

OSRD RESIDENTIAL DEVELOPMENT

OPEN SPACE CONDOMINIUM LAYOUT,
UTILITIES & STORMWATER PLAN

"SEAGATE"

105 HIGH ROAD
NEWBURY, MASSACHUSETTS

"I CERTIFY THAT THIS PLAN CONFORMS TO
THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS."

STEPHEN SAWYER P.E. DATE

FOR REGISTRY OF DEEDS USE ONLY



CIVIL:
DESIGN CONSULTANTS, INC.
SOMERVILLE, MA

LANDSCAPE:
HAWK DESIGN
SAGAMORE, MA

CLIENT:
DEPIERO PROPERTIES, LLC
NEWBURYPORT, MA

PROJECT TEAM

SEAGATE

105 HIGH ROAD,
NEWBURY, MA

**OPEN SPACE
CONDOMINIUM
LAYOUT, UTILITIES
& STORMWATER
PLAN**

PROJECT INFO

[illegible]

STAMP:

TITLE SHEET

SHEET NAME:

G1.11

SHT NO:

DR BY: DMH

CHK BY: SS

PROJ NO: 2019-132

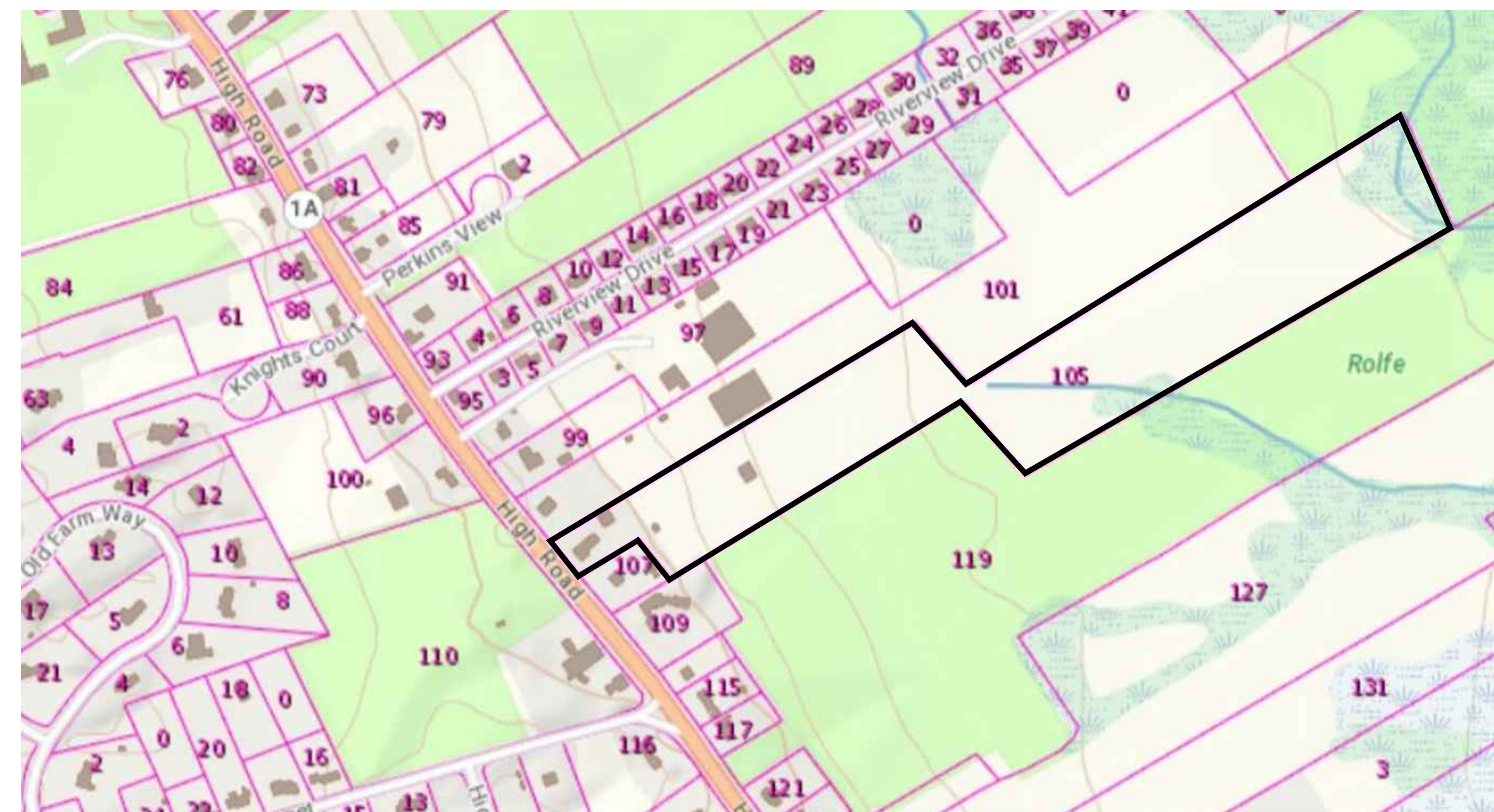
DATE: 05.19.2021

SCALE:

	"PLANNING BOARD APPROVAL UNDER <u>THE OSRD ZONING REGULATIONS "</u> NEWBURY PLANNING BOARD
TOWN OF NEWBURY OFFICE OF THE TOWN CLERK	
THIS IS TO CERTIFY THAT ON / / , I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.	
_____ CLERK	_____ DATE

SHEET INDEX:

<u>SHEET No.</u>	<u>DESCRIPTION</u>
G1.11	TITLE SHEET
G1.21	GENERAL NOTES AND LEGEND
G2.13	OPEN SPACE PLAN
C1.11, C1.12	SITE PLANS
C1.21, C1.22	GRADING AND DRAINAGE PLANS
C1.31, C1.32	UTILITY PLANS
C2.11, C2.12	PROFILES
L1	LANDSCAPE PLAN
C1.41, C1.42	EROSION & SEDIMENTATION PLANS
C5.11, C5.12, C5.13,	MISC.DETAILS



LOCUS PLAN
SCALE: 1"=500'±

LIST OF ABUTTING PROPERTIES

#101 HIGH ROAD / PHOENIX RISING REALTY TRUST
#5 LITTLES LANE / THE SOCIETY FOR THE PRESERVATION OF
NEW ENGLAND ANTIQUITIES
#119 HIGH ROAD / ROBERT AND LUCILLE COLBY
#109 HIGH ROAD / PHILIP & ALANA DUNN
#107 HIGH ROAD / CHRISTOPHER SIMPSON & BONNIE HETRICK

OWNER REFERENCES

105 HIGH ROAD

OWNER: Mitchell Mantin

DEED REFERENCE: BOOK 39377 PAGE 178

ASSESSORS: MAP R-48 LOT 49

STEPHEN SAWYER P.E. DATE

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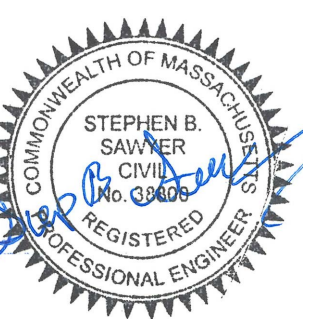


DCi
Design Consultants Inc.
Somerville - Quincy - Newburyport
www.dci-ma.com

LANDSCAPE:
HAWK DESIGN
SAGAMORE, MA

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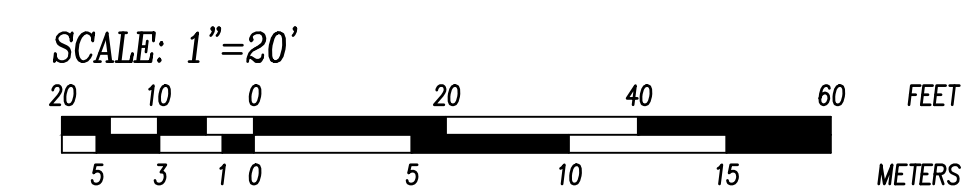
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SHEET NAME:

SCALE:

