

PROJECT VICINITY MAP SCALE: 1"=200'

SITE PLAN REVIEW "PLUM ISLAND SUNSET CLUB" 2 OLD POINT RD NEWBURY, MASSACHUSETTS

PREPARED FOR: PLUM ISLAND PROPERTIES, LLC 14 PLUM ISLAND BLVD. NEWBURY, MA 01951

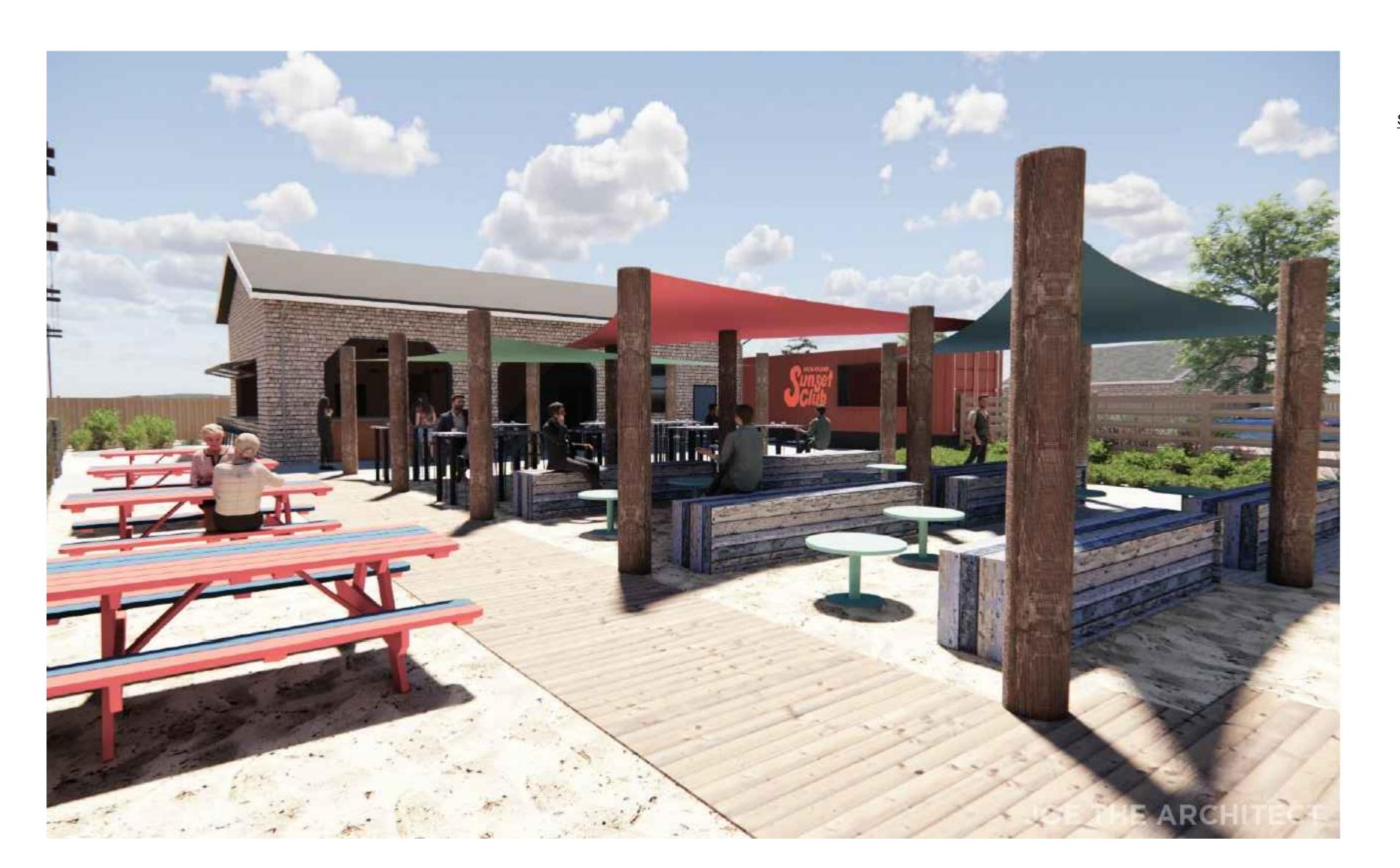
PROJECT LOCATION

2 OLD POINT RD - NEWBURY MAP U02, LOT 153 MAP U02, LOT 154

OWNER OF RECORD

MAP U02, LOT 153: VINCENT GODIN 8R OLD POINT RD, NEWBURY, MA

MAP U02, LOT 154 THE COTTAGES COMMERCIAL LLC 2 OLD POINT RD, NEWBURY, MA



2 OLD POINT ROAD MAP U02 - LOT 154

ZONING DISTRICT RA-G / PIOD						
ALLOWED EXISTING PROPOSED						
LOT AREA	40,000 SF	21,636 SF	21,626 SF			
FRONTAGE	125'	268.9'	268.9'			
SETBACK (SIDE/REAR)	10'	4.9'	62.0'			
SETBACK (STREET)	20'	13.5'	13.5' n.c.			
MAX. HEIGHT	35'	20' +/-	15' +/- n.c.			
LOT COVERAGE	20%	16.7%	0.7%			
FAR	25%	15.2%	0.7%			

8R OLD POINT ROAD MAP U02 - LOT 153

ZONING					
	ALLOWED EXISTING PROPOS				
LOT AREA	40,000 SF	21,442 SF	21,442 SF		
FRONTAGE	125'	143.2'	143.2'		
SETBACK (SIDE/REAR	10'	21.8'/*0	21.8' n.c./*0 n.c		
SETBACK (STREET)	20'	20.7'/*10.5	20.7'n.c./*10.5 n.c		
MAX. HEIGHT	35'	22' +/-	22' +/- n.c.		
LOT COVERAGE	20%	11.4%	11.4% n.c.		
FAR	25%	13.2%	13.2% n.c.		
* OFFSETS TO RESIDENTIAL STRUCTURE TO REMAIN					

	PARKING	
REQUIRED	163 SEATS X 0.3 = 48	.9 (49 PARKING SPACES)
	5 EMPLOYEES REQ.	(5 PARKING SPACES)
PROVIDED	54 9	SPACES

SHEET INDEX

SHEET NO.	<u>TITLE</u>
T1	TITLE SHEET
C100	EXISTING CONDITIONS PLAN
C101	LAYOUT & MATERIALS PLAN
C201	EROSION CONTROL PLAN
C501	CIVIL DETAILS
C502	CIVIL DETAILS
A110	FLOOR PLAN
A112	ARCHITECURAL SITE PLAN
A200	EXTERNAL ELEVATION
A210	BUILDING SITE/SECTIONS
L1	MATERIALS, PLANTING & LIGHTING PLAN
L2	PHOTOMETRIC PLAN
L3	SITE DETAILS

NEWBURY PLANNING BOARD APPROVAL

THIS IS TO CERTIFY THAT ON / / I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID



