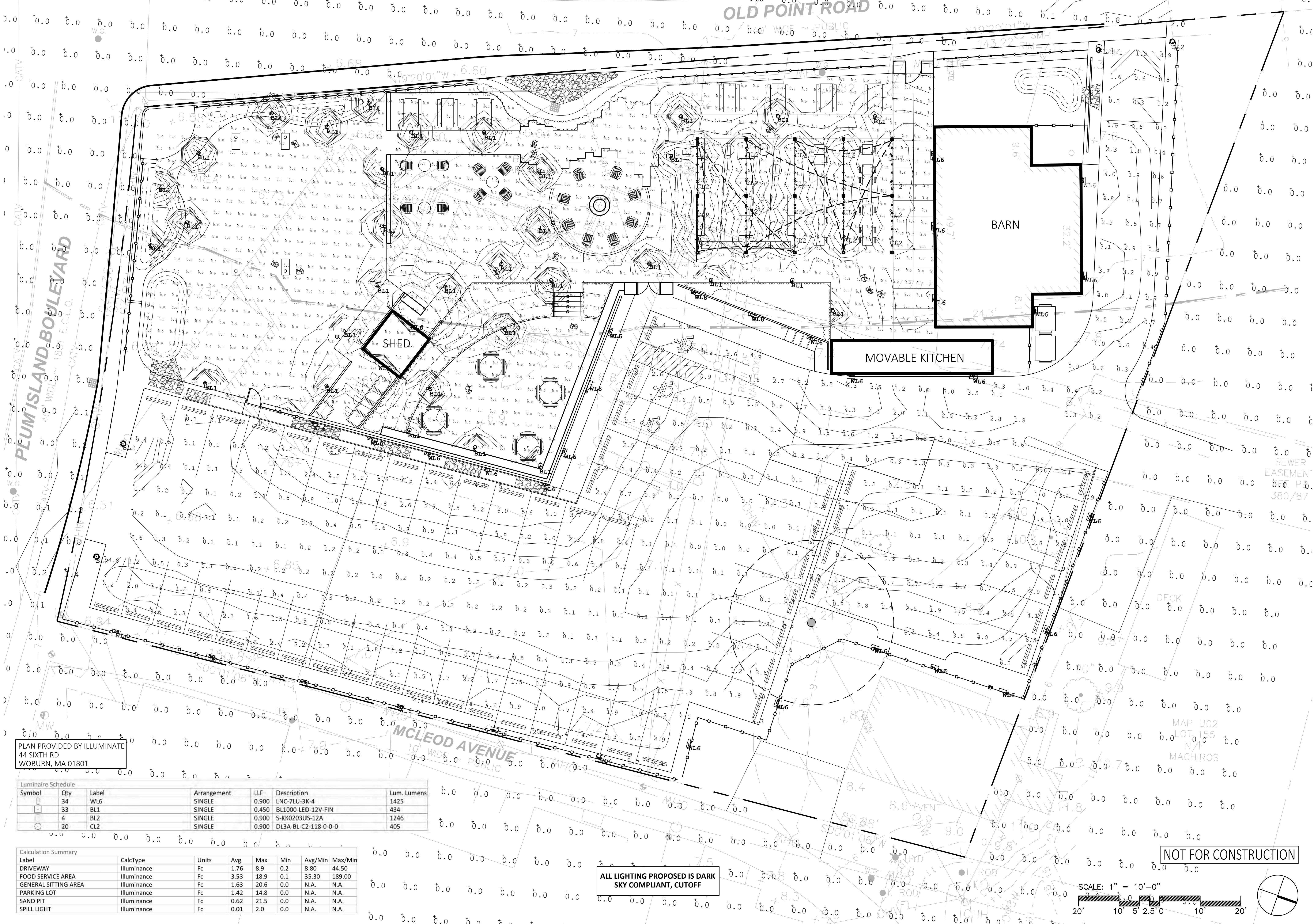
SCALE
AS NOTED

DATE
01/06/21

L1

SHEET 1 OF 3

plot date: 2/24/2021

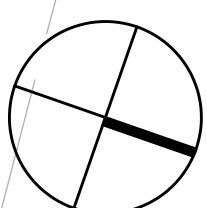
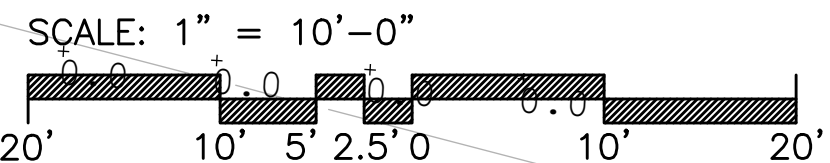


PLAN PROVIDED BY ILLUMINATE
44 SIXTH RD
WOBURN, MA 01801

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Lumens
	34	WL6	SINGLE	0.900	LNC-7LU-3K-4	1425
	33	BL1	SINGLE	0.450	BL1000-LED-12V-FIN	434
	4	BL2	SINGLE	0.900	S-KK0203US-12A	1246
	20	CL2	SINGLE	0.900	DL3A-BL-C2-118-0-0-0	405

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVEWAY	Illuminance	Fc	1.76	8.9	0.2	8.80	44.50
FOOD SERVICE AREA	Illuminance	Fc	3.53	18.9	0.1	35.30	189.00
GENERAL SITTING AREA	Illuminance	Fc	1.63	20.6	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	1.42	14.8	0.0	N.A.	N.A.
SAND PIT	Illuminance	Fc	0.62	21.5	0.0	N.A.	N.A.
SPILL LIGHT	Illuminance	Fc	0.01	2.0	0.0	N.A.	N.A.

ALL LIGHTING PROPOSED IS DARK
SKY COMPLIANT, CUTOFF



MDLA

MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC

732 EAST BROADWAY #3
BOSTON, MA 02127
T: 203.592.4788
www.m-d-l-a.com

PLUM ISLAND PATIO
2 OLD POINT RD
NEWBURY, MA 01951

STAMP

REV. NO.	DATE	DESCRIPTION
01/06/21	01/06/21	PLANNING BOARD
02/24/21	02/24/21	PLANNING BOARD

PHOTOMETRIC
PLAN

DRAWN
CHECKED
SCALE
AS NOTED
DATE
01/06/21

L2

SHEET 2 OF 3

plot date: 2/24/2021