CLERK _____ DATE _____

DATE _____



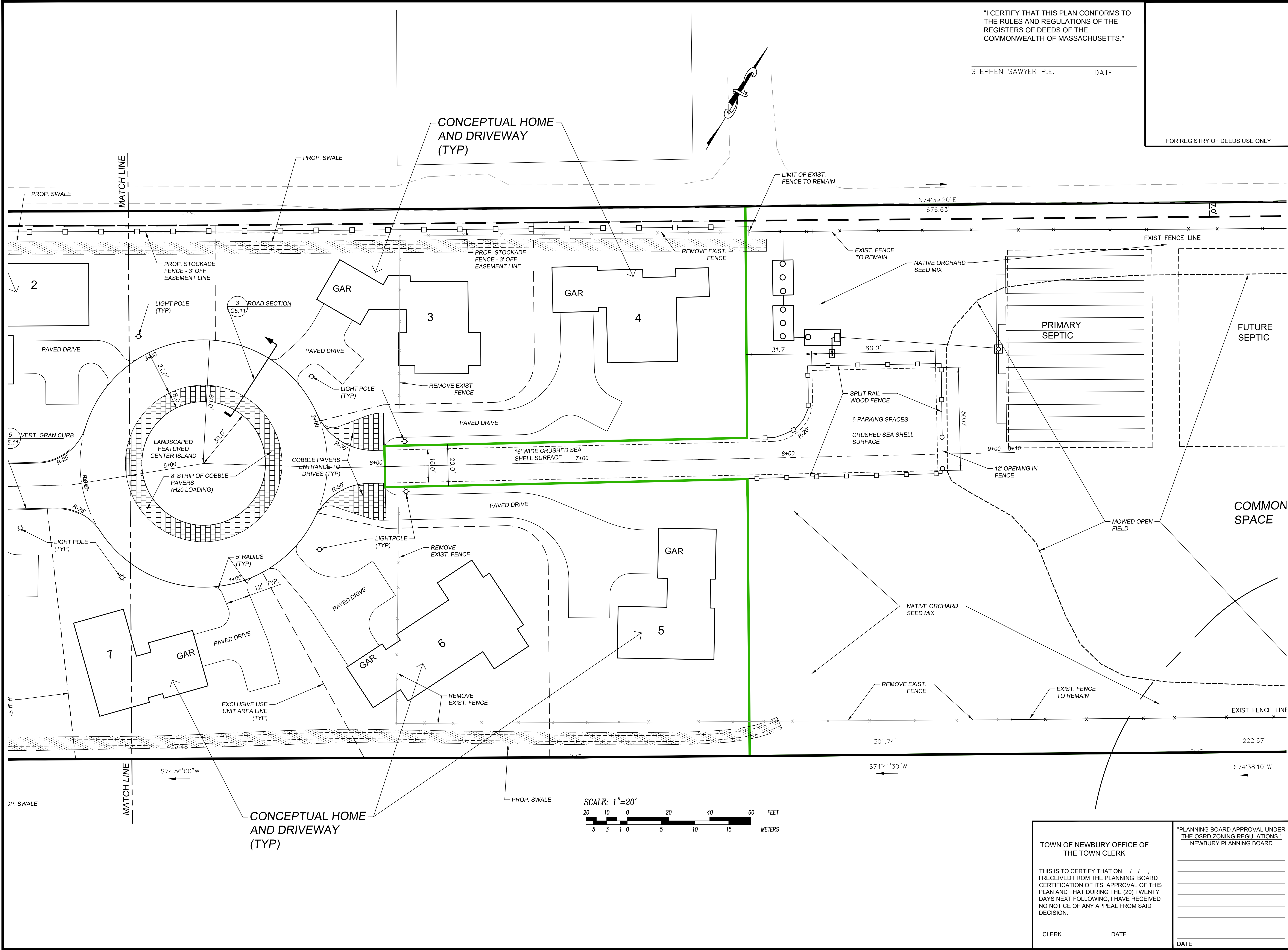
CONCEPTUAL HOME—
AND DRIVEWAY (TYP)

HIGH ROAD(RTE 1A)

CB
RIM=53

P:\2019 Projects\2019-132 105 High Rd Newbury\DWG_ENGINEERING\OSRD Site Plan Review\1.0 Sheet Files\OSRD SP.dwg

P:\2019 Projects\2019-132 105 High Rd Newbury\Draws\ENGINEERING\OSRD Site Plan Review\1.0 Sheet
Files\OSRD SP.dwg



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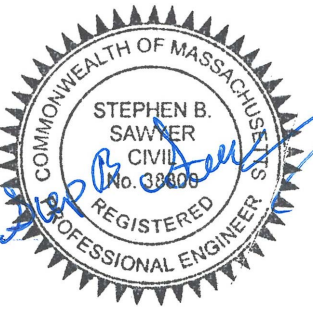
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NEWBURY, MA

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LAYOUT, UTILITIES
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REV	DESCRIPTION	DATE
2	PEER REVIEW REVISIONS	8/12/21
1	DRAINAGE MOD.	7/20/21



STAMP:

OSRD SITE PLAN

SHEET NAME:

C1.12

SHT NO:

DR BY: DMH

CHK BY: SS

PROJ NO: 2019-132

DATE: 05-19-2021

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NEWBURY PLANNING BOARD

DATE

TAX MAP R-48 LOT 48
N/F PHOENIX RISING REALTY TRUST
BK 36251 PG 170
#101 HIGH ROAD

EXISTING HORSE STRUCTURE

DRAINAGE INVERTS

CB-5 R-31.01
(TO DMH-3) 12" HDPE INV. OUT - 26.74

DMH-3 R-31.48
(FROM CB-5) 12" HDPE INV. IN - 26.40
(FROM DMH-2 15" HDPE INV. IN - 26.36
(TO DMH-4) 18" HDPE INV. OUT - 26.26

DMH-4 R-24.70 (TREATMENT CHAMBER)
(FROM DMH-3 18" HDPE INV. IN - 20.60
(TO INFIL BASIN) 18" HDPE INV. OUT - 20.50

FES AT INFIL BASIN INV. 20.09

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STAMP:

OSRD
GRADING/
DRAINAGE
PLAN

SHEET NAME:

C1.22

SHT NO:

DR BY: DMH

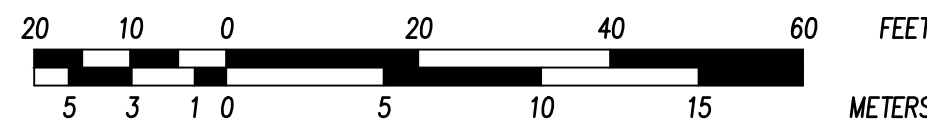
CHK BY: SS

PROJ NO: 2019-132

DATE: 05-19-2021

SCALE:

SCALE: 1"=20'



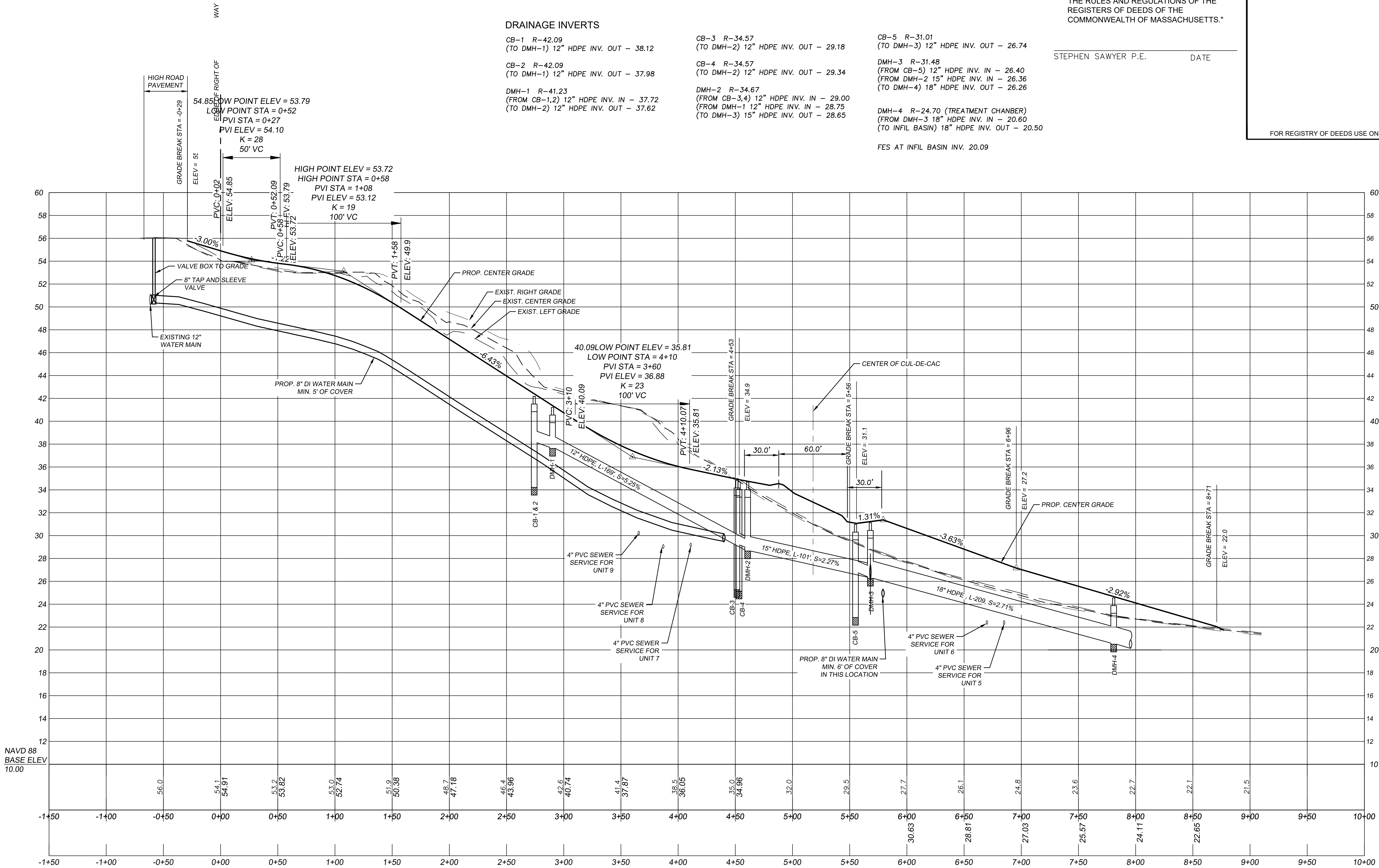


SCALE:

DATE _____

DATE: _____

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Files\OSRD P1.dwg



DRAINAGE INVERTS

CB-1 R-42.09 (TO DMH-1) 12" HDPE INV. OUT - 38.12	CB-3 R-34.57 (TO DMH-3) 12" HDPE INV. OUT - 29.18	CB-5 R-31.01 (TO DMH-3) 12" HDPE INV. OUT - 26.74
CB-2 R-42.09 (TO DMH-1) 12" HDPE INV. OUT - 37.98	CB-4 R-34.57 (TO DMH-2) 12" HDPE INV. OUT - 29.34	DMH-3 R-31.48 (FROM CB-5) 12" HDPE INV. IN - 26.40 (FROM DMH-2 15" HDPE INV. IN - 26.36 (TO DMH-4) 18" HDPE INV. OUT - 26.26
DMH-1 R-41.23 (FROM CB-1,2) 12" HDPE INV. IN - 37.72 (TO DMH-2) 12" HDPE INV. OUT - 37.62	DMH-2 R-34.67 (FROM CB-3,4) 12" HDPE INV. IN - 29.00 (FROM DMH-1 12" HDPE INV. IN - 28.75 (TO DMH-3) 15" HDPE INV. OUT - 28.65	DMH-4 R-24.70 (TREATMENT CHAMBER) (FROM DMH-3 18" HDPE INV. IN - 20.60 (TO INFIL BASIN) 18" HDPE INV. OUT - 20.50

FES AT INFIL BASIN INV. 20.09

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NEWBURYPORT, MA

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1.	DRAINAGE MOD.	7/20/21
REV	DESCRIPTION	DATE



STAMP:

OSRD
DRIVE
PROFILE

SHEET NAME:

C2.11

SHT NO:

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CLERK

DATE

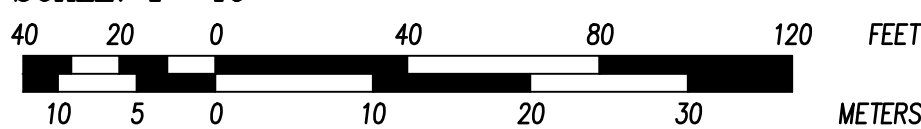
"PLANNING BOARD APPROVAL UNDER
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NEWBURY PLANNING BOARD

DATE

PROFILE - DRIVE

SCALE: HORZ: 1"=40'
VERT: 1"=4'

SCALE: 1"=40'

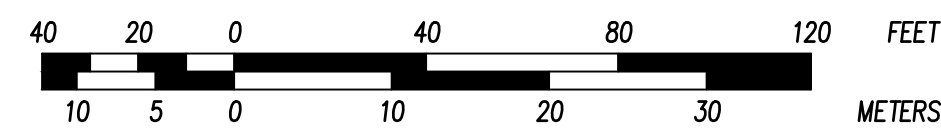


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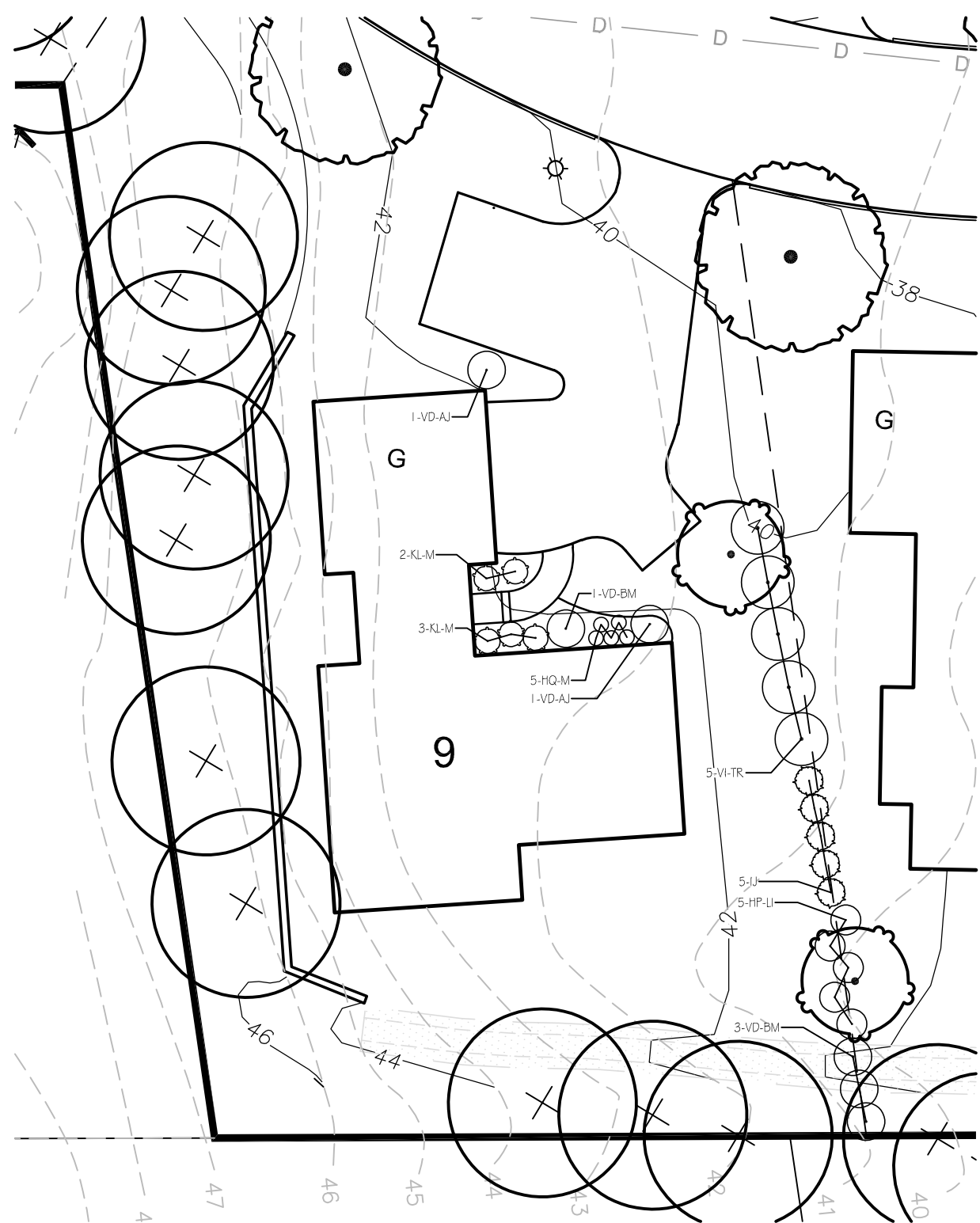
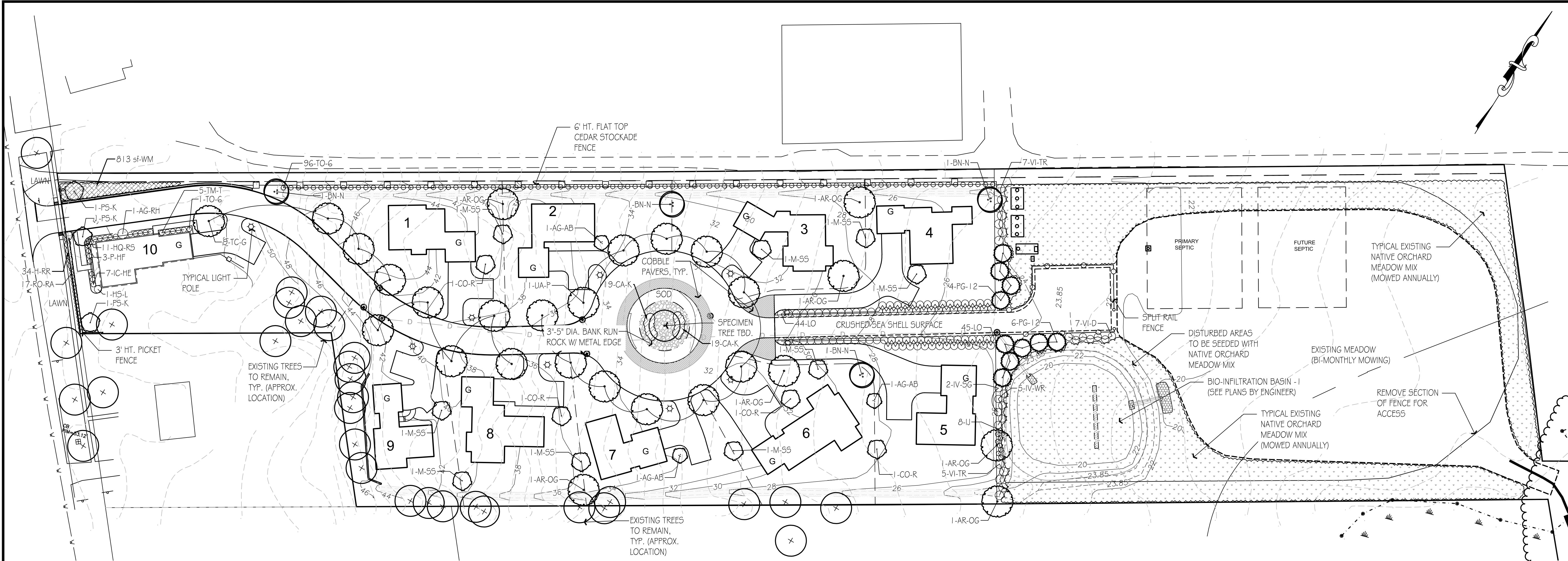
PROJECT INFO

SHEET NAME:

SCALE:



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PLANT SCHEDULE UNIT 9

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
HP-LI	5	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	B & B	2-2.5' HT.
HQ-M	5	Hydrangea quercifolia 'Munchkin'	Oakleaf Hydrangea	Cont.	18-24" HT.
IJ	5	Ilex crenata 'Steeds'	Steeds Japanese Holly	B & B	3-3.5' HT.
KL-M	5	Kalmia latifolia 'Minuet'	Minuet Mountain Laurel	B & B	2-2.5' HT.
VD-AJ	2	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Viburnum	B & B	4-5-5' HT.
VD-BM	4	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood	Cont.	4-5' HT.
VI-TR	5	Viburnum trilobum	American Cranberrybush	B & B	4-5' HT.