OWNER: THE COTTAGES COMMERCIAL, LLC 14 PLUM ISLAND BLVD. NEWBURY, MA 01951

ARCH: JOE THE ARCHITECT 343 MEDFORD ST, SUITE 4C SOMERVILLE, MA 02145

2 OLD POINT RD NEWBURY, MA

PROJECT INFO

PEER REVIEW RESP. DESCRIPTION



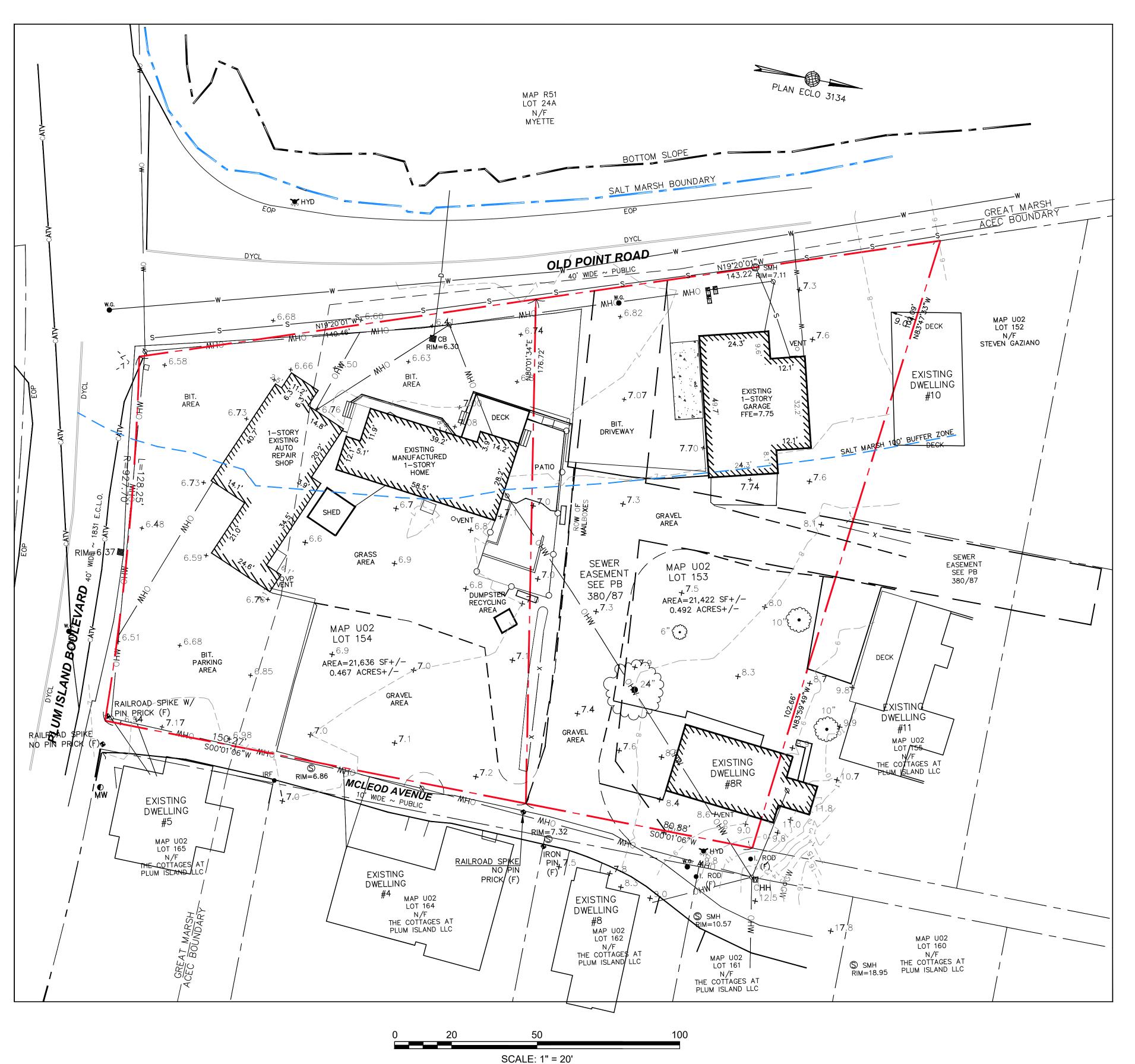
TITLE SHEET

SHEET NAME:

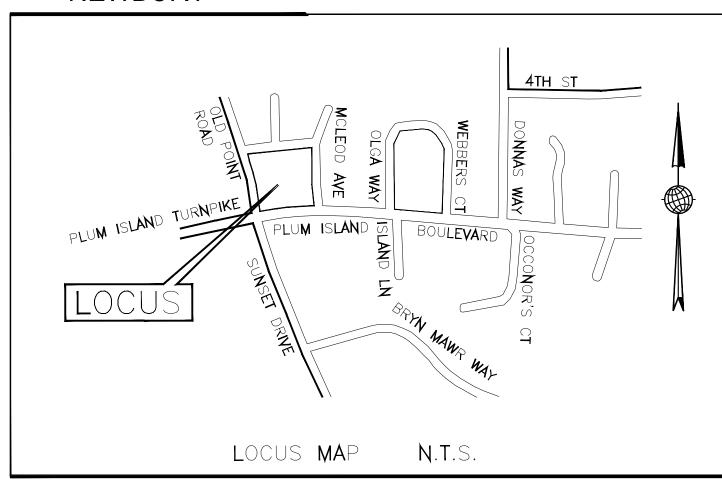
DR BY: MH CHK BY: SBS PROJ NO: 20-067

DATE: 1/6/21

SCALE: NTS



NEWBURY



GENERAL NOTES

THE EXISTING CONDITIONS PLAN WAS PROVIDED BY PLUM ISLAND PROPERTIES AND COMPLETED BY HANCOCK ASSOCIATES DATED AUGUST 20, 2020. THE SURVEY WAS PROVIDED TO PLUM ISLAND PROPERTIES FOR OBTAINING PERMITS AND LOCAL APPROVALS ONLY. PLUM ISLAND PROPERTIES IS USING THIS EXISTING CONDITIONS PLAN FOR THESE PURPOSES ONLY.

UNDERGROUND WATER AND SEWER INFORMATION WAS ADDED TO THE PLAN BY DESIGN CONSULTANTS INC. BASED UPON CITY OF NEWBURYPORT PLAN INFORMATION AND SURFACE FEATURES.

THE SUBJECT PROPERTY LIES WITHIN ZONE AE13 OF THE FEMA FLOOD HIGH HAZARD ZONE AS SHOWN ON FEMA MAP 25009C0137G, EFFECTIVE DATE JULY 16, 2014.

THE OWNERSHIP OF ABUTTING PARCELS WERE UPDATED BASED UPON THE TOWN OF NEWBURY GIS AND ASSESSOR'S RECORDS

THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 EXISTING DWELLING #10 LOCATION WAS ADDED TO THE PLAN BY ON GROUND SURVEY COMPLTED BY CAMMETT ENGINEERING

NEWBURY PLANNING BOARD APPROVAL

DATE

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Somerville - Quincy - Newburyport www.dci-ma.com OWNER: THE COTTAGES COMMERCIAL, LLC 14 PLUM ISLAND BLVD.

ARCH: JOE THE ARCHITECT 343 MEDFORD ST, SUITE 4C SOMERVILLE, MA 02145

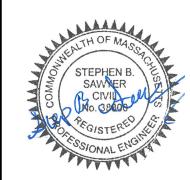
LANDSCAPE: MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC 732 EAST BROADWAY #3 BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD NEWBURY, MA

PROJECT INFO

	PEER REVIEW RESP.	2-24-21
V	DESCRIPTION	DATE



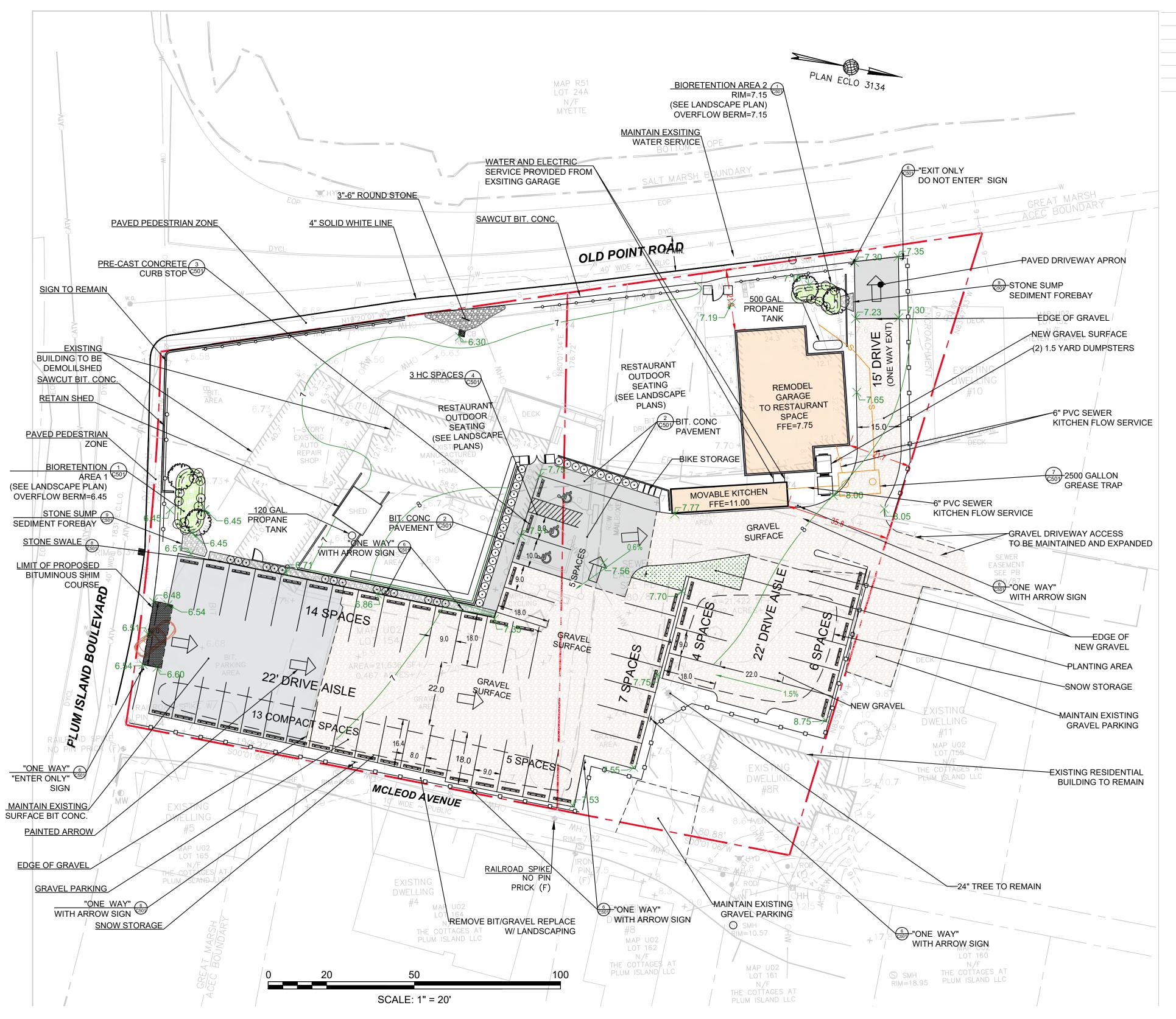
EXISTING CONDITIONS PLAN

SHEET NAME:

DR BY: MCH

CHK BY: SBS PROJ NO: 20-067 DATE: 1/6/21

SCALE: 1" = 20'



8R OLD POINT ROAD MAP U02 - LOT 153

ZONING					
	ALLOWED	EXISTING	PROPOSED		
LOT AREA	40,000 SF	21,442 SF	21,442 SF		
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* OFFSETS TO RESIDENTIAL STRUCTURE TO REMAIN

2 OLD POINT ROAD MAP U02 - LOT 154

ZONING DISTRICT RA-G / PIOD					
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20%	16.7%	0.7%			
25%	15.2%	0.7%			
	ALLOWED 40,000 SF 125' 10' 20' 35' 20%	ALLOWED EXISTING 40,000 SF 21,636 SF 125' 268.9' 10' 4.9' 20' 13.5' 35' 20' +/- 20% 16.7%			

PARKING			
REQUIRED	163 SEATS X 0.3 = 48.9 (49 PARKING SPACES		
	5 EMPLOYEES REQ. (5 PARKING SPACES)		
PROVIDED	54 SPACES		
·			

LEGEND **EXISTING:**

cs	COMBINED SEWER & DRAIN	₩ ₩	CATCH BASIN	₩V • W.G.	WATER GATE
s	SANITARY SEWER	£47.3	DECIDUOUS TREE	G.G. ●	GAS GATE
D —	DRAIN LINE		CONIFEROUS TREE	lacksquare	TEST PIT
- VV	WATER LINE	7////	PLANTER		STOCKADE
DHW	ELECTRIC LINE	\$	FIRE HYDRANT	s	SEWER LINE
- G	GAS LINE	o WG	WATER GATE	——GAS——	GAS LINE
- T	TELEPHONE LINE	o GG	GAS GATE	——DOM——	DOMESTIC WATER LINE
ST	STEAM LINE	WB	WASTE BASKET	——FIRE——	FIRE SUPRESSION LINE
S	SANITARY MANHOLE	WB PM	PARKING METER	——ETC——	ELECTRIC, TEL. & CABLE LINE
D	DRAIN MANHOLE	□МВ	MAIL BOX	+ 16.38	DRAIN LINE SPOT GRADE
(UNKNOWN MANHOLE	♠ TS	TRAFFIC SIGNAL	32 —	CONTOUR
E	ELECTRIC MANHOLE	0	UTILITY POLE	TC,BC	TOP OF CURB, BOTTOM OF CUR
	TELEPHONE MANHOLE	× 20.85	SPOT GRADE	TW,BW	TOP OF WALL, BOTTOM OF WAL
			0.0.000	•	CLEAN OUT
				PD	DOOF DDAIN

GENERAL NOTES

ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE TOWN OF NEWBURY, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.

PROPOSED:

ROOF DRAIN

TOP OF CURB, BOTTOM OF CURB TOP OF WALL, BOTTOM OF WALL

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

UTILITY & DRAINAGE NOTES

- 1. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
- 2. CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION. THE TOWN OF NEWBURY MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE TOWN OF NEWBURY FOR THE MARKING OF NEWBURY MUNICIPAL UTILITIES.
- 3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 4. ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. CUTTING AND CAPPING OF DESIGNATED WATER AND SEWER SERVICES SHALL OCCUR AT THE MAIN IN THE STREET, BY THE CONTRACTOR, IN ACCORDANCE WITH THE TOWN OF NEWBURY STANDARDS. THE PROPOSED GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
- 5. FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
- 6. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED
- 8. TEST PITS SHALL BE REQUIRED TO DETERMINE SUBSURFACE SOILS AND ESTABLISH MEAN HIGH GROUNDWATER ELEVATION PRIOR TO ORDERING AND INSTALLATION OF STORMWATER MANAGEMENT SYSTEM COMPONENTS. ADJUSTMENTS TO SYSTEM MAY BE REQUIRED PER TEST RESULTS.
- 9. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
- 10. TOWN OF NEWBURY RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE TOWN OF NEWBURY DRAIN AND SEWER SYSTEMS. A DYE TEST SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF AN OCCUPANCY
- 11. PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 12. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 13. TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE TOWN OF NEWBURY MUNICIPAL STANDARDS.
- 14. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- 15. NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.

NEWBURY PLANNING BOARD APPROVAL **EXISTING PAVEMENT** PROPOSED PAVEMENT PROPOSED GRAVEL

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DATE

DECISION.

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Somerville - Quincy - Newburyport www.dci-ma.com THE COTTAGES COMMERCIAL, LLC 14 PLUM ISLAND BLVD.

JOE THE ARCHITECT 343 MEDFORD ST, SUITE 4C

NEWBURY, MA 01951

SOMERVILLE, MA 02145 LANDSCAPE: MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC

BOSTON, MA 02127 PROJECT TEAM

732 EAST BROADWAY #3

2 OLD POINT RD NEWBURY, MA

PROJECT INFO

PEER REVIEW RESP. 2-24-21 REV DESCRIPTION DATE



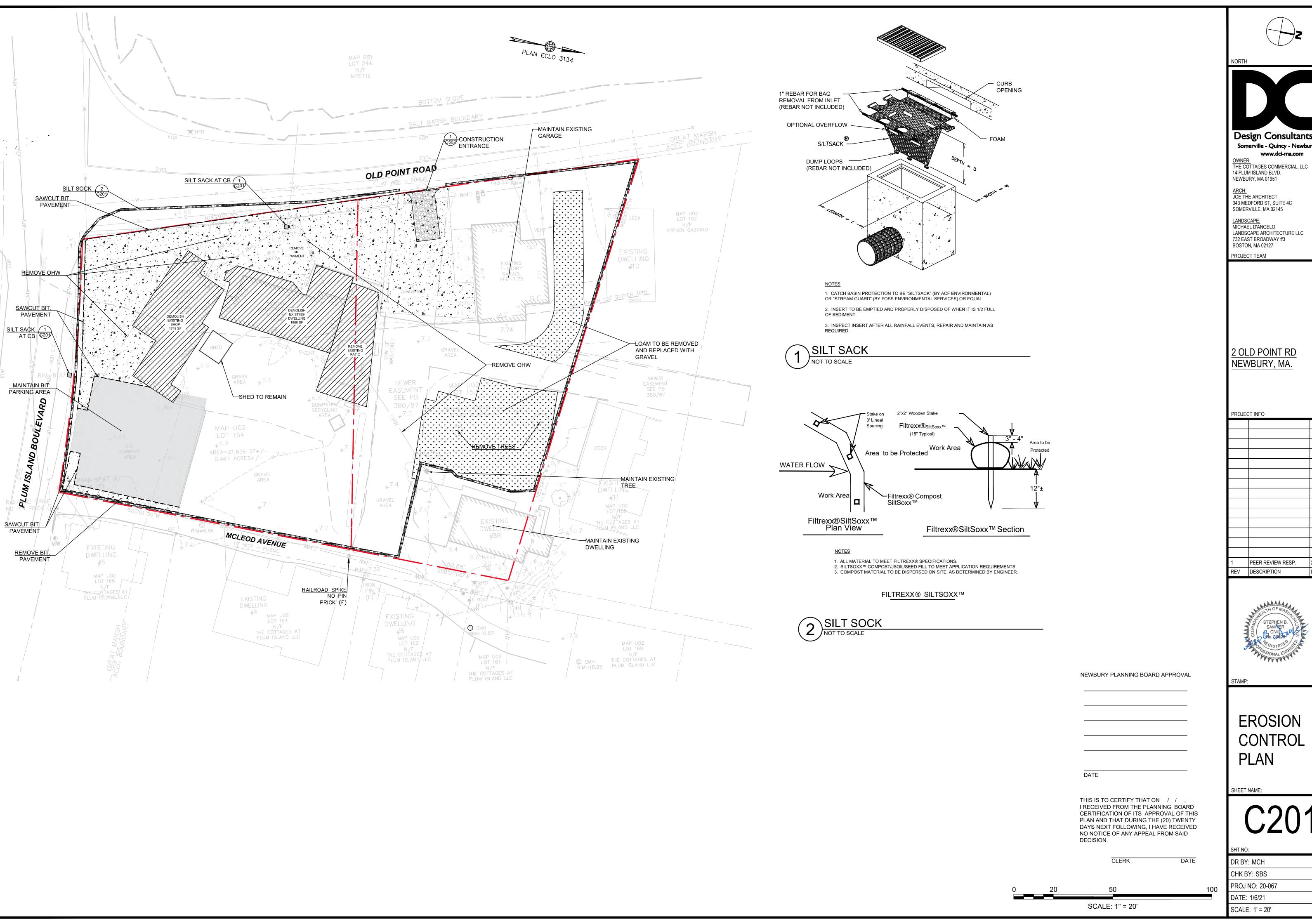
LAYOUT & **MATERIALS** PLAN

SHEET NAME:

DR BY: MCH

CHK BY: SBS PROJ NO: 20-067

DATE: 1/6/21 SCALE: 1" = 20'





Design Consultants Inc.