PLANT SCHEDULE SITE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANT SIZE	SALT
AR-OG	7	Acer rubrum 'October Glory'	October Glory Maple	B & B	3.5" cal.	12' HT	
BN-N	4	Betula nigra	River Birch Multi-Trunk	B & B			
TC-G	9	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	B & B	3-3.5" CAL.		
UA-P	11	Ulmus americana 'Princeton'	Princeton American Elm	B & B	3.5" cal.		
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANT SIZE	SALT
PG-12	10	Picea glauca	White Spruce	B & B		10-12' HT.	
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANT SIZE	SALT
AG-AB	3	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry Multistem	B & B	2.5-3" CAL.	2.5-3' HT.	
CO-R	4	Cornus x 'Rutdan'	Celestial Dogwood	B & B	2.5-3" CAL.		
M-SS	9	Malus 'Spring Snow'	Spring Snow Crabapple	B & B	2.5-3" CAL.		
PS-K	3	Prunus serrulata 'Kwanzan'	Kwanzan Cherry	B & B	3-3.5" CAL.		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	SPACING
AG-RH	1	Amelanchier grandiflora 'Robin Hill'	Robin Hill Serviceberry	B & B		8-10' HT.	
HQ-RS	11	Hydrangea quercifolia 'Ruby Slipper'	Oakleaf Hydrangea	B & B		2-2.5' HT.	
HS-L	1	Hibiscus syriacus 'Lucy'	Lucy Rose of Sharon	B & B		4-5' HT.	
IC-HE	7	Ilex crenata 'Hetzi'	Hetzii Japanese Holly	B & B		2.5-3' HT.	
IJ	8	Ilex crenata 'Steeds'	Steeds Japanese Holly	B & B		3-3.5' HT.	
IV-SG	2	Ilex verticillata 'Southern Gentelman'	Winter Red Holly	Cont.		4-5' HT.	
LO	5	Ilex verticillata 'Winter Red'	Winter Red Holly	Cont.		4-5' HT.	
RO-RA	17	Rosa x 'Radrazz'	Knock Out Rose	B & B		5' HT.	
TM-T	5	Taxus x media 'Tauntoni'	Tauton Yew	B & B		2-2.5' HT.	
TO-6	97	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	B & B		18-24" HT.	
VI-D	7	Viburnum dentatum	Viburnum	B & B		4-5' HT.	5-6' o.c.
VI-TR	12	Viburnum trilobum	American Cranberrybush	B & B		4-5' HT.	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	SPACING
P-HF	3	Hosta x 'Frances'	Hosta	1 gal			
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT			
CA-K	38	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 GAL.			36" o.c.
H-RR	34	Heemerocallis x 'Red Hot Returns'	Red Hot Returns Daylily	1 gal			24" o.c.
WM	813 sf	Wildflower Seed Mix	Wildflower Seed Mix	seed			

NOTES:
1. WILDFLOWER SEED MIX (ENTRY ONLY):
NE Seed: Northeast Wildflower Seed mix

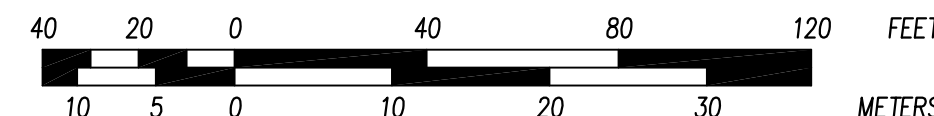
Application Rate: 5-10 lbs/acre | 4oz./1,000 sq. ft.

Species: Annual Baby's Breath, Black-Eyed Susan, Catchfly, Cornflower, Corn Poppy, Dwarf Evening Primrose, Foxglove, Gayfeather, Indian Blanket, Lance-Leaved Coreopsis, New England Aster, Perennial Lupine, Purple Coneflower, Scarlet Flax, Shasta Daisy, Siberian Wallflower, Smooth Penstemon, Spurred Snapdragon and Sweet William Pinks

2. All disturbed areas other than entry and rear open space, to be seeded with all purpose landscape seed mix including, fescue, bluegrass, and ryegrass, unless otherwise noted.

3. Seed mixes to be installed per manufacturers requirements

SCALE: 1"=40'



NORTH

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PROJECT INFO

REV	DESCRIPTION	DATE
2.	LOT 9 REVISIONS	8/26/21
1.	DRAINAGE MOD.	7/20/21



STAMP:

Site Landscape Plan

SHEET NAME:

L1

SHT NO:

DR BY: PJK

CHK BY: TM

PROJ NO: 2019-132

DATE: 08-12-2021

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OSRD
EROSION &
SEDIMENT
CONTROL
PLAN

SHEET NAME:

C1.41

SHT NO:

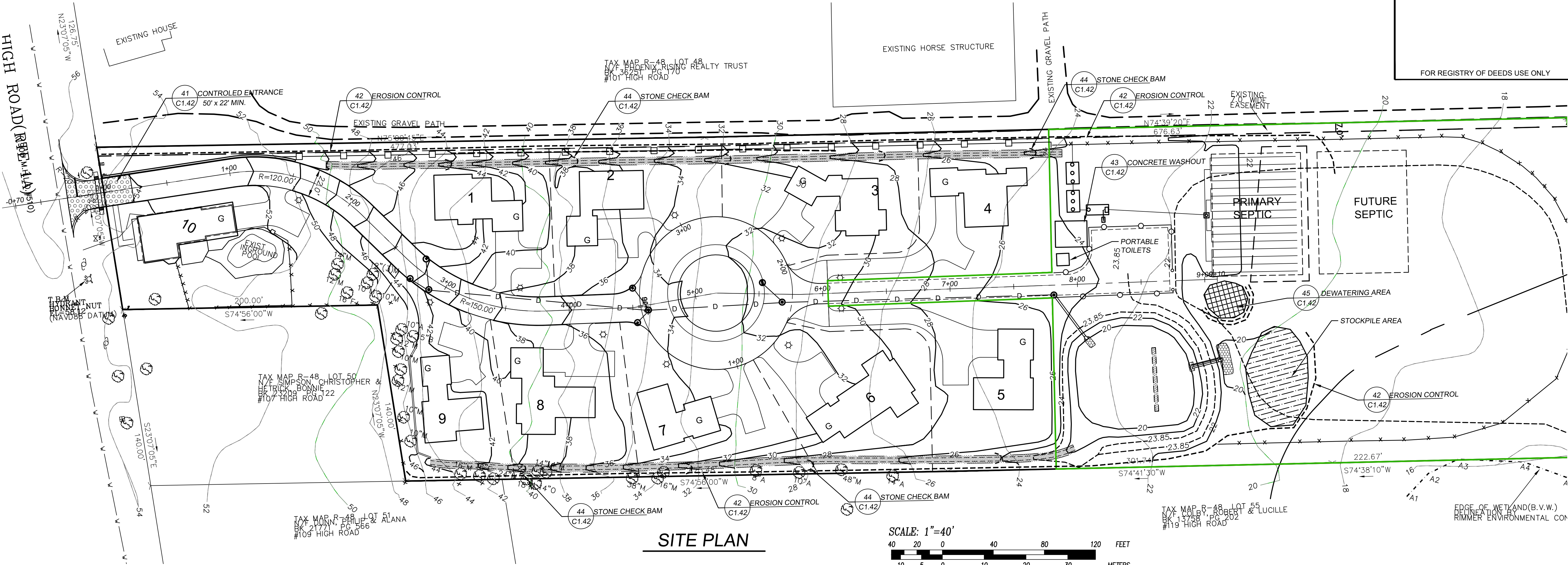
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General Construction Notes

WOODY MATERIAL REMOVED DURING THE CLEARING PROCESS MAY BE GROUND UP AND USED AS MULCH FOR EROSION CONTROL TO STABILIZE APPROPRIATE AREAS.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVEL HAS BEEN INSTALLED IN AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCH OF NON EROSION MATERIAL SUCH AS RIP-RAP HAS BEEN INSTALLED
- OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE BY TEMPORARY SEEDING OR OF PERMANENT SEEDING AS SHOWN ON THE DESIGN PLANS.

SEEDING SPECIFICATIONS ARE AS FOLLOWS:

TEMPORARY SEEDING FOR EROSION CONTROL DURING CONSTRUCTION:

SPECIES	POUNDS/1000 SF	REMARKS
WINTER RYE	2.5	BEST FOR FALL SEEDING. AUG. 15 TO SEPT. 15. SEED TO A DEPTH OF 1"
OATS	2.0	BEST FOR SPRING SEEDING. NO LATER THAN MAY 15. SEED TO A DEPTH OF 1"
ANNUAL RYEGRASS	1.0	SEED EARLY SPRING. AUG. 15 TO SEPT. 15. COVER SEED WITH NO MORE THAN 0.25"
PERENNIAL RYEGRASS	0.7	SEED BETWEEN APRIL 1 TO AUG. 15. SEED TO A DEPTH OF 0.5"

PERMANENT VEGETATION SEED MIXTURE:

SPECIES	POUNDS/1000 SF
TALL FESCUE	0.45
CREeping RED FESCUE	0.45
BIRDSFOOT TREFOL	0.20
TOTAL	1.10

ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON 3:1 SLOPES OR GREATER. SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING SHALL BE USED ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW AND SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15, INCOMPLETE ROADS OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL.