Somerville - Quincy - Newburyport www.dci-ma.com

ARCH: JOE THE ARCHITECT 343 MEDFORD ST, SUITE 4C SOMERVILLE, MA 02145

LANDSCAPE:
MICHAEL D'ANGELO
LANDSCAPE ARCHITECTURE LLC
732 EAST BROADWAY #3 BOSTON, MA 02127

PROJECT TEAM

2 OLD POINT RD NEWBURY, MA

PROJECT INFO

PEER REVIEW RESP. 2-24-21 REV DESCRIPTION DATE



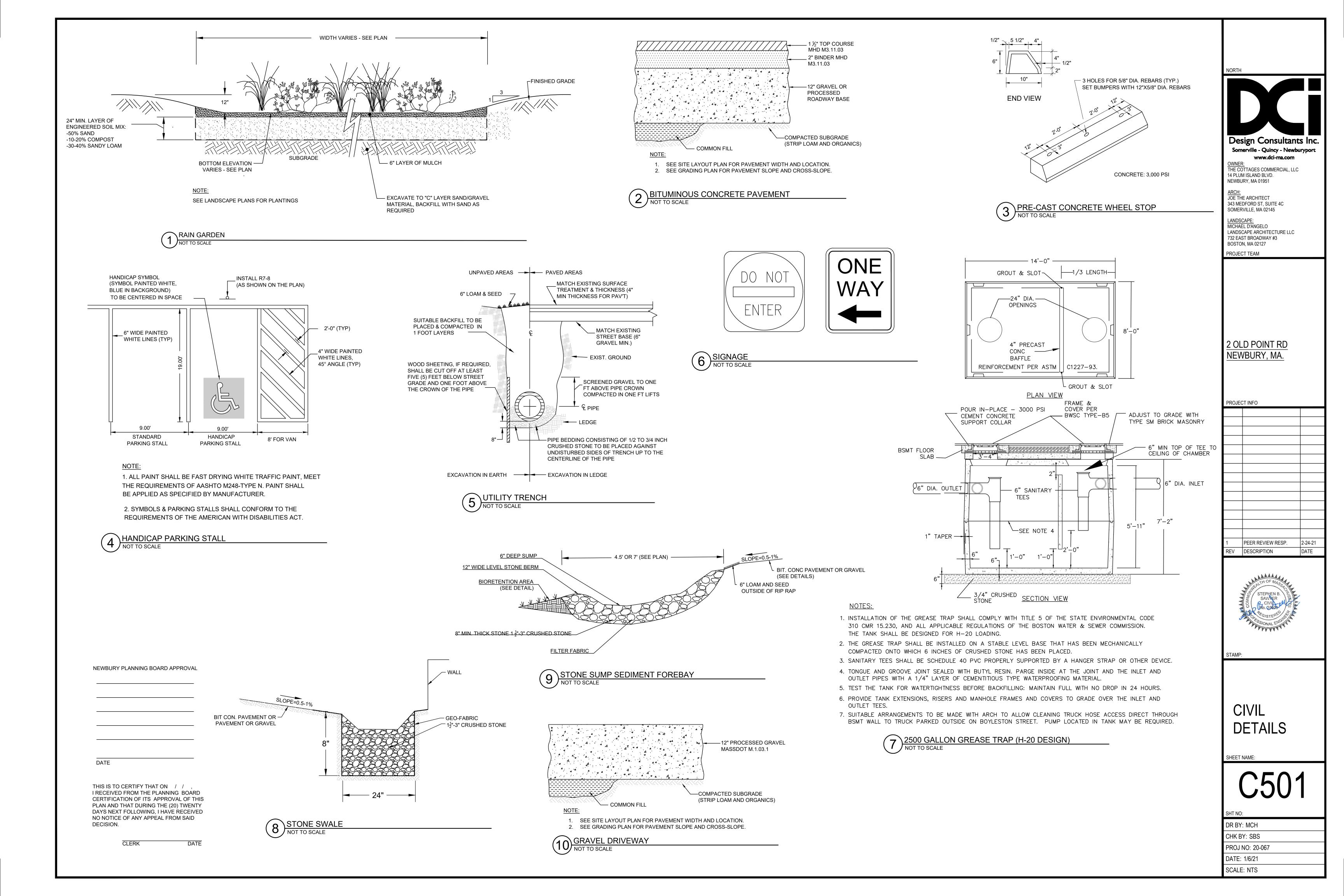
EROSION CONTROL PLAN

SHEET NAME:

SHT NO:	
DR BY: MCH	
CHK BY: SBS	
DDO I NO. 00 007	

PROJ NO: 20-067

DATE: 1/6/21 SCALE: 1' = 20'



EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED:

- 1. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
- 2. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
- 3. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 60 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:

- a. TEMPORARY SEEDING.
- b. MULCHING.
- c. JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED.

TIMING OF CONTROLS/MEASURES

OF AT LEAST THREE FEET.

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE INLET SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

SPILL CLEAN-UP & NOTIFICATION PROCEDURES

BE PREPARED TO CONTAIN SPILLS TO PREVENT SPREADING. SPILL KITS ARE RECOMMENDED TO BE KEPT ON HAND BY ANYONE WORKING ON SITE. SPILL CLEANUP MATERIALS RECOMMENDED TO BE KEPT ON HAND MAY INCLUDE; SORBENT MATERIALS SUCH AS CLAY (KITTY LITTER), POLYPROPYLENE BOOMS AND PADS, RAGS AND SAWDUST TO CONTAIN SPILLS IMMEDIATELY.

THE FOLLOWING ACTIONS ARE TO BE TAKEN IF A SPILL OCCURRENCE:

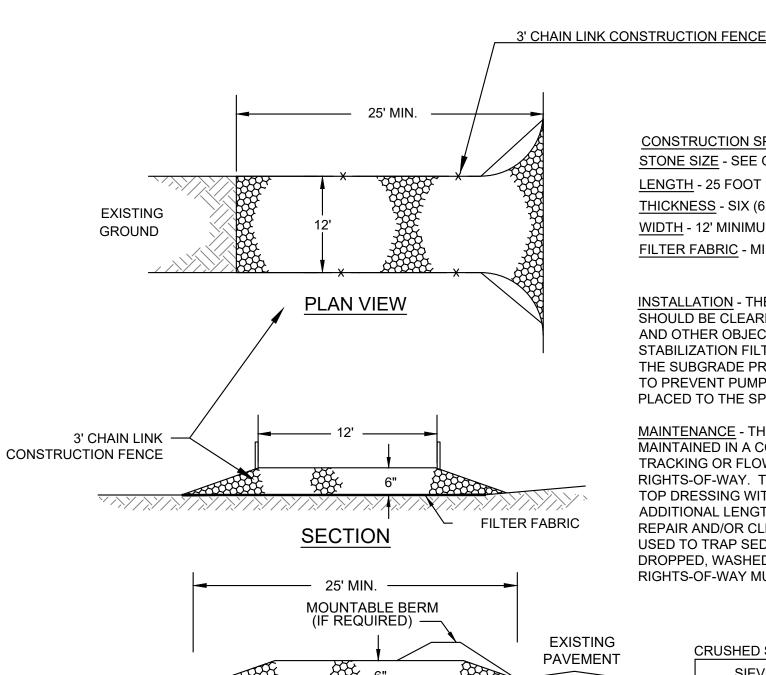
- 1. CONTAIN THE SPILL IMMEDIATELY, IF SAFE TO DO SO.
- 2. WEAR PERSONAL PROTECTIVE EQUIPMENT (PPE), IF NECESSARY & WHEN TIME ALLOWS.
- 3. CONTAIN THE SPILL USING ABSORBENT SOCKS OR BOOMS TO MINIMIZE THE EXTENT OF THE SPILL.
- 4. PROTECT SENSITIVE RECEPTORS SUCH AS DRAINS, STORM DRAINS, SURFACE WATER BODIES, AND MINIMIZE THE AMOUNT
- 5. BLOCK OFF THE SPILL AREA WITH "CAUTION" TAPE. THE AREA SHOULD CONSIST OF THE ENTIRE SPILL AREA PLUS A BUFFER
- 6. FOR SPILLS LESS THAN 5 GALLONS ON AN IMPERVIOUS SURFACE, ATTEMPT TO CONFINE AND CLEAN THE SPILL.
- 7. FOR SPILLS GREATER THAN 5 GALLONS, ATTEMPT TO CONFINE AND CALL A REMEDIATION CONTRACTOR IF ASSISTANCE IS REQUIRED WITH PRODUCT RECOVERY AND CONTAINMENT.
- 8. CORROSIVE SPILLS SHOULD BE NEUTRALIZED USING AN APPROPRIATE NEUTRALIZING AGENTS.
- 9. CLEAN UP THE SPILL FROM THE PERIMETER INWARD USING AN APPROPRIATE ABSORBENT (CLAYS, PADS, PILLOWS, ETC).
- 10. COLLECT ALL CONTAMINATED MEDIA IN DRUMS, IF QUANTITIES PERMIT.
- 11. CLEAN ALL REUSABLE EQUIPMENT USING RAGS AND CLEANERS APPROPRIATELY.
- 12. DISPOSE OF ALL DISPOSABLE EQUIPMENT (e.g. PPE) IN DRUMS.
- 13. WASH HANDS AND OTHER BODY SURFACES THAT MAY HAVE CONTACTED THE SPILLED MATERIAL.
- 14. AFTER THE SPILL HAS BEEN CLEANED UP, PROVIDE WRITTEN DOCUMENTATION OF THE SPILL AND REPORT TO THE CITY, IF REQUIRED.

ADDITIONAL NOTES FOR WINTER CONSTRUCTION

- 1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.
- 2. AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

WASTE DISPOSAL

- 1. WASTE MATERIALS
 - A. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- 2. HAZARDOUS WASTE
 - A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- 3. SANITARY WASTE
 - A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.



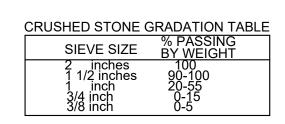
PROFILE

CONSTRUCTION SPECIFICATIONS
STONE SIZE - SEE GRADATION TABLE
LENGTH - 25 FOOT MINIMUM.
THICKNESS - SIX (6) INCHES (MINIMUM).
WIDTH - 12' MINIMUM

INSTALLATION - THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SUBGRADE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS.

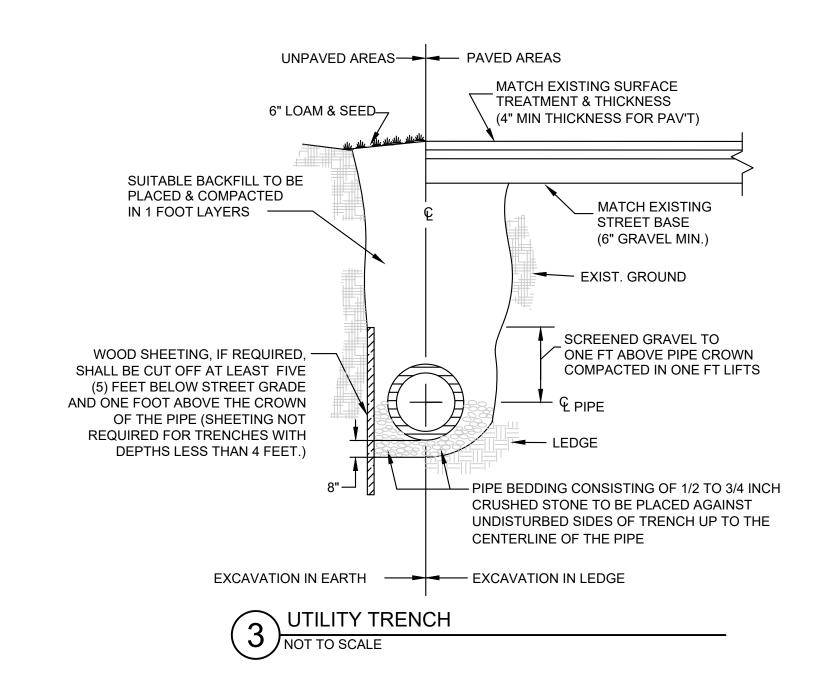
FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL.

MAINTENANCE - THE ENTRANCE SHALL BE
MAINTAINED IN A CONDITION WHICH WILL PREVENT
TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC
RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC
TOP DRESSING WITH ADDITIONAL STONE OR
ADDITIONAL LENGTH AS CONDITIONS DEMAND AND
REPAIR AND/OR CLEANOUT OF ANY MEASURES
USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED,
DROPPED, WASHED OR TRACKED ONTO PUBLIC
RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



CONSTRUCTION ENTRANCE NOT TO SCALE

· FILTER FABRIC



STABILIZED CONSTRUCTION ENTRANCE

1. SPECIFICATIONS

- A. AGGREGATE SIZE: USE 1.5-INCH TO 3-INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- B. AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
- C. WIDTH: TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS.

 D. LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET.
- E. GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. PIPING OF SURFACE WATER UNDER ENTRANCE
- SHALL BE PROVIDED AS REQUIRED.

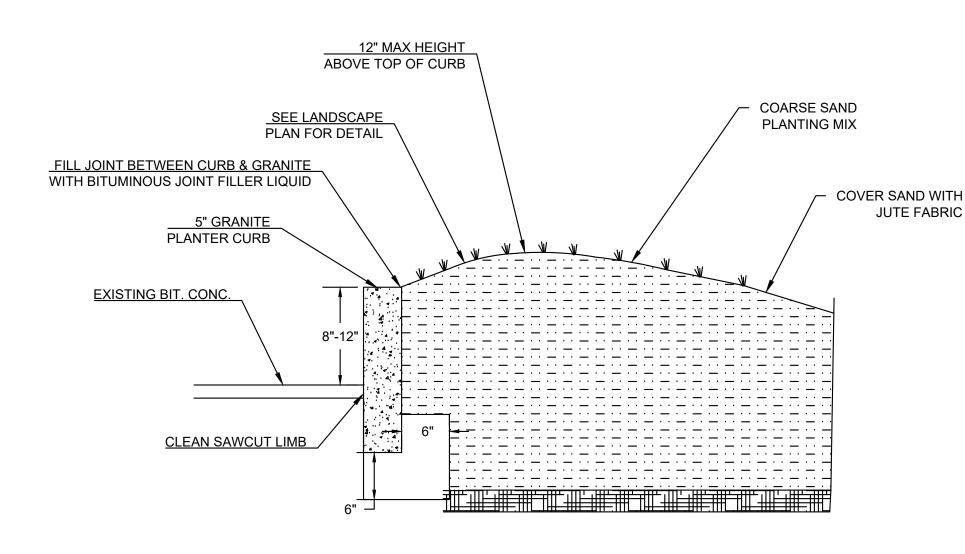
2. MAINTENANCE

A. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

WASTE DISPOSAL

1. WASTE MATERIALS

- A. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- 2. HAZARDOUS WASTE
 - A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- 3. SANITARY WASTE
 - A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.



PLANTER CURB	
NOT TO SCALE	

Design Consultants Inc. Somerville - Quincy - Newburyport www.dci-ma.com OWNER: THE COTTAGES COMMERCIAL, LLC 14 PLUM ISLAND BLVD. NEWBURY, MA 01951 ARCH: JOE THE ARCHITECT 343 MEDFORD ST, SUITE 4C SOMERVILLE, MA 02145 LANDSCAPE: MICHAEL D'ANGELO

2 OLD POINT RD NEWBURY, MA.

PROJECT INFO

LANDSCAPE ARCHITECTURE LLC

732 EAST BROADWAY #3

BOSTON, MA 02127

PROJECT TEAM



PEER REVIEW RESP.

DESCRIPTION

2-24-21

DATE

STAMP:	
--------	--

NEWBURY PLANNING BOARD APPROVAL

THIS IS TO CERTIFY THAT ON / / ,

I RECEIVED FROM THE PLANNING BOARD

PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED

NO NOTICE OF ANY APPEAL FROM SAID

CERTIFICATION OF ITS APPROVAL OF THIS

DATE

DECISION.