CONCRETE WASH OUT SHALL BE CONDUCTED IN THE DESIGNATED AREA AND USE THE CONCRETE WASH OUT DETAIL 43 SHOWN ON SHEET C1.42.

NO STUMPS OR DEBRIS SHALL BE BURIED ONSITE. ALL STUMPS AND CONSTRUCTION DEBRIS SHALL BE STORED ONSITE UNTIL THEY CAN BE DISPOSED OFF SITE IN AN ACCEPTABLE FACILITY CAPABLE OF HANDLING SUCH MATERIALS.

TEMPORARY PORTABLE TOILETS SHALL BE PROVIDED AND PROPERLY MAINTAINED ONSITE FOR THE DURATION OF THE ROAD CONSTRUCTION.

VEHICLE MAINTENANCE SHALL BE PERFORMED OFF SITE. ANY VEHICLE LEAKING OIL OR GREASE SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE. FUEL AND OILS SHALL BE STORED IN AN APPROVED LOCATION AND COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS. IN NO CASE SHALL THEY BE STORED WITHIN 100' OF WETLAND AREAS.

DUST SHALL BE CONTROLLED ON AN AS-NEEDED BASIS BY WATER TRUCK DISTRIBUTION. AT A MINIMUM WATER TWICE PER DAY EXCEPT DURING RAIN EVENTS. THE AREAS OF THE SITE THAT MAY REQUIRE WATERING DURING CONSTRUCTION INCLUDE UN-VEGETATED SOIL, UNPAVED SUB-GRADES, AND TEMPORARY UNPAVED ACCESS ROADS.

WHEN DE-WATERING IS NEEDED UTILIZE THE DEWATERING DETAIL 42 ON SHEET C1.42.

Construction Sequence Plan

Phase I - Road and Infrastructure

CONSTRUCTION OF THE ROADWAY AND INFRASTRUCTURE INCLUDING

INSTALL CONTROLLED ENTRANCE ONTO HIGH ROAD. SEE DETAIL 41 ON SHEET C1.42

INSTALL PERIMETER EROSION CONTROLS AS SHOWN ON THE PLANS

CLEAR AND GRUB THE AREA OF THE ROADWAY, SEWER LINES, LEACHFIELD, AND SEA SHELL PATH.

STRIP AND STOCKPILE THE TOPSOIL IN THE OPEN FIELD BEYOND THE SEA SHELL PATH. PLACE A RING OF COMPOST SOCK AROUND THE DOWNHILL SIDE OF THE STOCKPILE.

INSTALL THE SEWER COLLECTION SYSTEM INCLUDING THE SEWER MANHOLES AND THE SEWER SERVICES TO THE CURB LINE OF THE MAIN ACCESS DRIVE OR THE CLEANOUTS WHERE SHOWN.

INSTALL WATER MAIN AND SERVICE LINES TO THE CURB STOP.

INSTALL THE BIO-INFILTRATION BASIN

INSTALL THE DRAINAGE STRUCTURES AND CONNECTING PIPING.

INSTALL SUBSURFACE ELECTRICAL, CABLE, AND COMMUNICATION CONDUITS AND EQUIPMENT AS SPECIFIED BY THE APPROPRIATE UTILITY COMPANY.

GRADE THE SUBBASE TO THE ACCESS DRIVE AND INSTALL THE SUBBASE GRAVEL.

INSTALL THE RETAINING WALL NEAR THE ENTRANCE ALONG THE LEFT SIDE OF THE ACCESS DRIVE

FINEGRADE THE SUBBASE AND INSTALL THE BINDER COURSE OF PAVEMENT.

INSTALL THE VERTICAL GRANITE CURBING ALONG BOTH SIDES OF THE ACCESS DRIVE WHERE SHOWN ON THE PLANS

STABILIZE THE REMAINING SITE WITH TEMPORARY SEEDING OR OTHER METHODS TO INSURE NO SILTS OR SANDS ENTER THE STORMWATER SYSTEMS.

FINAL COAT OF PAVEMENT MAY BE DELAYED UNTIL THE MAJORITY OF THE HOUSING UNIT ARE CONSTRUCTED.

Phase II - Unit construction

PRIOR TO CONSTRUCTION OF THE HOUSING UNIT, CONSTRUCT THE GRASS SWALE ALONG THE SIDE LOT LINES AS SHOWN ON THE GRADING PLANS. THE SWALES SHALL BE STABILIZED BY PLACING TOPSOIL AND SEEDING. TEMPORARY STONE CHECK DAMS TO BE PLACED PERIODICALLY IN THE SWALE AS SHOWN ON DETAIL 44 ON SHEET C1.42.

EXCAVATE FOR THE FOUNDATION. EXCESS SOIL SHALL BE REMOVED FROM THE UNIT BUILDING SITE AT A LOCATION DESIGNATED BY THE OWNER. ALL STOCKPILES SHALL BE PROTECTED BY PLACING A RING OF EROSION CONTROL ALONG THE DOWNHILL SIDE OF THE PILES.

INSTALL FOUNDATION AND SLABS. BACKFILL FOUNDATION WHEN CONCRETE HAS BEEN PROPERLY CURED AS DETERMINED BY THE FOUNDATION DESIGN TEAM.

INSTALL THE SUBSURFACE UTILITIES TO THE HOME.

TEMPORARY TOILETS SHALL BE PLACED IN AN OUT OF THE WAY LOCATION. A DUMPSTER SHALL BE AVAILABLE TO COLLECT TRASH AND CONSTRUCTION DEBRIS FROM BEING DEPOSITED IN THE CONSTRUCTION SITE.

CONSTRUCT THE STRUCTURE.

INSTALL THE BASE GRAVEL FOR THE DRIVE.

INSTALL THE BINDER COURSE FOR THE DRIVE.

FINE GRADE THE SITE AND INSTALL TOPSOIL AND SEED OR SOD.

INSTALL THE LANDSCAPE DETAILS PRODUCTS AND PLANTINGS.

ONCE THE SITE IS FULLY STABILIZED, THE EROSION CONTROL DEVICES MAY BE REMOVED.

TOWN OF NEWBURY OFFICE OF
THE TOWN CLERK

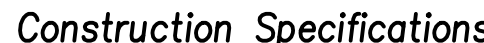
THIS IS TO CERTIFY THAT ON / / I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

CLERK

DATE

"PLANNING BOARD APPROVAL UNDER
THE OSRD ZONING REGULATIONS"
NEWBURY PLANNING BOARD

DATE



1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWENTY (22) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH – MUST BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES MUST BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE CLEANED IMMEDIATELY.
8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

41 STABILIZED
NOT TO SCALE



1. SOCK TO BE NATUARL COMPOSTABLE MATERIALS.
2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
3. PRIOR TO SETTING THE COMPOST SOCK, REMOVE LOOSE FOREST LITTER, BRANCHES OR OTHER MATERIALS THE WILL NOT ALLOW DIRECT CONTACT WITH HE SOIL.

TYPICAL PLAN VIEW

42 COMPOST SOCK —
NOT TO SCALE



Construction Specifications

Structures shall be installed according to the dimensions shown on the plans at the appropriate spacing.

Seeding, fertilizing, and mulching shall conform to the recommendations in the appropriate vegetative BMP.

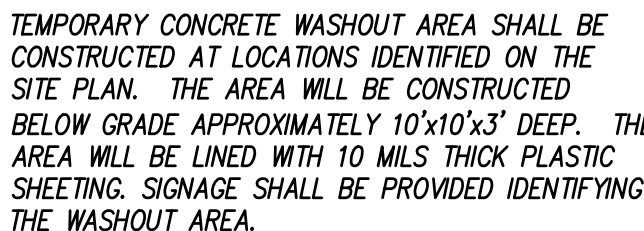
Construction operations shall be carried out in such a manner so as that erosion and air and water pollution will be minimized.

Structures shall be removed from the channel when their useful life has been completed.

Maintenance

Temporary grade stabilization structures should be checked after each rainfall and at least daily during prolonged storms. Any necessary repairs should be made immediately. Particular attention should be given to end run and erosion at the downstream toe of the structure. When the structures are removed, the disturbed portion should be brought to the existing channel grade and the areas prepared, seeded, and mulched. While this is not intended to be used primarily for sediment trapping, some sediment will accumulate behind the structures. Sediment shall be removed from behind the structures when it has accumulated to one half of the original height of the structure.

44 GRADE STABILIZATION CHECK DAM



THE WASHOUT AREA WILL BE CONSTRUCTED
PRIOR TO THE USE OF CONCRETE MATERIALS

THE WASHOUT AREA WILL BE INSPECTED ON A DAILY BASIS BY THE GENERAL CONTRACTOR DURING CONCRETE OPERATIONS TO ENSURE NO TEARS IN THE PLASTIC. THE WASHOUT AREA MUST BE CLEANED OUT WHEN THE CAPACITY OF THE AREA IS REDUCED TO 25% OF AVAILABLE CAPACITY.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR
MAINTENANCE.

EXCESS CONCRETE AND/OR WASHOUT MATERIAL
FROM THE CONCRETE TRUCKS SHALL BE DISCHARGED
TO THE WASHOUT AREA OR DISPOSED OF OFF-SITE.

UPON COMPLETION, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF OFF-SITE. THE AREA WILL BE FILLED, GRADED, AND STABILIZED.

43 CONCRETE
NOT TO SCALE



DATE _____

NORTH



SEAGATE

**OPEN SPACE
CONDOMINIUM
LAYOUT, UTILITIES
& STORMWATER
PLAN**

PROJECT INFO

? l. REV	PEER REVIEW REVISIONS DRAINAGE MOD. DESCRIPTION	8/12/21 7/20/21 DATE



STAMP:

OSRD
MISC.
DETAILS

SHEET NAME:

C5.11

SHT NO

DR BY: DMH

CHK BY: SS

PROJ NO: 2019-132

DATE: 05-19-2021

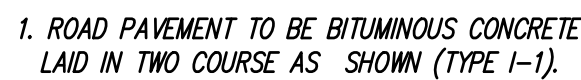
SCALE



1. ROAD PAVEMENT TO BE BITUMINOUS CONCRETE LAID IN TWO COURSE AS SHOWN (TYPE I-1).

STATION 0+0 TO 1+50
TYPICAL ROAD CROSS SECTION

NOT TO SCALE



STATION 1+50 TO 4+50
TYPICAL ROAD CROSS SECTION

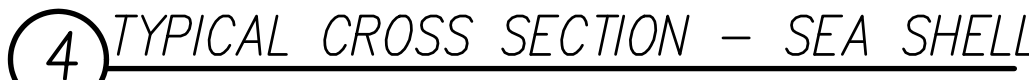
NOT TO SCALE



1. ROAD PAVEMENT TO BE BITUMINOUS CONCRETE LAID IN TWO COURSE AS SHOWN (TYPE I-1).
2. CONCRETE PAVERS TO BE H20 LOADING CAPACITY

3 TYPICAL CUL-DE-SAC CROSS SECTION

NOT TO SCALE



NOT TO SCALE



1. REVEAL TO BE 6" IN ALL CASES.
2. PAVEMENT TO BE SET ONLY AFTER CURB IS PLACED.
3. REFER TO TYPICAL SECTION DETAIL 1

5 VERTICAL GRANITE CURB

NOT TO SCALE



NOT TO SCALE



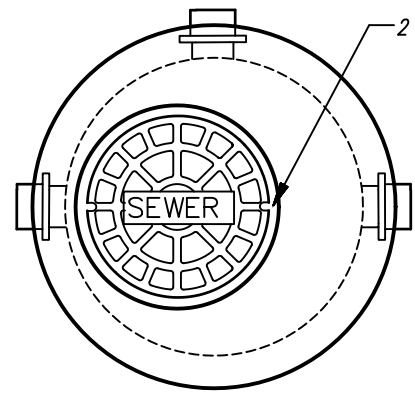
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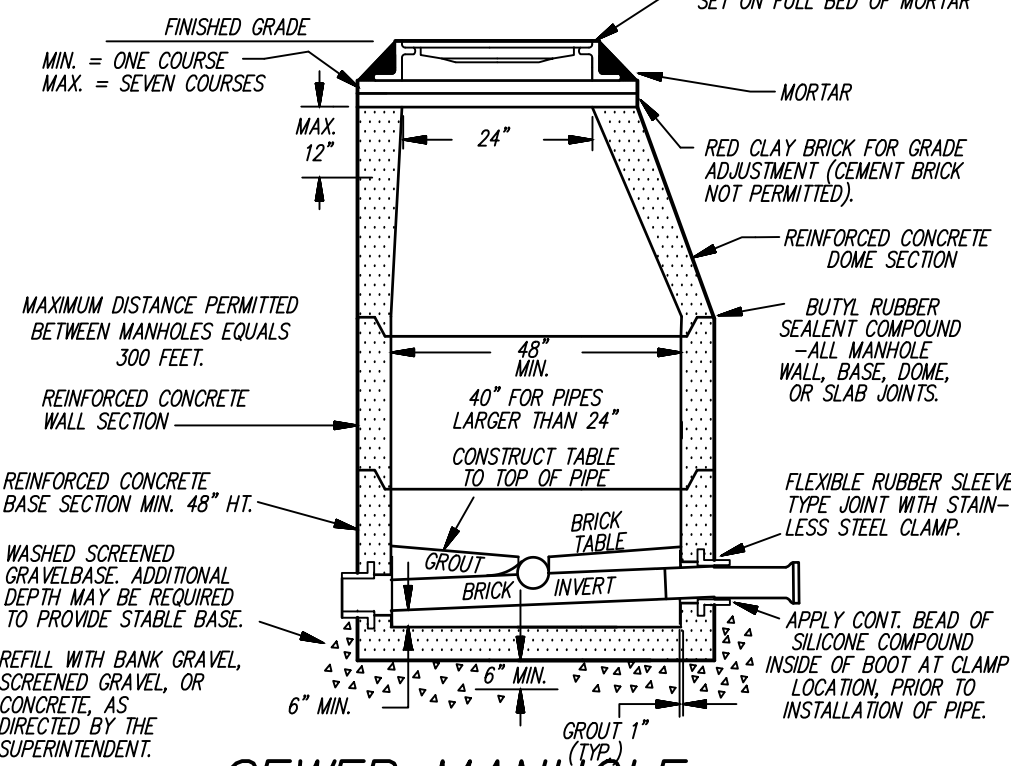
CLERK _____ DATE _____

**"PLANNING BOARD APPROVAL UNDER
THE OSRD ZONING REGULATIONS "**
NEWBURY PLANNING BOARD

DATE _____



2 LIFT HOLES 180° APART
CAST IRON MANHOLE
FRAME AND COVER
SHALL BE "LEBARON"
#4242 WITH "SEWER"
CAST INTO COVER
OR APPROVED EQUAL