CIVIL DETAILS

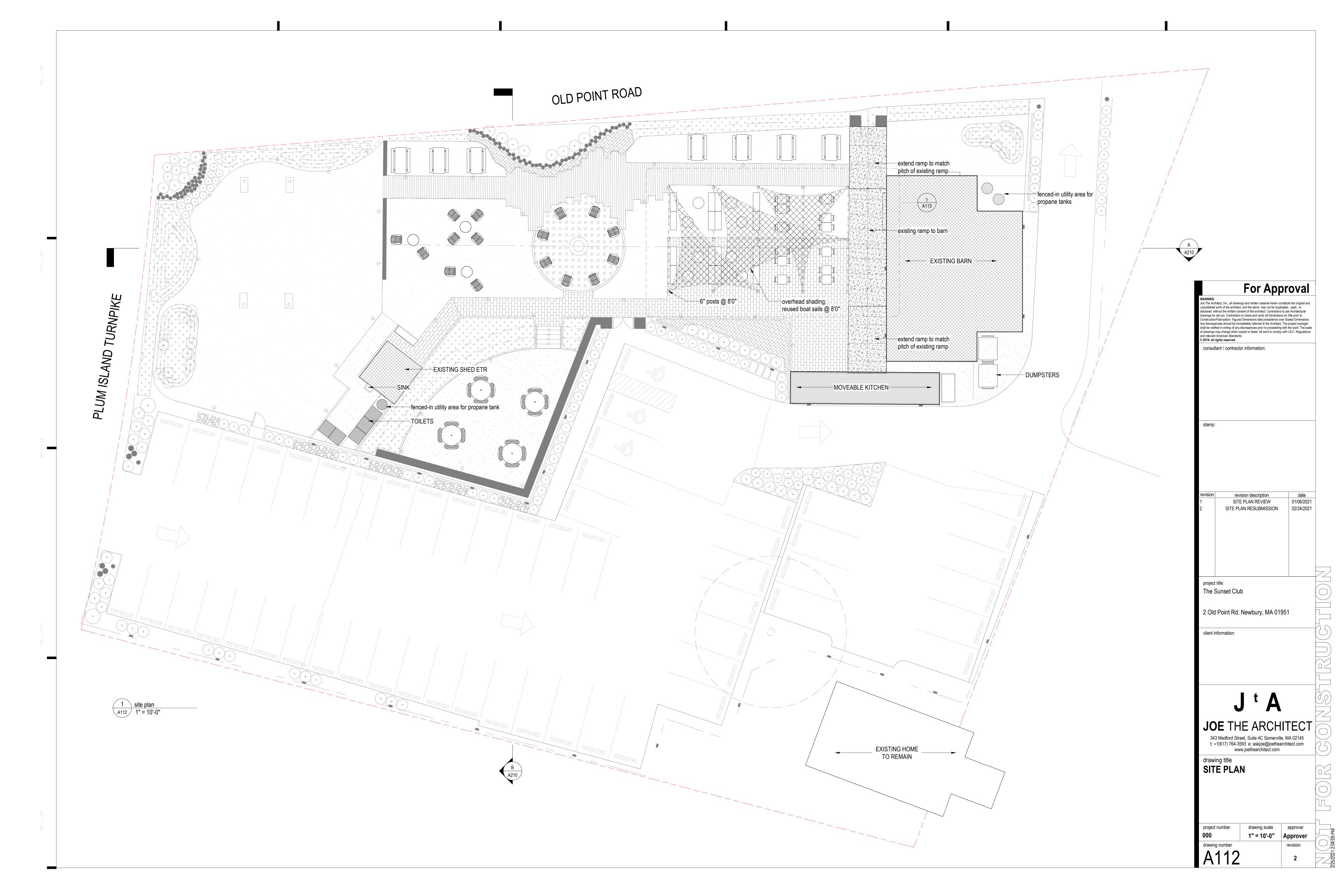
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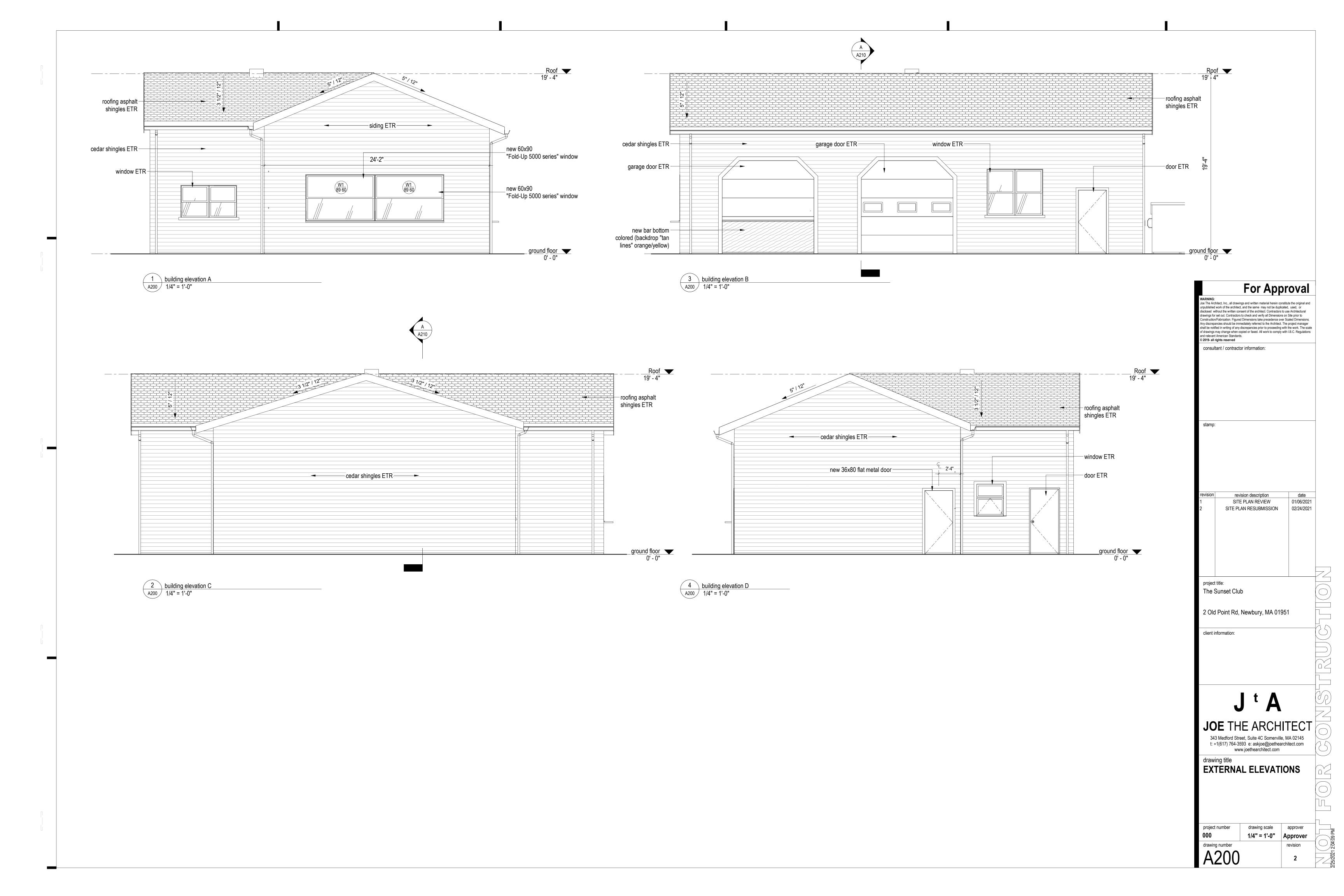
C5

DR BY: MCH
CHK BY: SBS

PROJ NO: 20-067 DATE: 1/6/21

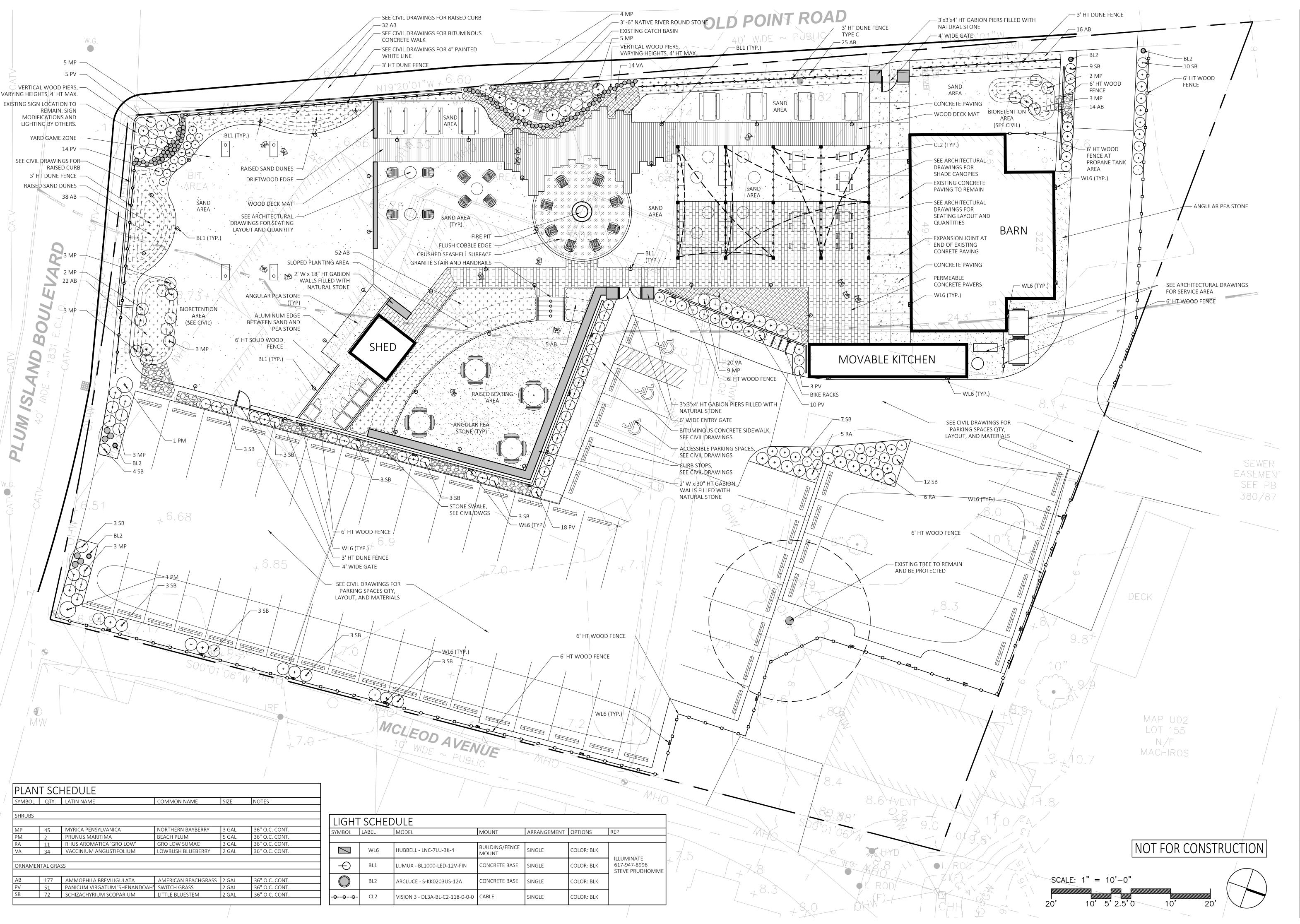
SCALE: NTS







project number drawing scale approver Approver drawing number calculated approver approver drawing number 2

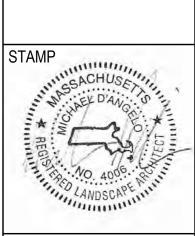


CHAEL D'ANGELO landscape architectur

MICHAEL D'ANGELO ANDSCAPE ARCHITECTURE L 732 EAST BROADWAY #3 BOSTON, MA 02127

32 EAST BROADWAY #3 BOSTON, MA 02127 t. 203.592.4788 www.m-d-l-a.com

PLUM ISLAND PATIO
2 OLD POINT RD
NEWBURY, MA 01951



. NO.	DATE	DESCRIPTION		
	01/06/21	PLANNING BOARD		
	02/24/21	PLANNING BOARD		

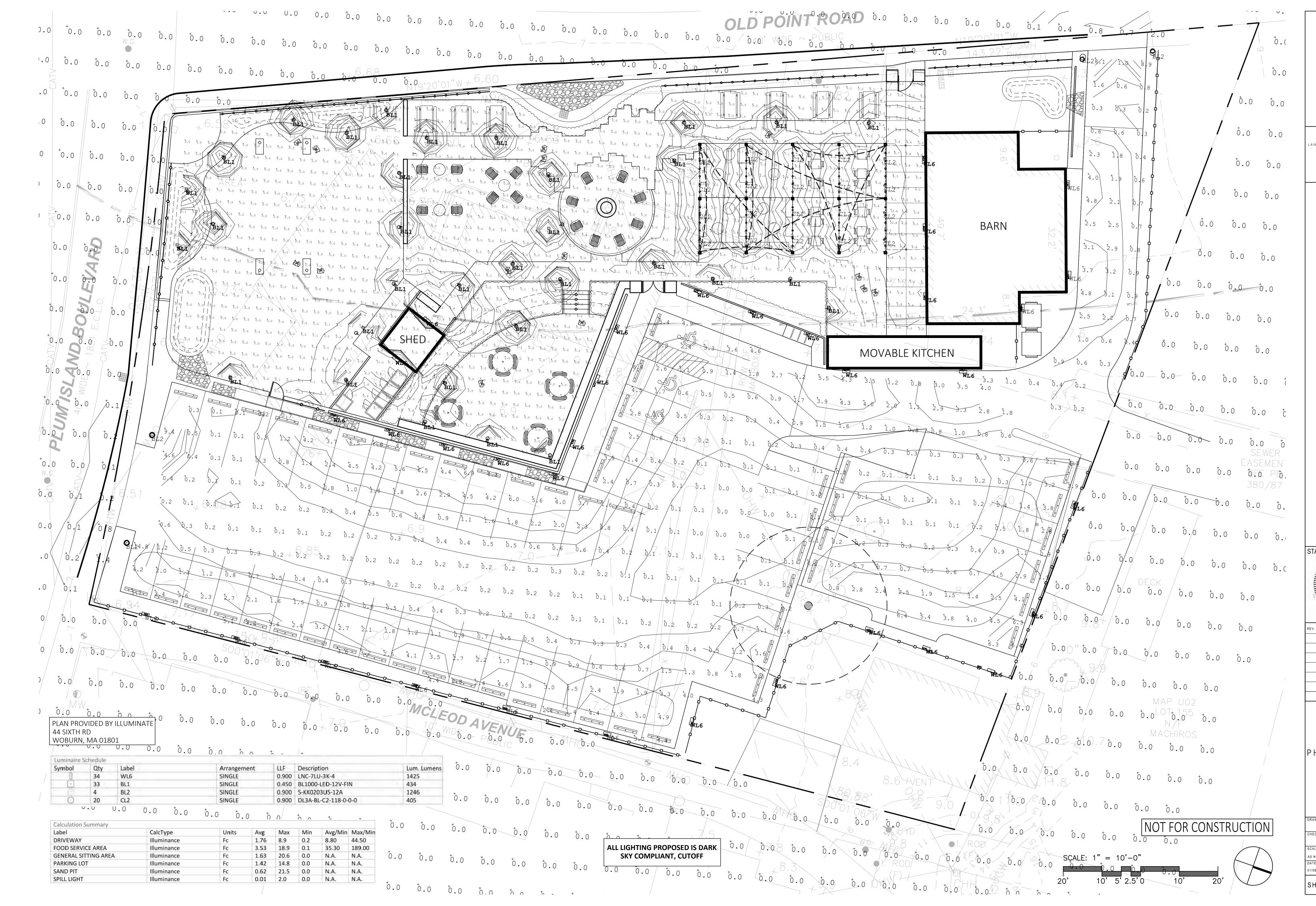
MATERIALS, PLANTING, AND LIGHTING PLAN

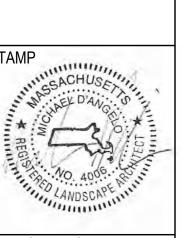
CHECKED

SCALE
AS NOTED

DATE
01/06/21

SHEET 1 OF 3





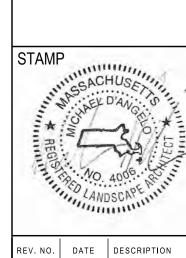
DATE	DESCRIPTION		
01/06/21	PLANNING BOARD		
02/24/21	PLANNING BOARD		

PHOTOMETRIC PLAN

SHEET 2 OF 3



MICHAEL D'ANGELO NDSCAPE ARCHITECTURE L



01/06/21 PLANNING BOARD

SITE

AS NOTED DATE 01/06/21 SHEET

DETAILS

OF 3 plot date: 2/24/2021

732 EAST BROADWAY #3 BOSTON, MA 02127 t. 203.592.4788 www.m-d-l-a.com

PERMEABLE JOINT OPENING AGGREGATE: OPEN-GRADED, CRUSHED, ANGULAR STONE; ASTM NO. 8

CONCRETE WALK

-

- 4.5"x9.5"x3.25" PERMEABLE PAVER PERMEABLE SETTING BED AGGREGATE: OPEN-GRADED, CRUSHED, ANGULAR STONE; ASTM NO. 8 PERMEABLE BASE AGGREGATE: OPEN-GRADED CRUSHED, ANGULAR ASTM NO. 57

TRIAXIAL GEOGRID PERMEABLE SUBBASE AGGREGATE: OPEN-GRADED, CRUSHED, ANGULAR STONE; ASTM NO. 2

MIRAFI 140N FILTER FABRIC

COMPACTED SUBGRADE

PLANTING:

UTILITIES.

NURSERY STOCK.

CALIPER

1. DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND

2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN

PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.

5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.

VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.

OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.

SHALL BE PAID FOR BY THE CONTRACTOR.

TREES: SEE DETAIL; d.) SOD/SEED: 6"MIN.

1. IMAGE FOR REFERENCE ONLY. FENCING PROVIDED BY OWNER

3' HT DUNE FENCE

ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC

3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS

4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL

6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND

7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR

8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL. STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF

9. MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.

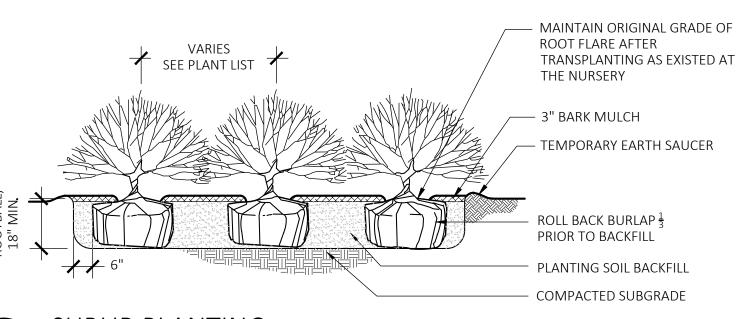
10.LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED

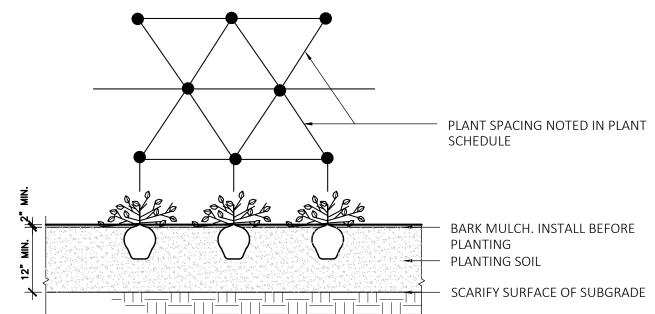
12.PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR

11. SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUNDCOVER: 6" MIN.; c.)

CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE

PERMEABLE PAVERS





GROUNDCOVER PLANTING



1. IMAGE FOR REFERENCE ONLY. FENCING PROVIDED BY OWNER 2. "CLASSIC PICKET" FENCE BY FENCES UNLIMITED; TEL: 603-537-0555

6' HT WOOD FENCE

KLOU180 Arcluce Code S-KL0203US-12A 0871001D-830-16US Code Ref. TECHNICAL INFORMATION Light source: Light efficiency: Power luminaire: 20W, 1550lm LED life time: > 60000h - L80 - B20 (Ta 25°C High colour consistency: < 3 SDCM 120-277V 60Hz 0-10V A: Ø 7" 1/4 B: 39" 3/8 2.15 ft² Die-cast aluminium body (EN 47100). Extruded aluminium pole. - Double layer polyester powder paint resistant to corrosion and salt spray fog. Slicone rubber gaskets. - AISI 316 stainless steel external screws. - Driver protected against voltage surges up to 4kV. - Reflector made of 99,85 anodized aluminium with non-iridescent specular finishing. UV rays stabilized, V2 self-extinguishing transparent polycarbonate diffuser. - Die-cast aluminium base (EN 47100). - Double M20 cable gland for through wiring. Galvanized and painted steel base plate with galvanized steel stud botts.

VISIONS

Cap

Machined 6061-T6 aluminum or C36000 brass cap threads on to body to allow toolJess removal of cap, and is sealed to the body with a high temperature silicone O-ring.

Accepts up to two internal accessories, held in place by a stainless steel clip.

GY-6.35 porcelain socket with 600V, 250°C, PTFE coated 18 ga leads.

AC4-C2 AC4-C4

SCALE: 1" = N.T.S.

Tempered, clear lens, secured to cap with a high temperature, UV curing, silicone

TGIC thermo set polyester powder coat paint available in 14 standard colors. On aluminum model, finish is applied over a corrosion resistant, hexavalent chromium free, RoHS compliant coating. Aluminum model available in one additional metal finish: Clear

Anodized. Brass model available in three additional metal finishes: Natural, Polished, and

Machined 6061-T6 aluminum or C36000 brass body with cast brass loop allows fixture to be hung from a chain, cable, or hook. (Hanging hardware not included). A molded high temperature silicone wire pass-thru prevents water from entering thru rear of body or Integral LED: 12-24V AC/DC 6W (400lm) or 12V AC/DC 10W (700lm) LED options

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MR16 Halogen: 1
0 - None
01 - ESX, 20W, 42°
02 - BAB, 20W, 40°
03 - FRB, 35W, 12°
11 - EXX, 50W, 26°
04 - FRA, 35W, 23°
12 - FNV, 50W, 60°

Retrofit MR16 LED (3000K, 90 CRI): 3,4,5

Example: DL3B - POL - C2 - 01 - 0 - F2 - H1 to change. Please check website for latest specification sheets.

©2005 - 2020 Vision3 Lighting® P.O. Box 607, Fowler, CA 93625 (559) 834-5749 (559) 834-4779 fax www.vision3lighting.com

Cap Style
C2 - Regress Lens
C2L - Regress Lens, Long
PERF - Perforated Cap
116 - 6W, 12° 142 - 10W, 21°
117 - 6W, 21° 142 - 10W, 21°
118 - 6W, 41° 143 - 10W, 41°

Powder Coat Finishes:
BLT - Textured Black
BMT - Textured Bronze BN - Bronze
BAT - Textured Bark
GRT - Textured Green
GMT - Textured Green
GMT - Textured Green
EAT - Textured Sand
BE - Beige
PAT - Textured Farith
EAT - Textured Farith

MR16 Ring Mount MODEL DL3

nclude integral driver with High/Low switch for 35W/20W (6W) or 50W/35W (10W) alogen equivalent outputs. LED Modules are field replaceable and feature replaceable

lenses, an L70 > 60,000 hrs., dynamic transformer recognition, phase dimming (see

with specially engineered heat sink mount to ensure proper heat transfer to body. Note: Retrofit LED will overheat without supplied heat sink mount.

All ratings subject to change without notice. See website or contact V3 for most current

Transformer and Dimmer Compatibility List), and patented LEDSense* thermal

DL3A - 50W Max. MR16 Halogen lamp. DL3B - 35W Max. MR16 Halogen lamp.

LED options can be used in all models and applications.

12V 50W Max., MR16 Halogen 12V 7.5W, 12/24V 6W, or 12V 10W LED

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0 0 0 0

Allowable wattage depends on model and application. See Certification heading above.
 Only two lens options can be used.

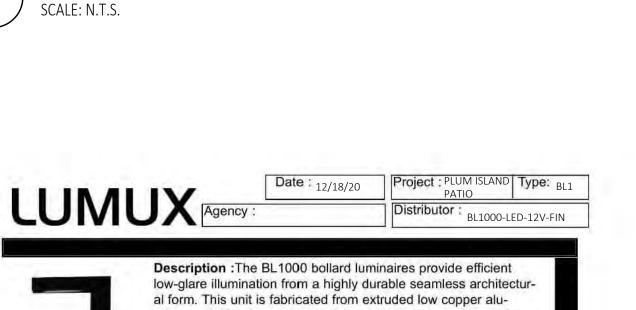
4. Only prived ECD ainly uploars wan approved assistances. Contact V3 for transformer and dimmer compatibility into).
5. Use only approved Retroff IMR/6 LED lamps and supplied heat sink mount, otherwise LED may overheat.
6. Specifications, certifications, and ordering information are subject to change. Please check website for latest specification sheets.

Only power LED lamp options with approved transform

Arcluce North America Inc., 4000 MacArthur Blvd, Suite 600, Newport Beach, CA 92660, Mail: export@arcluce-us.com

- 2700K on request

BL2 LIGHT SCALE: 1" = N.T.S.



DATE 12/18/20 LOCATION

CATALOG # LNC-7LU-3K-4

COMPACT LED LITEPAK

Full cut-off neighbor friendly

SPECIFICATIONS CONSTRUCTION

for long life

Decorative die-cast aluminum housing and

· Rugged design protects internal component

· Powder paint finishes provide lastin

appearance in outdoor environments

included, use for applications near

brightness is desired

- Full cut-off distribution; Ambient diffuser

enterances or locations where reduced

Drivers are 120-277V, 50/60Hz Type II, III and Type IV lenses provide wide lateral spread

3000K - 80 CRI, 4000K - 70 CRI, and 5000K - 70 CRI, CCT nominal

Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion

Listed to UL1598 for use in wet locations

Compact LNC LED is designed for perimeter illumination and available in 3 lumen packages for safety, security and identity

Up to 4.1 spacing to mounting height ratio means fewer fixtures to instail

Acrylic diffuser included Use for applications near entrances or locations

where reduced brightness is desired. (Maximum spacing with diffuser 30ft)

INSTALLATION

square junction box

per IESNA TM-21-11

0-10V dimming 120-277V only.

Quick mount adapter provides quick Installation, designed for recessed box 4

60,000 hours minimum LED life at L96 rating.

Minimum operating temperature is -40°C/-40°F

LNC5L — 5 LEDs, Types II, III or IV available, see page 2 for electrical details

. LNC7L - 7 LEDs, Type IL III or IV available, see page 2 for electrical details

LNC9L – 9 LEDs, Types II, III or IV available, see page 2 for electrical details

dusk-to-dawn control for additional energy

3000K, 4000K, 5000K and Amber color temperatures

Die-cast aluminum housing with decorative Laredo styling

FEATURES

TYPE WL6 PROJECT PLUM ISLAND PATIO

LNC-5L

RELATED PRODUCTS

8 LNC2 8 INC3 8 LNC4

CERTIFICATIONS

5 year limited warranty

Lumen Range

Wattage Range

Efficacy Range (LPW)

96 (24.5)

See HU Standard Warranty for

with some Premium Qualified configurations

. Listed and labeled to UL 1598 for wet

locations, 25°C ambient environments

Please refer to the DLC website for specific

minum. All hardwares are stainless steel. silicon gasketed for weather tight operation. Anchor bolts are provided. Unit could be specified in Black, Silver, White or Dark Bronze. Unit complies with "Made in USA" provision. ETL listed for wet locations. IP65

Housing: Extruded low copper aluminum. Diffuser: Frosty Lens. Vandal resistance stainless steel screws. Silicon gasketed for weather tight operation.

Electrical: 12Volt DC Lamp: LED Unit is provided with anchor bolts.

DIMENSIONS: Washington and Through a sale partition of the Committee

Lumux reserves the right to modify the above details to reflect changes in the cost of materials and/or design without prior notice. Lumux Lighting Inc Rev : A Drawing Number BL1000

BL1 LIGHT SCALE: 1" = N.T.S.

SPECIFICATION:

NOT FOR CONSTRUCTION