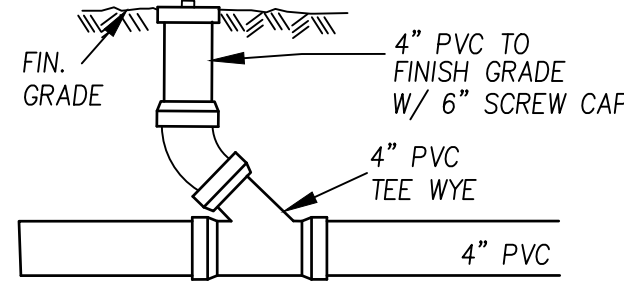


21 SEWER MANHOLE
NOT TO SCALE

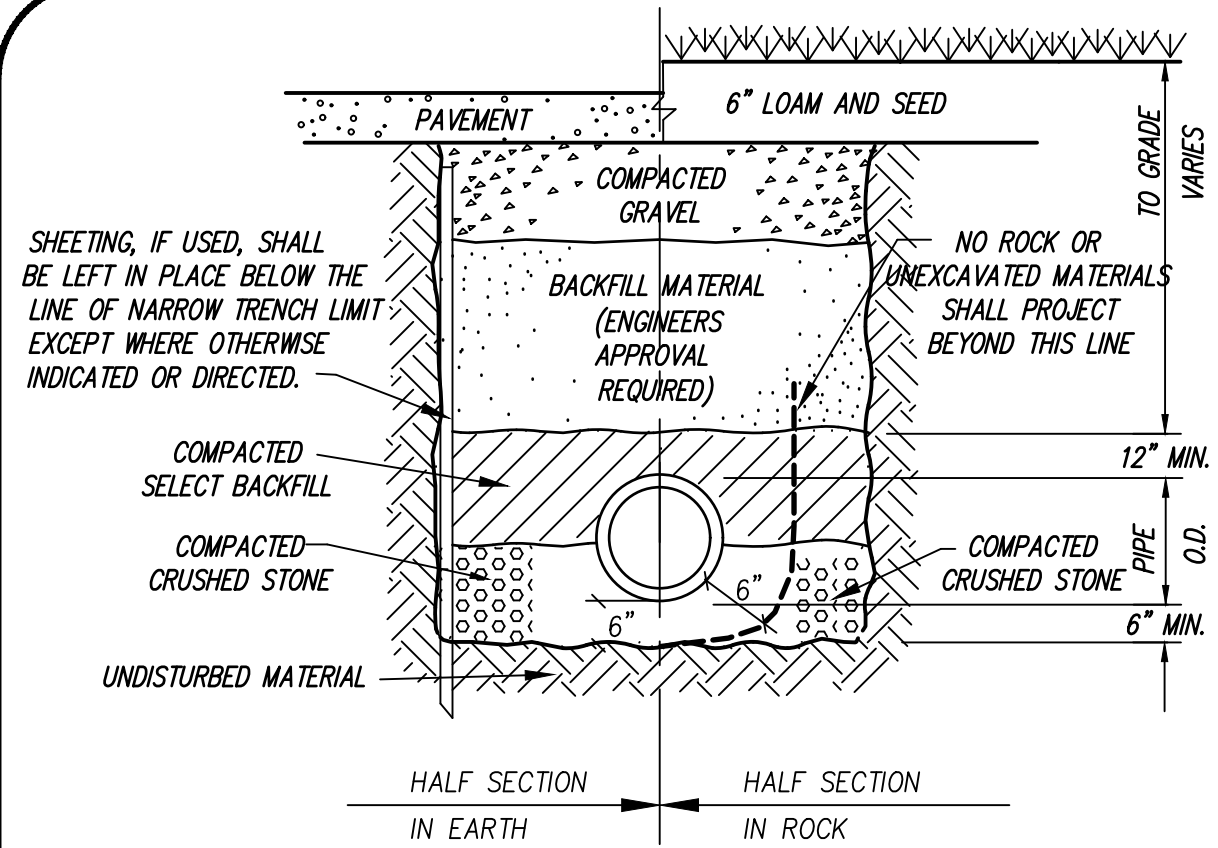
MANHOLE TESTING

VACUUM TEST MANHOLE FOR LEAKAGE

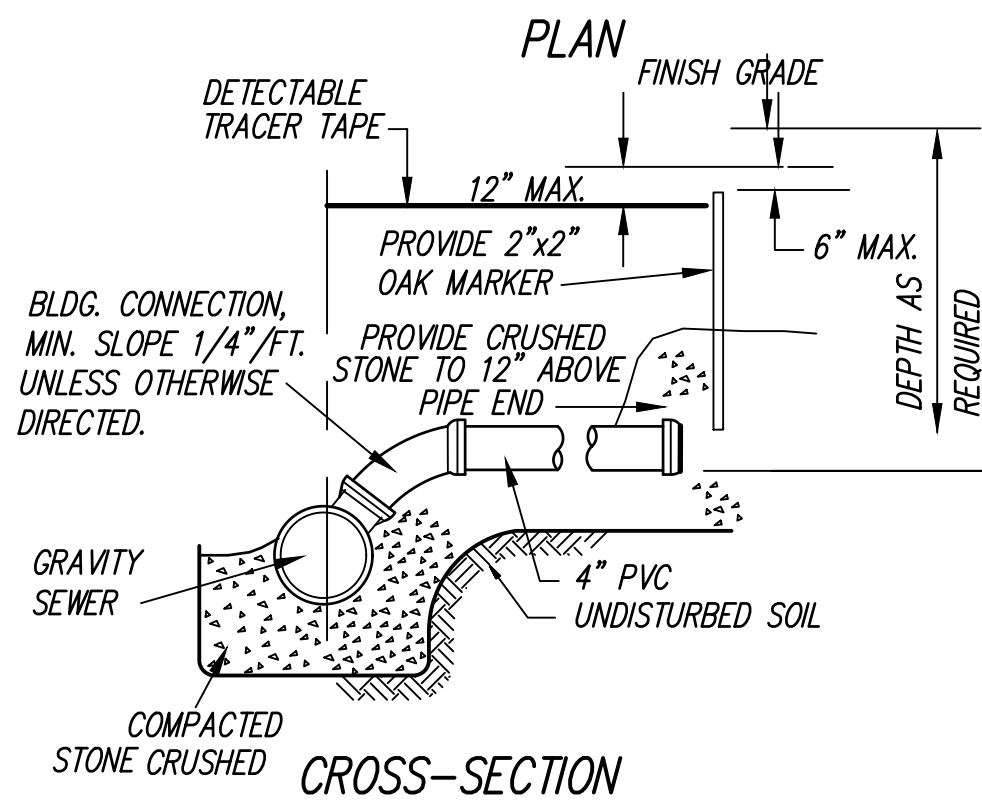
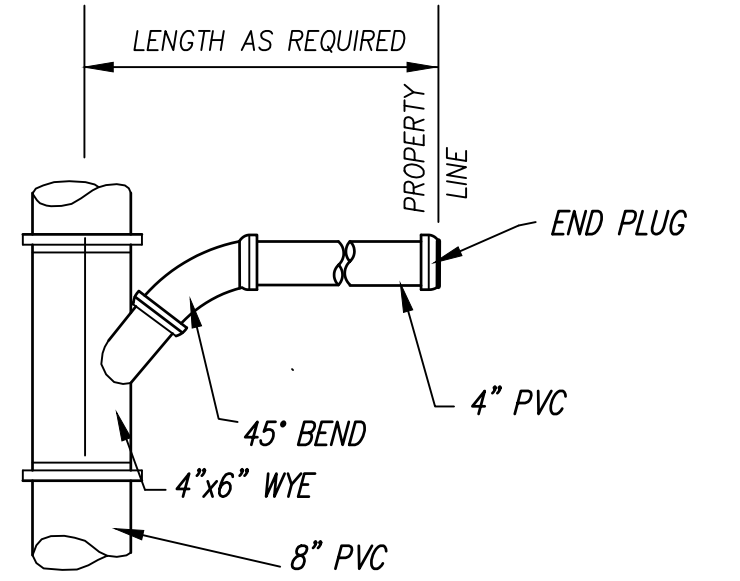
THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg.
THE MINIMUM TEST HOLD FOR A 1 INCH DROP TO 9 INCHES Hg SHALL
BE NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP,
2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP, AND 3 MINUTES FOR
MANHOLES MORE THAN 15 FEET DEEP.



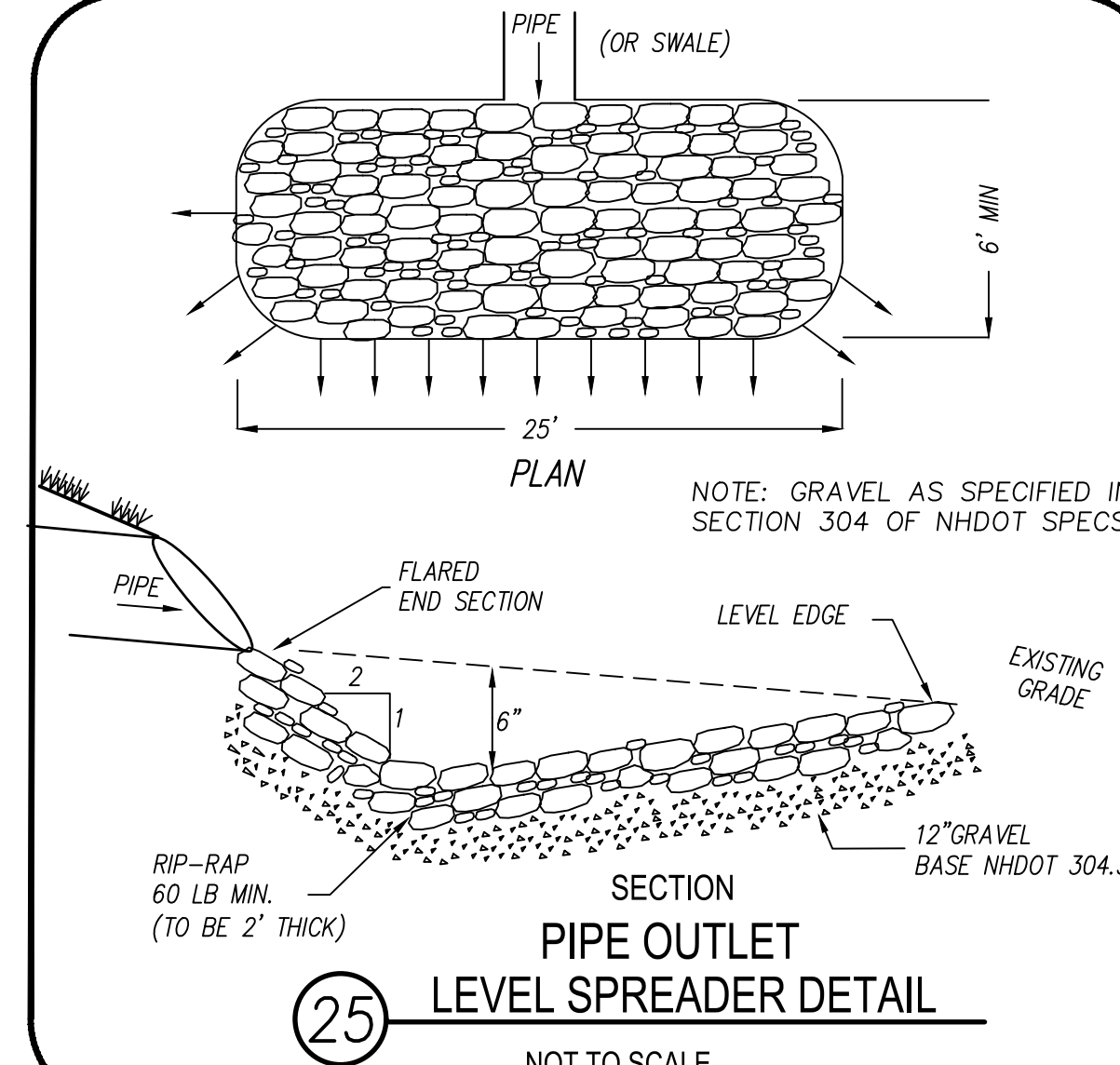
22 CLEANOUT DETAIL
NOT TO SCALE



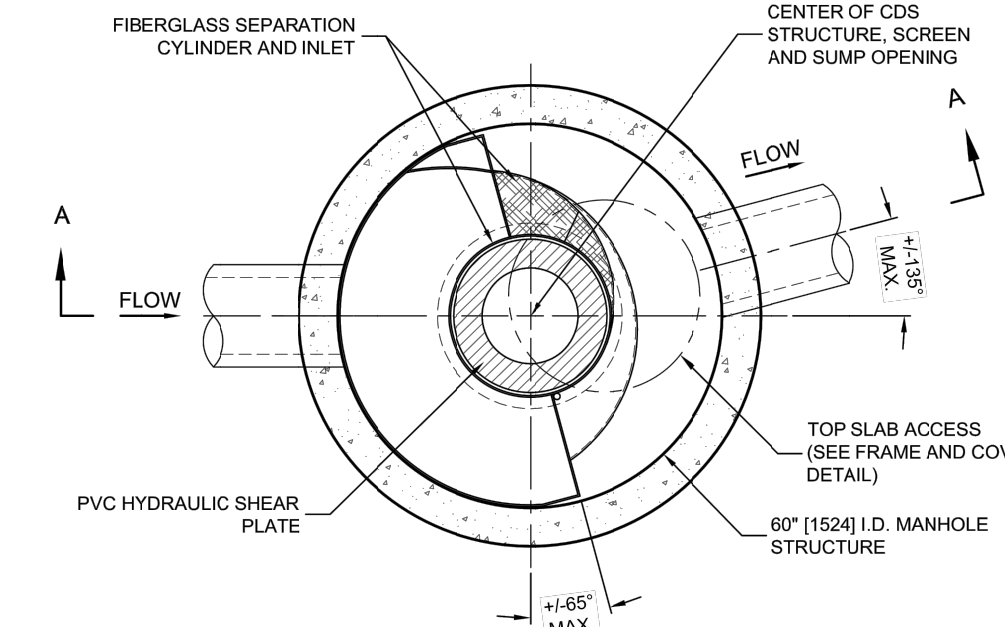
23 UTILITY TRENCH
NOT TO SCALE



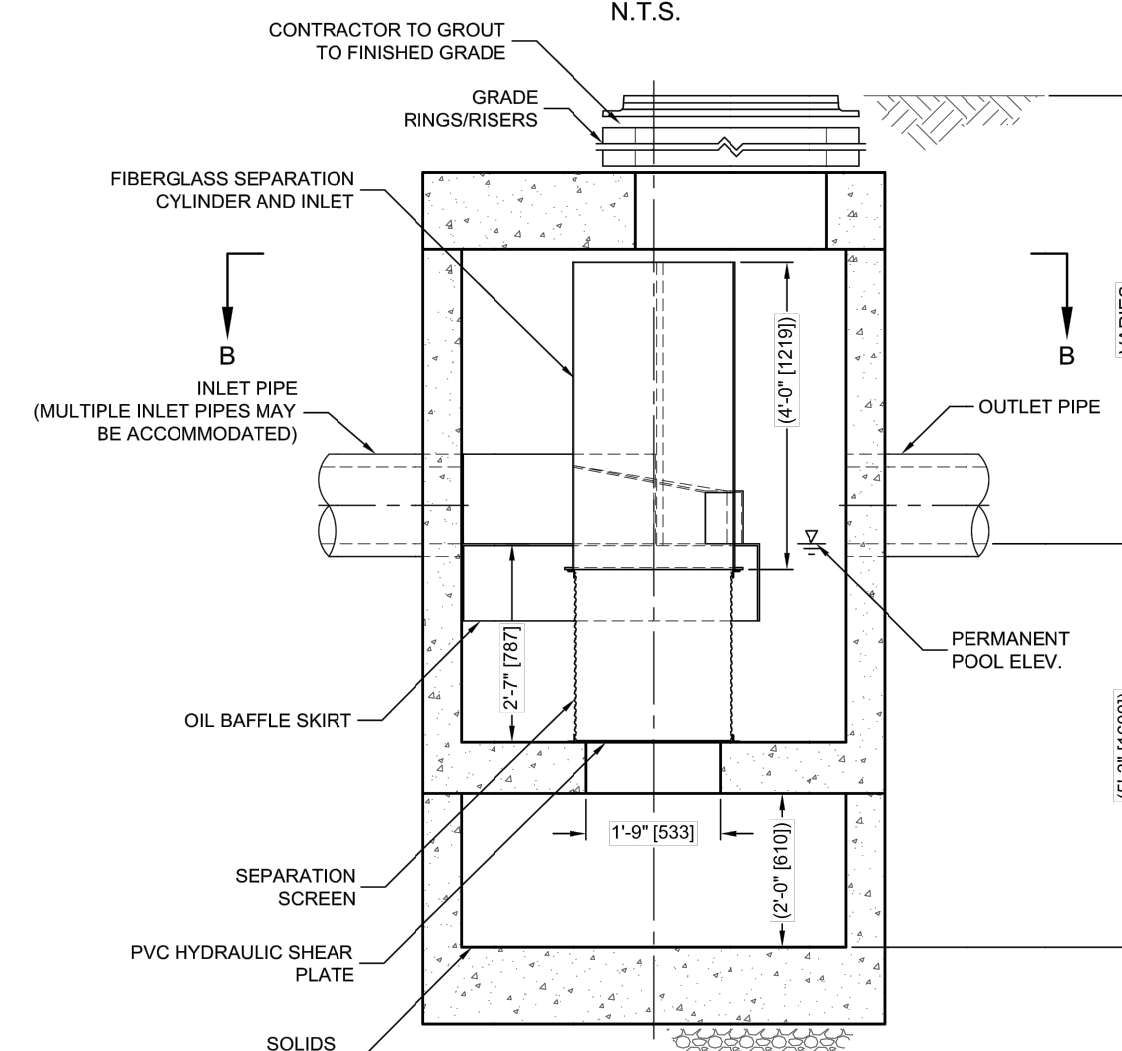
24 BUILDING CONNECTION DETAIL
NOT TO SCALE



25 PIPE OUTLET
LEVEL SPREADER DETAIL
NOT TO SCALE

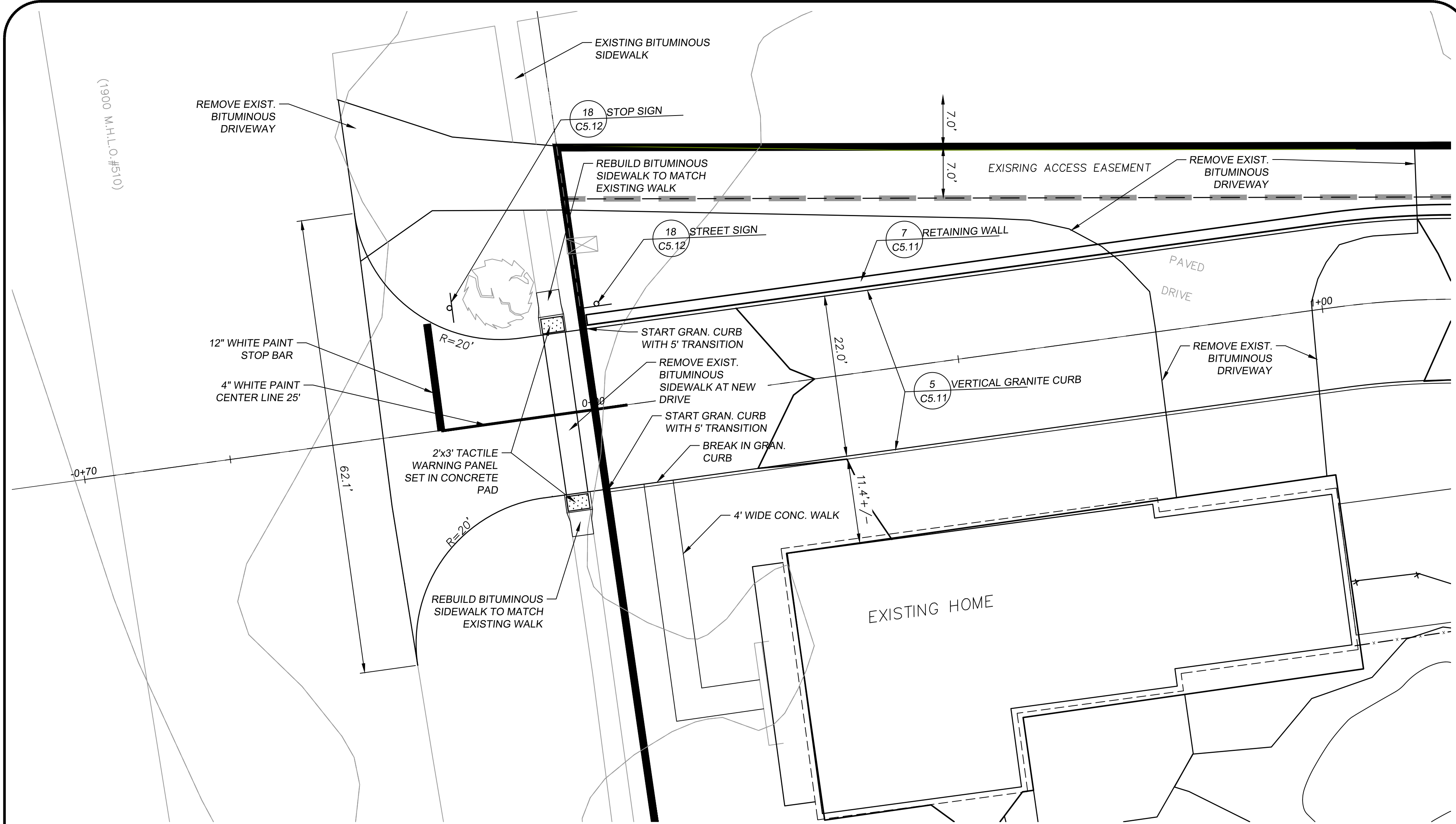


PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

27 TREATMENT CHAMBER
NOT TO SCALE



26 ENTRANCE DETAIL
SCALE: 1"=10'

TOWN OF NEWBURY OFFICE OF
THE TOWN CLERK

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NEWBURY PLANNING BOARD

DATE

NORTH

DCi
Design Consultants Inc.
Somerville - Quincy - Newburyport
www.dci-ma.com

CIVIL:
DESIGN CONSULTANTS, INC.
SOMERVILLE, MA

LANDSCAPE:
HAWK DESIGN
SAGAMORE, MA

CLIENT:
DEPIERO PROPERTIES, LLC
NEWBURYPORT, MA

PROJECT TEAM

SEAGATE

105 HIGH ROAD,
NEWBURY, MA

OPEN SPACE CONDOMINIUM LAYOUT, UTILITIES & STORMWATER PLAN

PROJECT INFO

REV	DESCRIPTION	DATE
2	PEER REVIEW REVISIONS	8/12/21
1	DRAINAGE MOD.	7/20/21



STAMP:

OSRD MISC. DETAILS

SHEET NAME:

C5.13

SHT NO:

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SCALE: